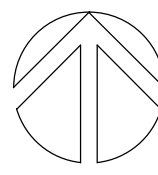




SHEET LIST - DP	
Sheet Number	Sheet Name
DP-0.00	COVER SHEET
DP-1.00	PROPOSED OVERALL SITE PLAN
DP-1.01	PROPOSED ENLARGED SITE PLAN BLG 1
DP-1.02	PROPOSED ENLARGED SITE PLAN BLG 2
DP-1.03	PROPOSED TRAFFIC CONTROL PLANS
DP-1.04	PROPOSED SITE DETAILS
DP-2.00	PROPOSED PLANS - BLG 1
DP-2.01	PROPOSED PLANS - BLG 2
DP-4.00	PROPOSED BUILDING ELEVATIONS - BLG 1
DP-4.01	PROPOSED BUILDING ELEVATIONS - BLG 1
DP-4.02	PROPOSED BUILDING ELEVATIONS - BLG 1
DP-4.03	PROPOSED BUILDING ELEVATIONS - BLG 2
DP-4.04	PROPOSED BUILDING ELEVATIONS - BLG 2
DP-4.05	PROPOSED BUILDING ELEVATIONS - BLG 2
DP-5.00	PROPOSED BUILDING SECTIONS - BLG 1
DP-5.01	PROPOSED BUILDING SECTIONS - BLG 2



SITE SUMMARY AND LAND-USE BYLAW		
BYLAW ITEM	DESCRIPTION	REFERENCE
MUNICIPAL ADDRESS	BUILDING 1: 5520-47TH AVENUE S.E. CALGARY ALBERTA BUILDING 2: 5540-47TH AVENUE S.E. CALGARY ALBERTA	
LEGAL DESCRIPTION	LOT 15, BLOCK 5, PLAN 381 9101	
APPLICABLE BY-LAW AND REFERENCES	CITY OF CALGARY LAND USE BY-LAW, LG INDUSTRIAL GENERAL CITY OF CALGARY LAND USE DISTRICT MAP	1P2007, SECTION 2E
PERMITTED AND DISCRETIONARY USES	PERMITTED USE: GENERAL INDUSTRIAL - LIGHT	1P2007, LG 907.2 (iv)
SITE AREA	17.75 ACRES (71,847 sq. m. / 773,361 sq. ft.)	
BUILDING AREA	BUILDING 1: 16,973 sq. m. (182,700 sq. ft.) BUILDING 2: 16,374 sq. m. (176,250 sq. ft.)	
BUILDING HEIGHT	MAXIMUM HEIGHT: 18.0m (59 ft)	1P2007, 912
SITE COVERAGE	SITE AREA: 71,847 sq. m. (773,361 sq. ft.) TOTAL BUILDING AREA: 33,347 sq. m. (358,950 sq. ft.) SITE COVERAGE: 46.41%	1P2007, 911
REQUIRED SETBACKS	FRONT SETBACK: MINIMUM 4.0m SECONDARY STREET, 6.0m MAJOR STREET REAR SETBACK: MINIMUM 1.2m SIDE SETBACK: MINIMUM 1.2m	1P2007, 915, 916, 917
PARKING PROVIDED	BUILDING 1: 163 STALLS PROVIDED 163 STALLS x 1000 sq. ft. / 182,700 sq. ft. = 0.89 STALLS PER 1000 sq. ft. BUILDING 2: 128 STALLS PROVIDED 128 STALLS x 1000 sq. ft. / 176,250 sq. ft. = 0.73 STALLS PER 1000 sq. ft. TOTAL STALLS PROVIDED - 291 STALLS (INCLUDING 10 BARRIER-FREE STALLS)	
BARRIER-FREE PARKING	REQUIRED: 4 (1 BARRIER-FREE STALLS PER 100 PARKING STALLS PROVIDED 1 (1 ADDITIONAL BARRIER-FREE STALL PER EACH ADDITIONAL INCREMENT OF 100 STALLS BUILDING 1: 3 STALLS PROVIDED INCLUDING 5 BARRIER-FREE STALLS PROVIDED BUILDING 2: 3 STALLS PROVIDED INCLUDING 5 BARRIER-FREE STALLS PROVIDED	1P2007, 121.1 MPC 2003 ALBERTA EDITION TABLE 3.8.2.5
PARKING STALL DIMENSIONS	VEHICLE PARKING STALLS MIN. REQUIRED STALL DIMENSIONS: 2.6m WIDE x 5.4m LONG PROVIDED STALL DIMENSIONS: 2.6m WIDE x 5.4m LONG BARRIER-FREE PARKING STALLS MIN. REQUIRED STALL DIMENSIONS: 2.4m WIDE x 5.4m LONG W/ 2.4m WIDE ADJACENT ACCESSIBILITY AISLE PROVIDED STALL DIMENSIONS: 2.6m WIDE x 5.4m LONG W/ 2.6m WIDE ADJACENT ACCESSIBILITY AISLE	1P2007, 122
BICYCLE PARKING	CLASS 1 BICYCLE STALLS NO REQUIREMENT CLASS 2 BICYCLE STALLS REQUIRE A MINIMUM OF 1 PER 2,000 sq. m. GROSS USABLE FLOOR AREA BUILDING 1: 16,973 sq. m. / 2,000 sq. m. = 8.5 STALLS 9 STALLS REQUIRED 10 STALLS PROVIDED BUILDING 2: 16,374 sq. m. / 2,000 sq. m. = 8.2 STALLS 9 STALLS REQUIRED 10 STALLS PROVIDED TOTAL STALLS PROVIDED 20 CLASS 2 BICYCLE STALLS	1P2007, 203.2 (iv)(i)



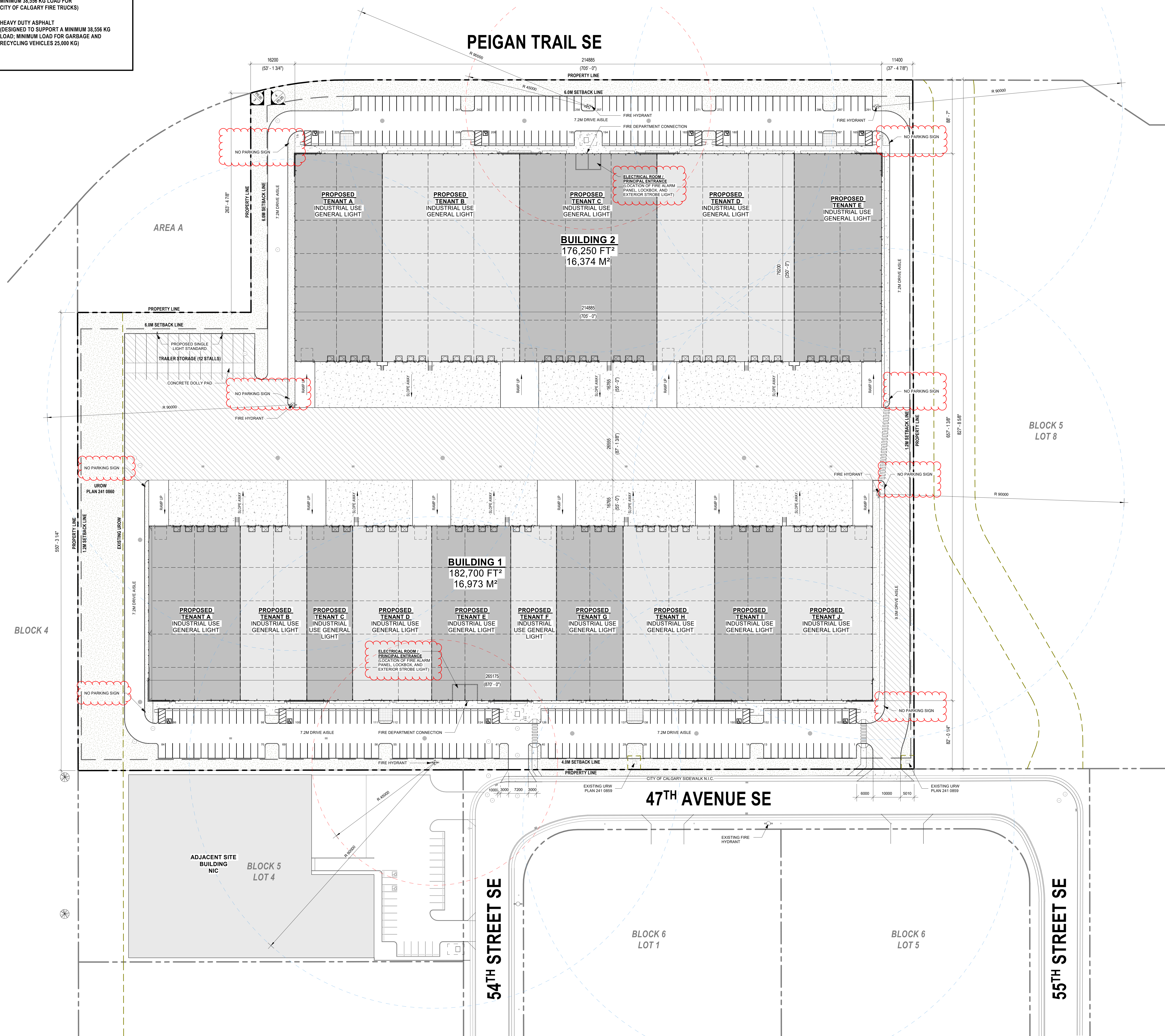
ENRIGHT
CONSTELLATION GEMINI 52
5520/5540 47th AVENUE SE, CALGARY, AB.

WalterFedy Project No.: 2025-0991-10
REISSUED FOR DEVELOPMENT PERMIT 2025-12-11

AMENDED DRAWINGS
DP No DP2025-07461 Date Received MAR 03 2026
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WALTERFEDY

	PROPERTY LINE		HARDScape FOR AMENITY SPACE (DECORATIVE PAVING) REFER TO LANDSCAPE DRAWINGS
	SETBACK LINE		CONCRETE (CURBS, SIDEWALKS, APRONS, RAMPS)
	EXISTING UTILITY RIGHT-OF-WAY LINE		LIGHT DUTY ASPHALT (DESIGNED TO SUPPORT A MINIMUM 38,556 KG LOAD FOR CITY OF CALGARY FIRE TRUCKS)
	45m FIRE HYDRANT COVERAGE RADIUS		
	90m FIRE HYDRANT COVERAGE RADIUS		HEAVY DUTY ASPHALT (DESIGNED TO SUPPORT A MINIMUM 38,556 KG LOAD; MINIMUM LOAD FOR GARBAGE AND RECYCLING VEHICLES 25,000 KG)
	BUILDING		
	SOFTSCAPE (GOD, AND BARK, OR ROCK MULCH) REFER TO LANDSCAPE DRAWINGS		



1 PROPOSED OVERALL SITE PLAN
DP-1.00 Scale: 1 : 500

CLIENT LOGO

GEMINI52

No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-12-11
2	REISSUED FOR DEVELOPMENT PERMIT	2026-02-27

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AMENDED DRAWINGS
 DP No Date Received
 DP2025-07461 MAR 03 2026
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CURRICULUM

ENRIGHT

SUITE 800, 110 - 12TH AVE SW, CALGARY ALBERTA, T2R 0G7

CONSTELLATION GEMINI 52

5520/5540 47th AVENUE SE, CALGARY, AB.

TITLE

PROPOSED OVERALL SITE PLAN

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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DATE :	2025-12-11	
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GENERAL SITE NOTES

ALL NON-BARRIER FREE PARKING STALLS
2.00M X 5.40M (6' - 6 3/8" X 17' - 6 5/8") TYPICAL

ALL BARRIER FREE PARKING STALLS
2.00M X 5.40M (7' - 10 1/2" X 17' - 6 5/8") TYPICAL

ALL BARRIER FREE PARKING STALLS TO HAVE A 2.00M PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK CURB RAMP

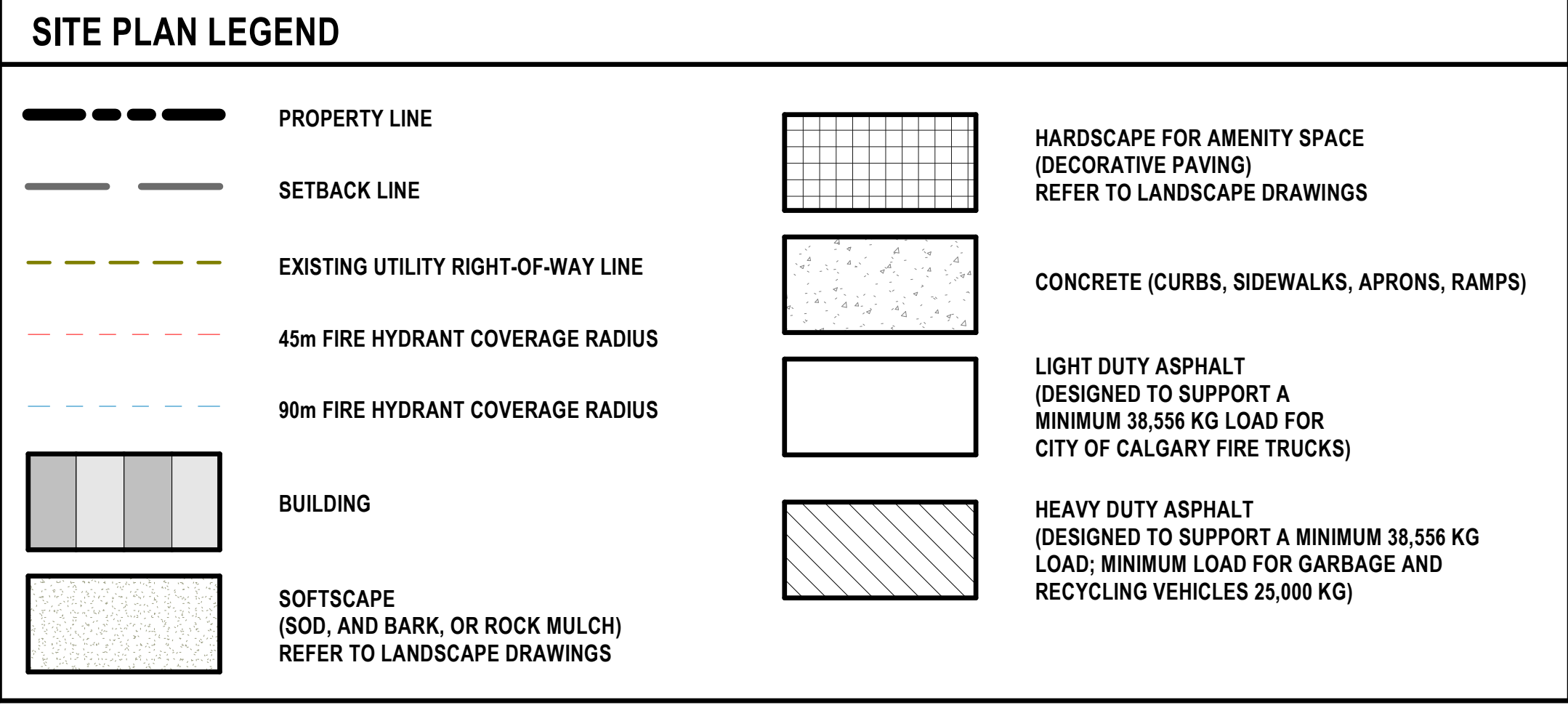
INTERNAL SITE CIRCULATION AISLE
7.00M (23' - 1 1/2") TYPICAL

PARKING ISLANDS / LANDSCAPE BUFFERS
CURB RADIUS OF 1.00M (3'-3 1/4") TYPICAL, UNLESS NOTED OTHERWISE

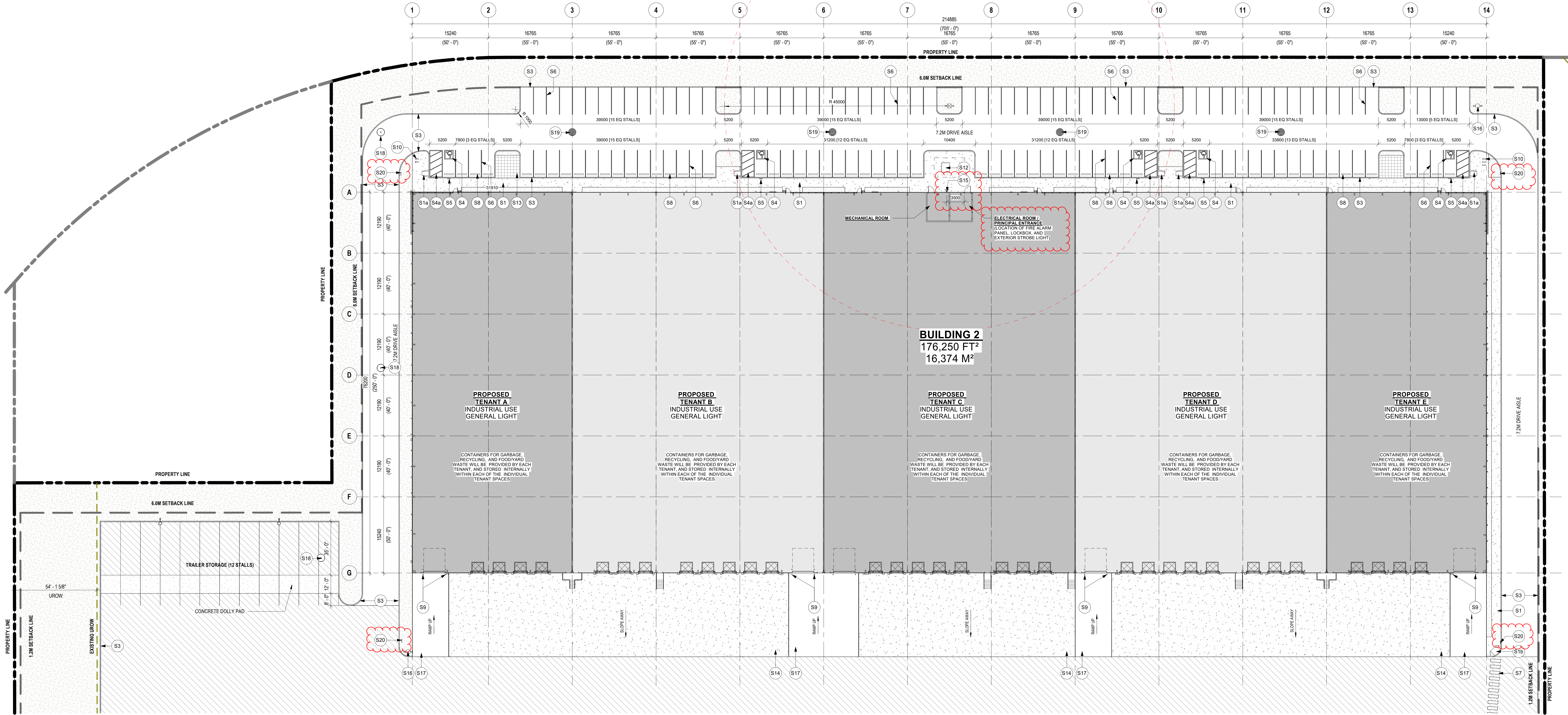
RUBBER WHEEL STOP
LOCATED 0.80M (2'-6") FROM FACE OF CURB TO CENTERLINE OF STOP
TO BE FINISHED TO ASPHALT
TYPICAL AT ALL STALLS ALONG SIDEWALKS / FRONTAGE OF BUILDING

WASTE MANAGEMENT
CONTAINERS FOR GARBAGE, RECYCLING, AND FOOD/YARD WASTE WILL BE PROVIDED BY EACH TENANT, AND STORED INTERNALLY WITHIN EACH OF THE INDIVIDUAL TENANT SPACES

INTERNAL SITE CIRCULATION SIDEWALKS
ALL CONCRETE PEDESTRIAN SIDEWALKS TO HAVE OUR TYPICAL DIMENSION, UNLESS OTHERWISE NOTED
MINIMUM 2.00M WIDE (6' - 6 3/4" WIDE) TYPICAL



SITE KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
S1	TYPICAL CONCRETE SIDEWALK AND CURB
S1a	TYPICAL CONCRETE H/C SIDEWALK RAMP, ALBERTA BARRIER FREE STANDARDS. REFER TO TYPICAL SITE DETAILS
S1b	TYPICAL CONCRETE SIDEWALK RAMP. CITY OF CALGARY STANDARDS. REFER TO TYPICAL SITE DETAILS
S3	TYPICAL CONCRETE CURB. REFER TO TYPICAL SITE DETAILS
S4	PAINTED BARRIER-FREE PARKING SYMBOL. REFER TO TYPICAL SITE DETAILS
S4a	2.6M WIDE PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK RAMP. TYPICAL AT ALL BARRIER FREE PARKING STALL LOCATIONS
S5	BARRIER-FREE DESIGNATED SIGNAGE.
S6	PAINTED PARKING LINES - COLOUR: YELLOW
S7	PAINTED CROSSWALK LINES - COLOUR: WHITE
S8	RUBBER WHEEL STOP
S9	6" GUARD POST. TYPICAL AT ALL DRIVE IN DOORS
S10	TYPICAL BIKE RACK. REFER TO S/A1.02
S12	TRANSFORMER LOCATION
S13	AMENITY SPACE. REFER TO LANDSCAPE DRAWINGS
S14	CONCRETE APRON
S15	FIRE DEPARTMENT CONNECTION
S16	NEW FIRE HYDRANT LOCATION. REFER TO CIVIL DRAWINGS
S17	CONCRETE DRIVE-IN RAMP W/ GUARDRAILS
S18	TYPICAL MANHOLE
S19	TYPICAL DRAINAGE GRATE
S20	NO PARKING SIGN



1 ENLARGED SITE PLAN BLG 2
DP-1.02 Scale: 1:300

GEMINI52

CLIENT LOGO	
TRUE NORTH	PROJECT NORTH
ISSUANCE	DATE
1 ISSUED FOR DEVELOPMENT PERMIT	2025-12-11
2 REISSUED FOR DEVELOPMENT PERMIT	2026-02-27

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SUITE 800, 110 - 12TH AVE SW, CALGARY ALBERTA, T2R 0G7

PROJECT
CONSTELLATION GEMINI 52

550/5540 47th AVENUE SE, CALGARY, AB

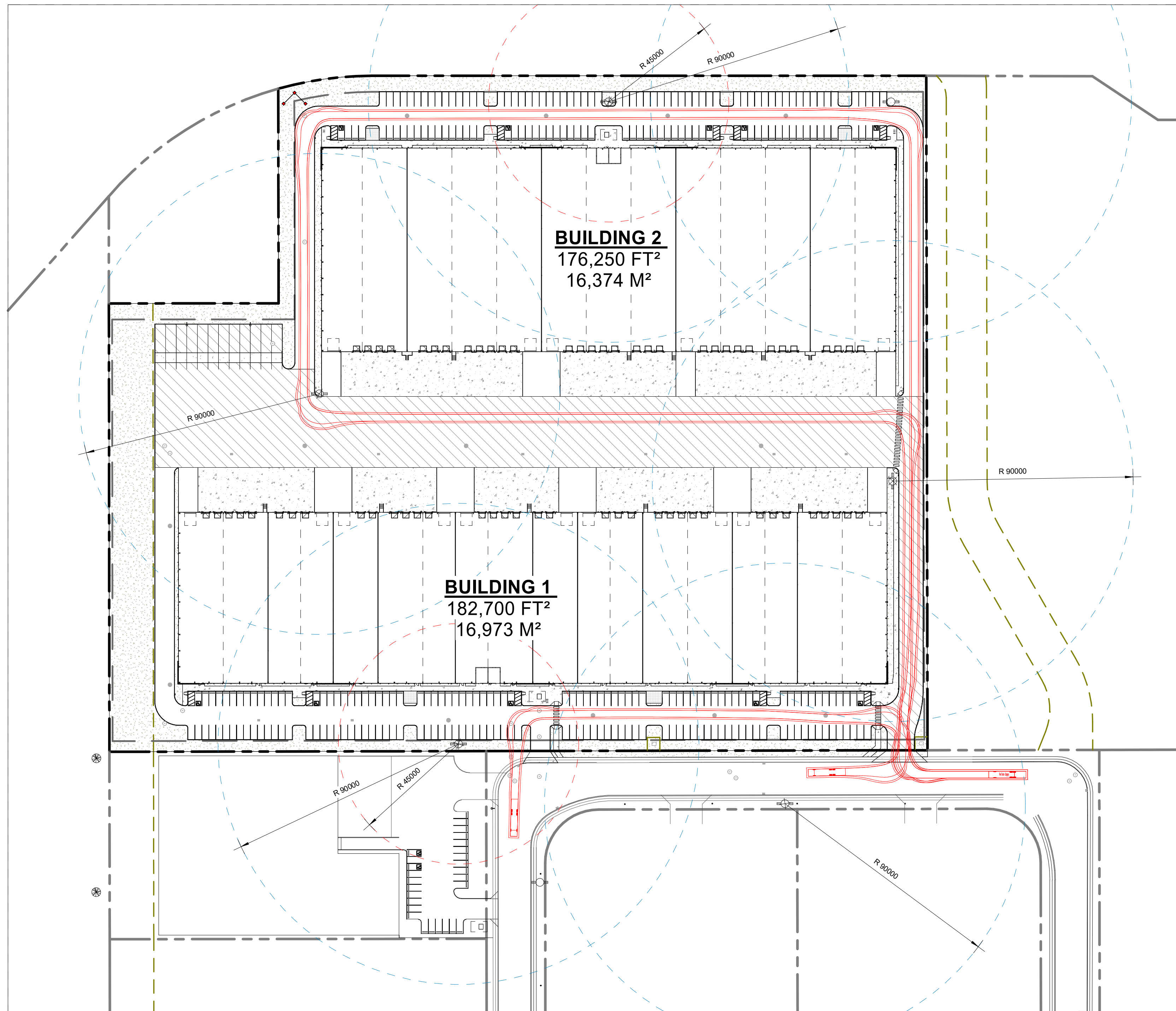
TITLE
PROPOSED ENLARGED SITE PLAN BLG 2

WALTERFEDY
TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

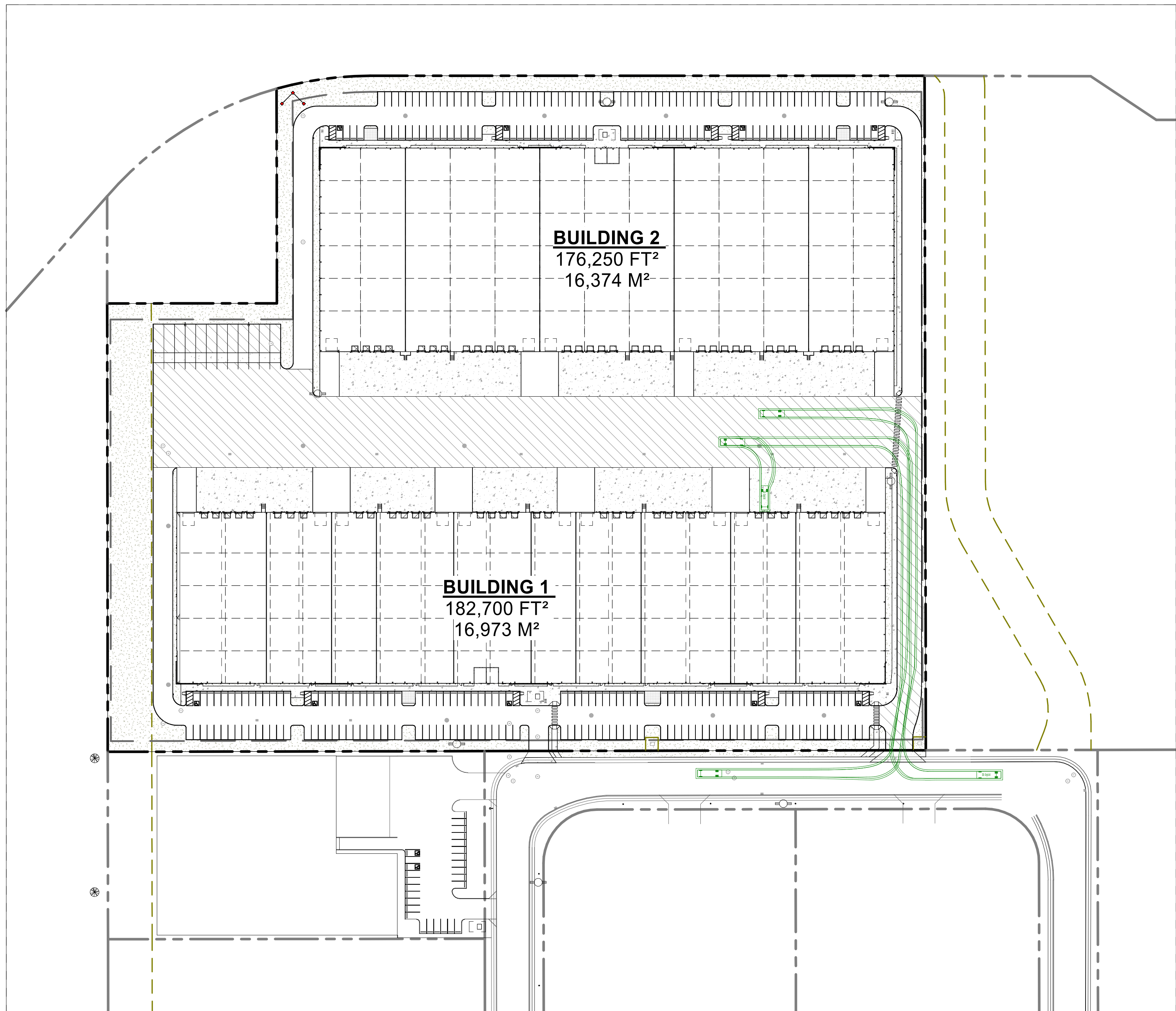
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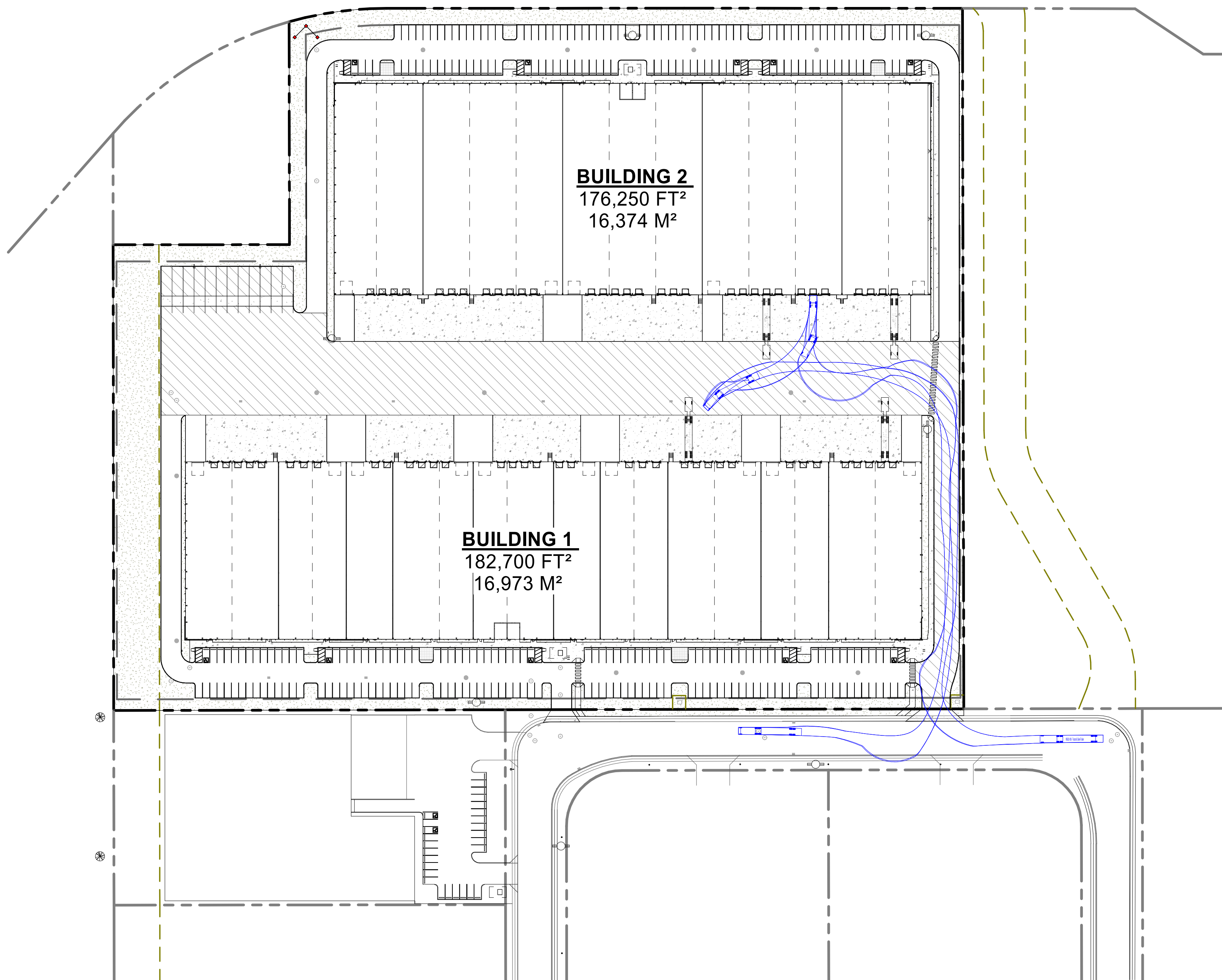
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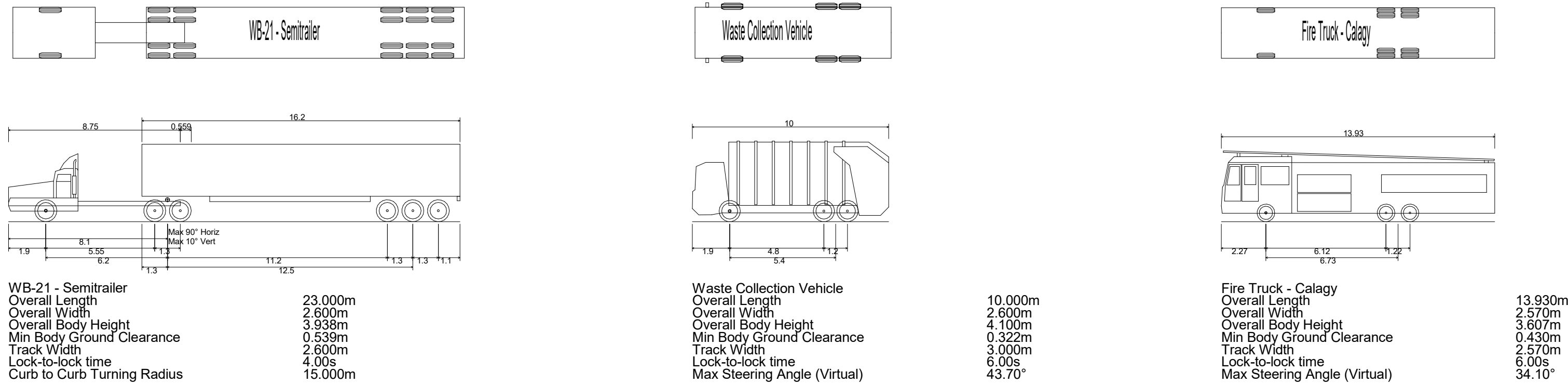
1 TRAFFIC CONTROL PLAN_FIRE TRUCK
DP-1.03 Scale: 1: 1000



2 TRAFFIC CONTROL PLAN_GARBAGE TRUCK
DP-1.03 Scale: 1: 1000



3 TRAFFIC CONTROL PLAN_LOADING TRUCK
DP-1.03 Scale: 1: 1000



TRUCK TURNING LEGEND	
	WASTE AND RECYCLING VEHICLE SWEEP PATH W/ 600MM CLEARANCE
	LOADING VEHICLE SWEEP PATH W/ 600MM CLEARANCE
	FIRE TRUCK SWEEP PATH W/ 600MM CLEARANCE
	PRIMARY BUILDING ENTRANCE
	SIAMESE CONNECTION LOCATION
	PROPOSED / EXISTING FIRE HYDRANT
	PROPOSED STOP SIGN AND SPEED LIMIT SIGN LOCATION
	45M RADIUS FOR FIRE HYDRANT AND SIAMESE CONNECTION EXTENT

CLIENT LOGO

GEMINI52

TRUE NORTH

PROJECT NORTH

1 ISSUED FOR DEVELOPMENT PERMIT

2 REISSUED FOR DEVELOPMENT PERMIT

ISSUANCE

DATE

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2025-02-27

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SUITE 800, 110 - 12TH AVE SW, CALGARY ALBERTA, T2R 0G7

PROJECT

CONSTELLATION GEMINI 52

5520/5540 47th AVENUE SE, CALGARY, AB.

TITLE

PROPOSED TRAFFIC CONTROL PLANS

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

800.685.1378 walterfedy.com

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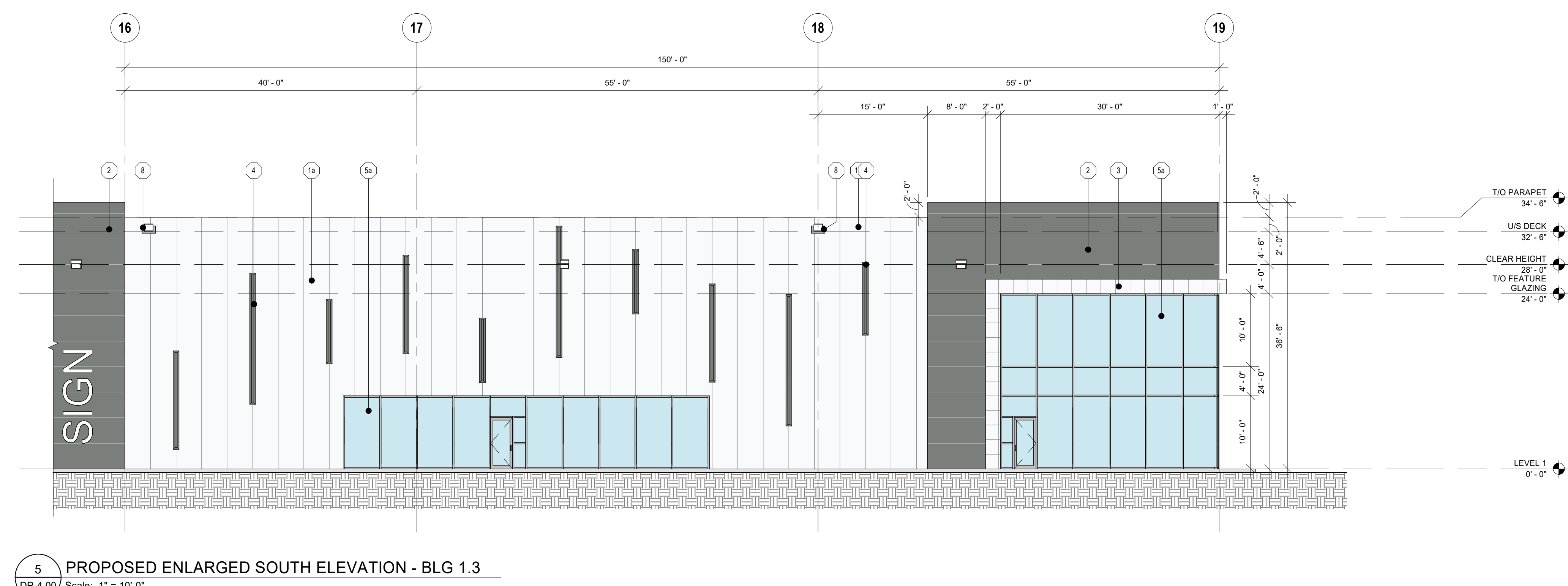
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DATE: 2025-12-11

PROJECT NO: 2025-0991-10

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SHEET NO: DP-1.03



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SUITE 808, 110-1120 AVE SW, CALGARY ALBERTA, T2R 0G7

CONSTELLATION GEMINI 52

5520/5540 47th AVENUE SE, CALGARY, AB.

PROPOSED BUILDING
ELEVATIONS - BLG 1

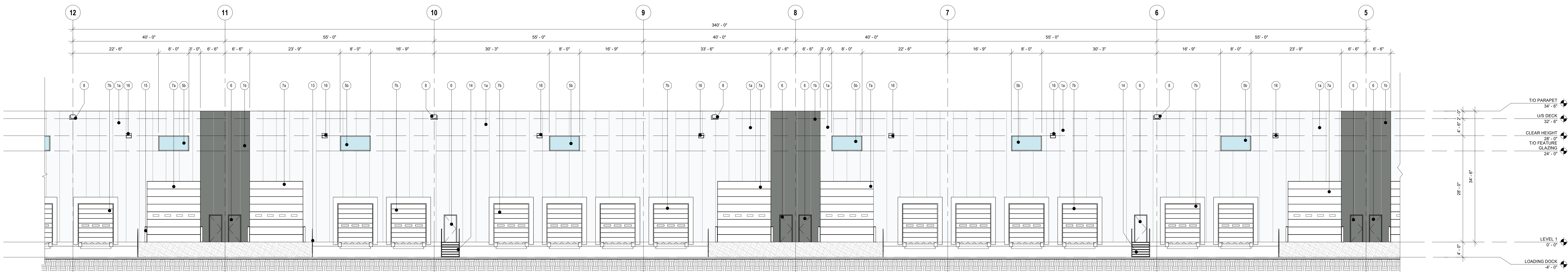
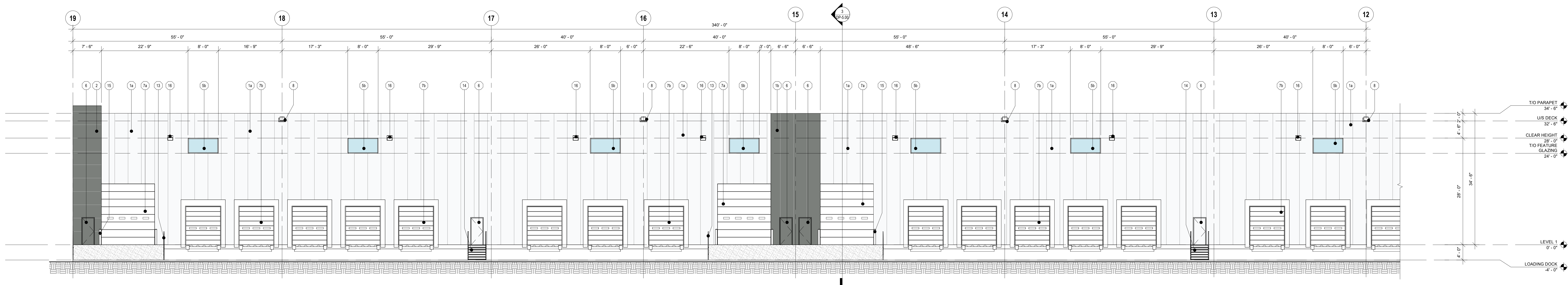
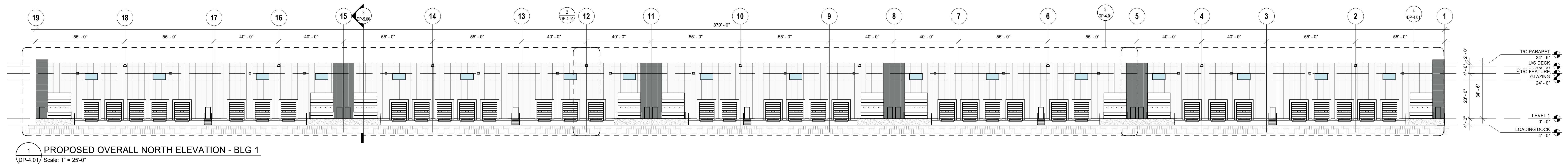
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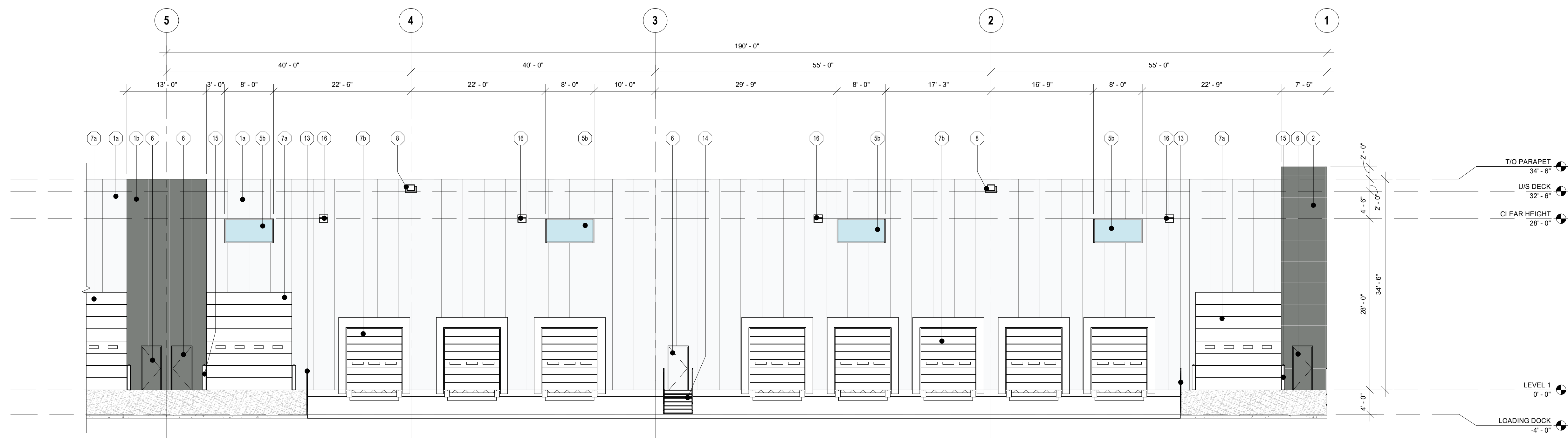
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SCALE:	N.T.S.	SHEET NO:
DATE:	2025-12-11	DP-4.01
PROJECT NO:	2025-0981-10	
DRAWN BY:		
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3 PROPOSED ENLARGED NORTH ELEVATION - BLG 1.2
Scale: 1" = 10'-0"

MATERIAL LEGEND	
1a	PREFINISHED INSULATED METAL PANEL (KINGSPAN SHADOWLINE) 42" WIDE VERTICAL ORIENTATION COLOUR: ASCOT WHITE
1b	PREFINISHED INSULATED METAL PANEL (KINGSPAN SHADOWLINE) 42" WIDE VERTICAL ORIENTATION COLOUR: ZINC GREY
2	PREFINISHED INSULATED METAL PANEL (KINGSPAN SHADOWLINE) 42" WIDE HORIZONTAL ORIENTATION COLOUR: ZINC GREY
3	ALUMINUM COMPOSITE METAL PANEL - 24"x24" COLOUR: TO MATCH ASCOT WHITE
4	KINGSPAN ACCENT FIN A-FRAME COLOUR: ZINC GREY
5a	ALUMINUM GLAZED CURTAIN WALL SYSTEM W/ BLUE TWO-PANE LOW-E SEALED GLASS #14 CLEAR ANODIZED ALUMINUM FRAME FINISH
5b	PUNCHED GLAZING W/ BLUE TWO-PANE LOW-E SEALED GLASS #14 CLEAR ANODIZED ALUMINUM FRAME
6	INSULATED HOLLOW METAL DOORS COLOUR: TO MATCH TO MATCH ADJACENT CLADDING (ASCOT WHITE OR ZINC GREY)
7a	14' W X 16' H (4270mm x 4890mm) INSULATED SECTIONAL STEEL HIGH LIFT OVERHEAD DOOR CW VIEWLIGHTS. DOOR COLOUR: PREFINISHED WHITE. FRAMES PAINTED TO MATCH ZINC GREY
7b	8' W X 10' H (2440mm x 3050mm) INSULATED SECTIONAL STEEL HIGH LIFT OVERHEAD DOOR CW VIEWLIGHTS. DOOR COLOUR: PREFINISHED WHITE. FRAMES PAINTED TO MATCH ZINC GREY
8	SCUPPER COLOUR: TO MATCH ADJACENT CLADDING (ASCOT WHITE OR ZINC GREY)
9	FUTURE TENANT SIGNAGE - MOUNTED LETTERING (PROVIDE SOLID BLOCKING) BACKER AT SIGN MOUNTING LOCATIONS
10	PROPOSED FIRE DEPARTMENT CONNECTION
11	PRE-MANUFACTURED FIRE DEPARTMENT LOCK BOX
12	EXTERIOR STROBE LIGHT LOCATION FOR FIRE DEPARTMENT
13	STEEL GUARDRAIL, PAINTED 'CLASSIC BLACK'
14	STEEL EXIT STAIR, TREADS AND LANDING TO BE GALVANIZED. STRINGERS, GUARDRAILS AND HANDRAILS TO BE PAINTED 'CLASSIC BLACK'
15	6" DIAMETER CONCRETE FILLED STEEL BOLLARD, PAINTED 'SAFETY YELLOW'
16	WALL MOUNTED LIGHT



4 PROPOSED ENLARGED NORTH ELEVATION - BLG 1.3
Scale: 1" = 10'-0"

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WALTER FEDY

SCALE :	N.T.S.	SHEET NO : DP-4.02
DATE :	2025-12-11	
PROJECT NO :	2025-0991-10	
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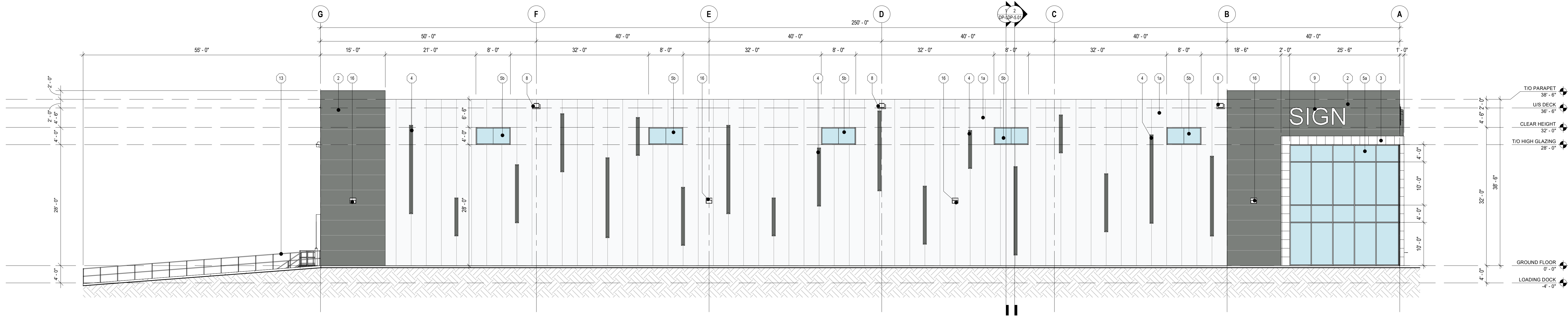


MATERIAL LEGEND

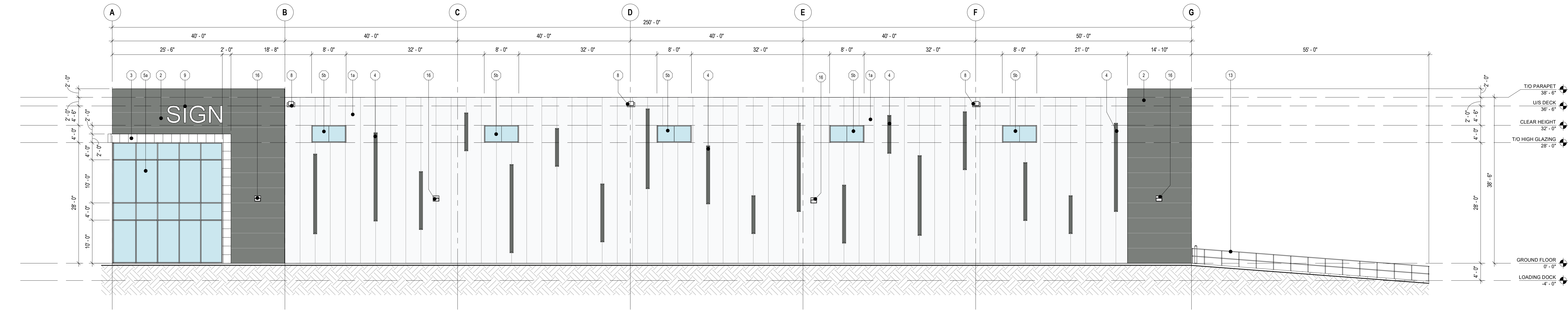
15	PREFINISHED INSULATED METAL PANEL (KINGSSPAN SHADOWLINE) #4" RIBS VERTICAL ORIENTATION COLOUR: ASBEST WHITE
16	PREFINISHED INSULATED METAL PANEL (KINGSSPAN SHADOWLINE) #4" RIBS VERTICAL ORIENTATION COLOUR: ZINC GREY
2	PREFINISHED INSULATED METAL PANEL (KINGSSPAN SHADOWLINE) #4" RIBS HORIZONTAL AL ORIENTATION COLOUR: ZINC GREY
3	ALUMINUM COMPOSITE METAL PANEL - 24"x24" COLOUR: TO MATCH ASBEST WHITE
4	KINGSSPAN GLAZED FRAM IN A-FRAME COLOUR: ZINC GREY
5	ALUMINUM GLAZED CURTAIN WALL SYSTEM W/ BLUE TYPANE LOW-E SEALED GLASS #14 CLEAR ANODIZED ALUMINUM FRAME FINISH
6	PUNCHED GLAZING W/ BLUE TYPANE LOW-E SEALED GLASS #14 CLEAR ANODIZED ALUMINUM FRAME
6	INSULATED HOLLOW METAL DOORS COLOUR: TO MATCH ADJACENT GLAZING (ASBEST WHITE OR ZINC GREY)
7	14" W X 16" H (420mm x 480mm) INSULATED STEEL PANEL, STEEL HIGH LIFT OVERHEAD DOCK W/ VEHIC LIGHTS COLOUR: DOORS PREFINISHED WHITE, FRAMES PAINTED TO MATCH ZINC GREY
7	9" W X 10" H (224mm x 300mm) INSULATED STEEL PANEL, STEEL HIGH LIFT OVERHEAD DOCK W/ VEHIC LIGHTS COLOUR: DOORS PREFINISHED WHITE, FRAMES PAINTED TO MATCH ZINC GREY
8	SUPPER COLOUR: TO MATCH ADJACENT GLAZING (ASBEST WHITE OR ZINC GREY)
9	FUTURE TENSILE BRACING, INSULATED LETTERING PROPOSED FIRE BLOCKING / BACKER AT SIGN MOUNTING LOCATIONS
10	PROPOSED FEED DEPARTMENT CONNECTION
11	PRE-MANUFACTURED FIRE DEPARTMENT LOCK BOX
12	EXTERIOR STROKE LIGHT LOCATION FOR FIRE DEPARTMENT
13	STEEL GUARDRAIL, PAINTED 'CLASSIC BLACK'
14	STEEL EXIST. STAIRS, TRAILS AND LANDING TO BE GALVANIZED, STRINGERS, GUARDRAILS AND HANDRAILS TO BE PAINTED 'CLASSIC BLACK'
15	6" DIAMETER CONCRETE FILLED STEEL BOLLARD, PAINTED 'SUNSET YELLOW'
16	WALL MOUNTED LIGHT



4 PROPOSED ENLARGED NORTH ELEVATION - BLG 2.3
DP-4.03 Scale: 1" = 10'-0"



1 PROPOSED ENLARGED EAST ELEVATION - BLG 2
Scale: 1" = 10'-0"



2 PROPOSED ENLARGED WEST ELEVATION - BLG 2
Scale: 1" = 10'-0"

MATERIAL LEGEND	
15	PREFINISHED INSULATED METAL PANEL (KINGSPAN SHADOWLINE) 42" WIDE VERTICAL ORIENTATION COLOUR: ASCOT WHITE
15	PREFINISHED INSULATED METAL PANEL (KINGSPAN SHADOWLINE) 42" WIDE VERTICAL ORIENTATION COLOUR: ZINC GREY
2	PREFINISHED INSULATED METAL PANEL (KINGSPAN SHADOWLINE) 42" WIDE HORIZONTAL ORIENTATION COLOUR: ZINC GREY
3	ALUMINUM COMPOSITE METAL PANEL - 24"x24" COLOUR: TO MATCH ASCOT WHITE
4	KINGSPAN ACCENT FIN A-FRAME COLOUR: ZINC GREY
5a	ALUMINUM GLAZED CURTAIN WALL SYSTEM W/ BLUE TWO-PANE LOW-E SEALED GLASS #14 CLEAR ANODIZED ALUMINUM FRAME FINISH
5b	PUNCHED GLAZING W/ BLUE TWO-PANE LOW-E SEALED GLASS #14 CLEAR ANODIZED ALUMINUM FRAME
6	INSULATED HOLLOW METAL DOORS COLOUR: TO MATCH TO MATCH ADJACENT CLADDING (ASCOT WHITE OR ZINC GREY)
7a	14' W X 8' H (4270mm x 4880mm) INSULATED SECTIONAL STEEL HIGH LIFT OVERHEAD DOOR CW VEWLIGHTS COLOUR DOORS PREFINISHED WHITE, FRAMES PAINTED TO MATCH ZINC GREY
7b	8' W X 10' H (2745mm x 3050mm) INSULATED SECTIONAL STEEL HIGH LIFT OVERHEAD DOOR CW VEWLIGHTS, DOCK SEALS, BUMPERS AND DOCK LEVELER COLOUR DOORS PREFINISHED WHITE, FRAMES PAINTED TO MATCH ZINC GREY
8	SCURPPER COLOUR: TO MATCH ADJACENT CLADDING (ASCOT WHITE OR ZINC GREY)
9	FUTURE TENANT SIGNAGE - MOUNTED LETTERING (PROVIDE SOLID BLOCKING BACKER AT SIGN MOUNTING LOCATIONS)
10	PROPOSED FIRE DEPARTMENT CONNECTION
11	PRE-MANUFACTURED FIRE DEPARTMENT LOCK BOX
12	EXTERIOR STROBE LIGHT LOCATION FOR FIRE DEPARTMENT
13	STEEL GUARDRAIL, PAINTED CLASSIC BLACK
14	STEEL EXIT STAIR, TREADS AND LANDING TO BE GALVANIZED STRINGERS, GUARDRAILS AND HANDRAILS TO BE PAINTED CLASSIC BLACK
15	6" DIAMETER CONCRETE FILLED STEEL BOLLARD, PAINTED SAFETY YELLOW
16	WALL MOUNTED LIGHT

CLIENT LOGO

GEMINI52

TRUE NORTH PROJECT NORTH

No.	ISSUANCE	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2025-12-11
2	REISSUED FOR DEVELOPMENT PERMIT	2025-02-27

DISCLAIMER:
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AMENDED DRAWINGS
DP No Date Received
DP2025-07461 MAR 03 2026
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SUITE 800, 110 - 12TH AVE SW, CALGARY ALBERTA, T2R 0G7

PROJECT
CONSTELLATION GEMINI 52 - BUILDING 02
55205540 47th AVENUE SE, CALGARY, AB

TITLE
PROPOSED BUILDING ELEVATIONS - BLG 2

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

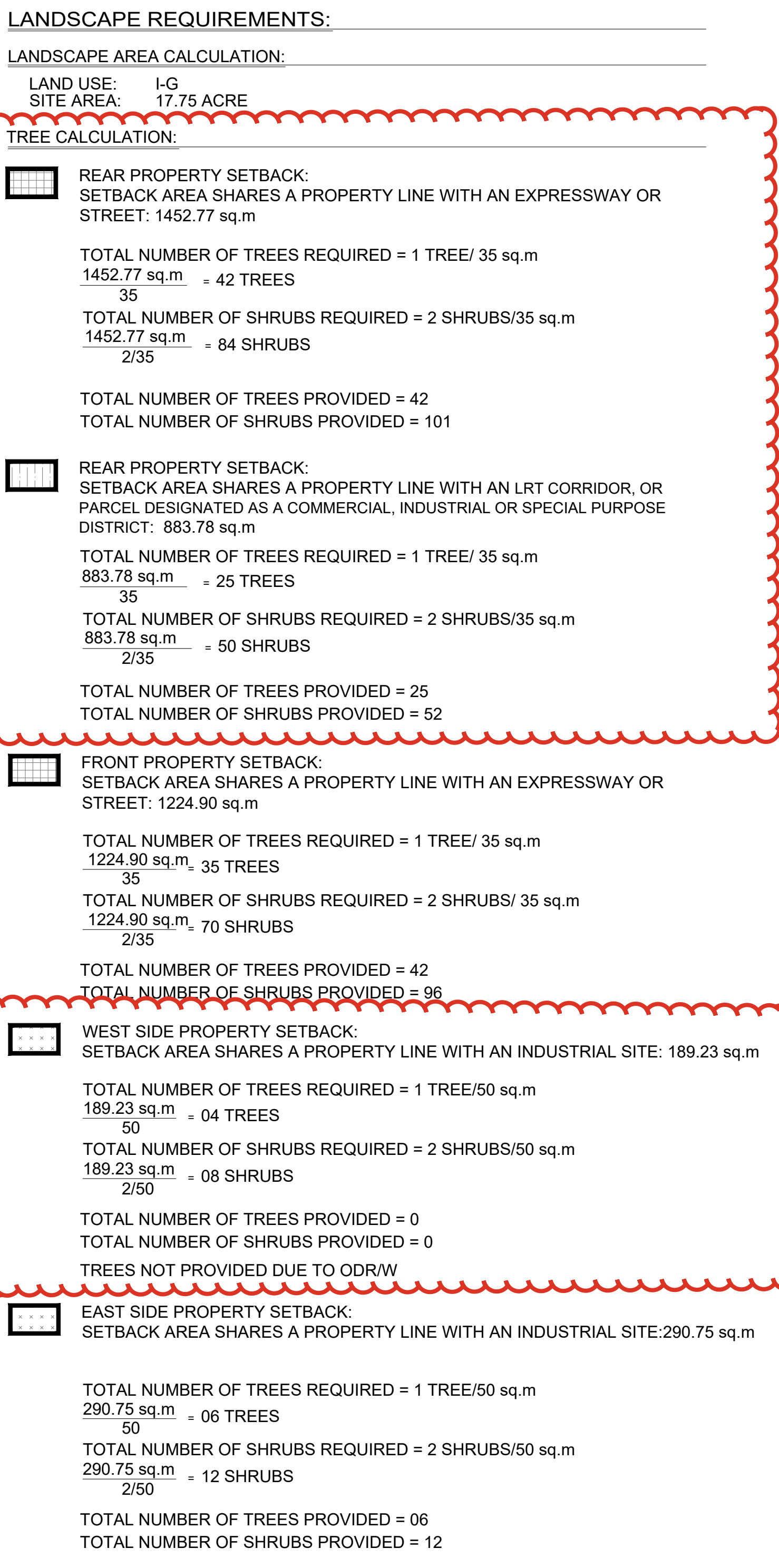
800.685.1378 walterfedy.com

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SCALE:	AS NOTED	SHEET NO:
DATE:	2025-12-11	
PROJECT NO:	2025-0991-10	
DRAWN BY:		
CHECKED BY:		

DP-4.05

GEMINI52



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■ landscape architecture + planning ■

ENT

PROJECT
CONSTELLATION
2015540 47th AVENUE SW, CALGARY, AB.
FILE
LANDSCAPE STATS PLAN

WALTERFEDY
TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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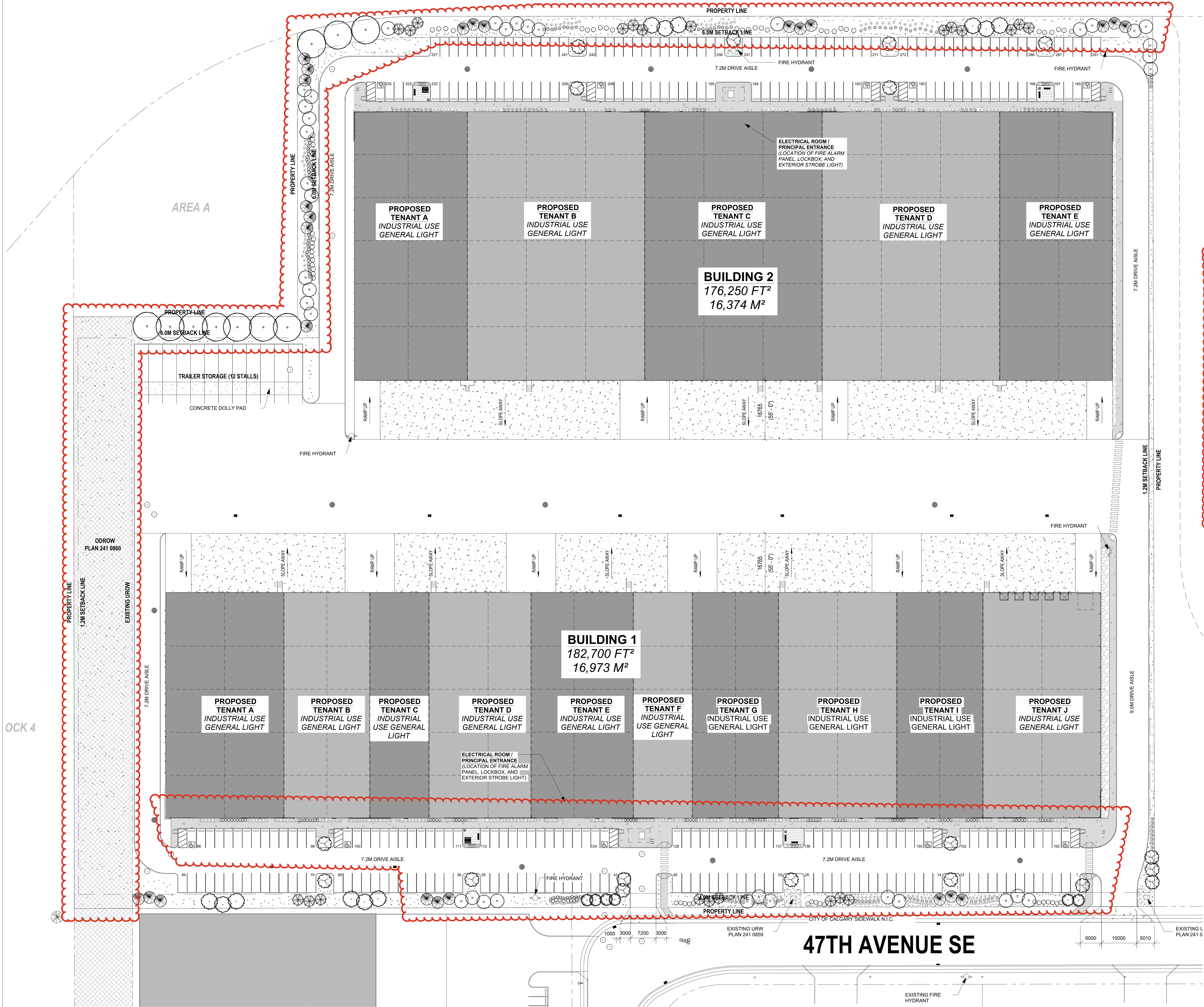
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DATE :	AS NOTED	SHEET NO :	L0.00
TIME :	12/10/25		
PROJECT NO :	0000-0000-00		
DRAWN BY :	CK		
CHECKED BY :	VK		

PEIGAN TRAIL SE

GEMINI52



PLANT LEGEND:

LEGEND:

FEATURES:

PLANT LIST:

CONFEROUS TREES

DECIDUOUS TREES

CONFEROUS SHRUBS

DECIDUOUS SHRUBS

ORNAMENTAL GRASSES

No.	ISSUANCE	DATE
01	ISSUED FOR I/P SUBMISSION	2025-12-11
02	ISSUED FOR DRT	2026-02-26

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AMENDED DRAWINGS

DP No Date Received

DP2025-07461 MAR 03 2026

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ENRHT

CLIENT LOGO

PLant studio

landscape architecture + planning

PROJECT

CONSTELLATION

5520/5540 47th AVENUE SW, CALGARY, AB

TITLE

LANDSCAPE PLAN

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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SCALE	AS NOTED	SHEET NO.
DATE	12/10/25	
PROJECT NO.	0000-0000-00	L1.00
DRAWN BY	CK	
CHECKED BY	VK	

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AMENDED DRAWINGS
DP No Date Received
DP2025-07461 MAR 03 2026
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PROJECT

CONSTELLATION

5520/5540 47th AVENUE SW, CALGARY, AB.

LANDSCAPE DETAILS

WALTERFEDY

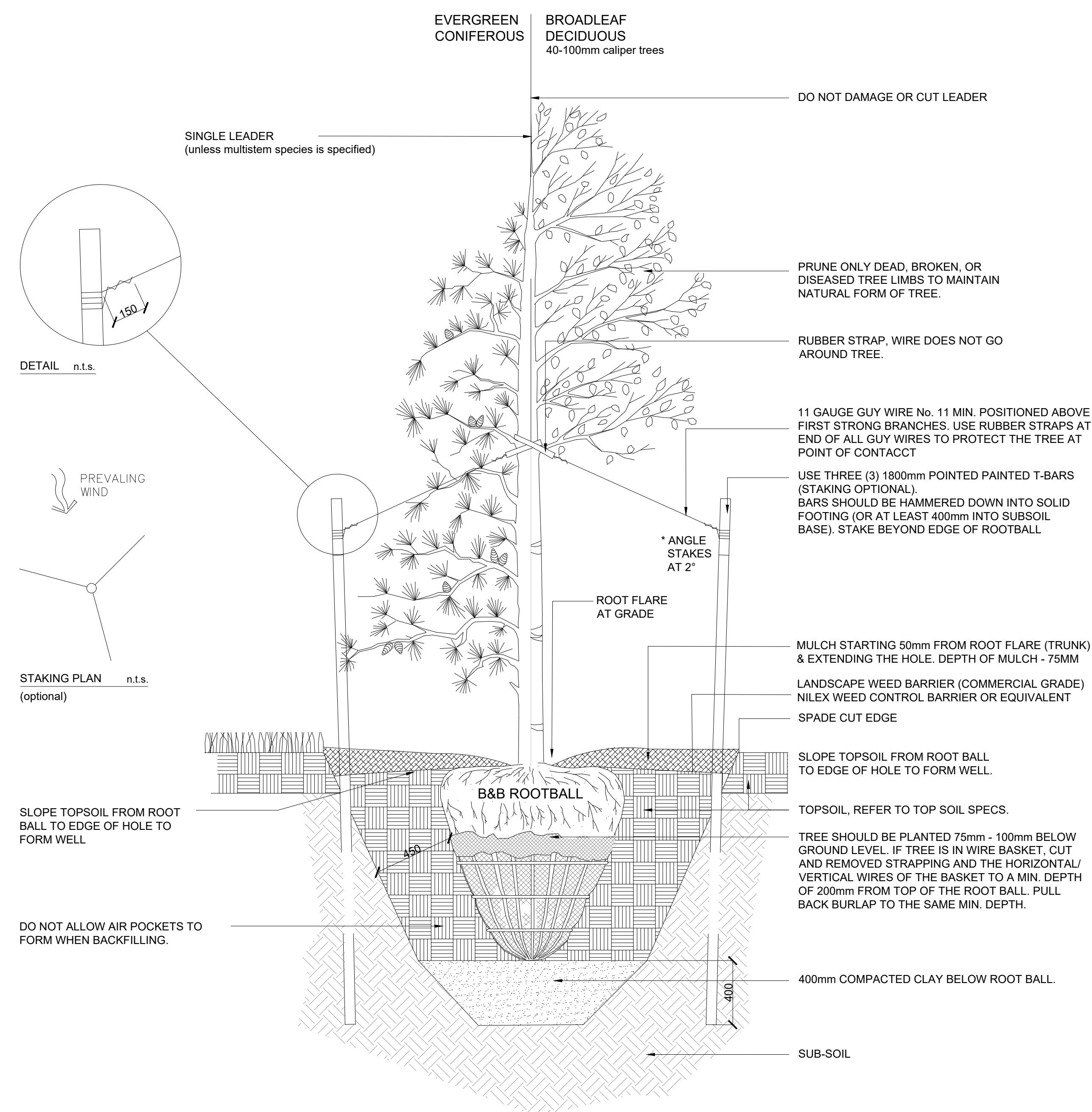
TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

DISCLAIMER:

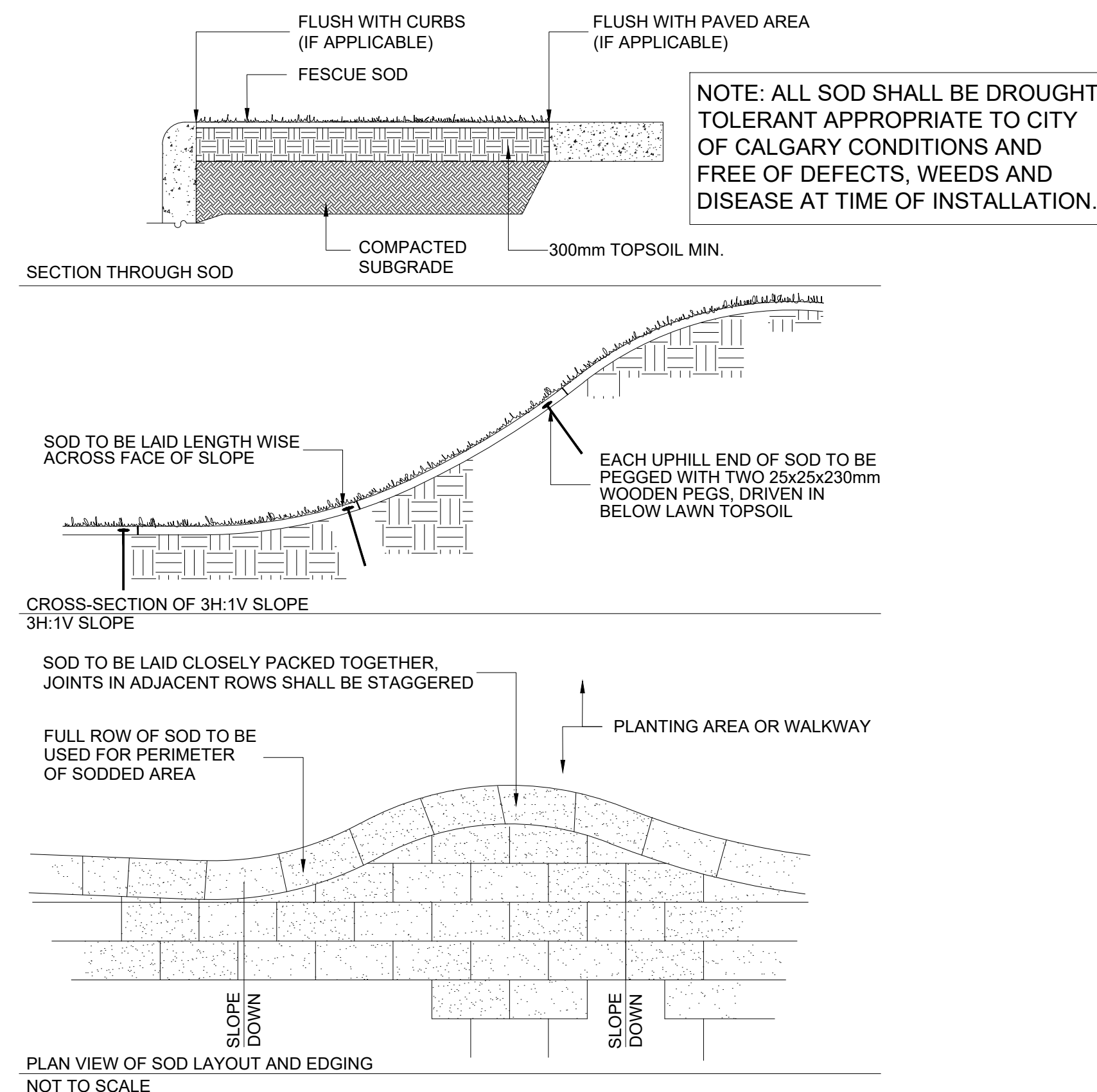
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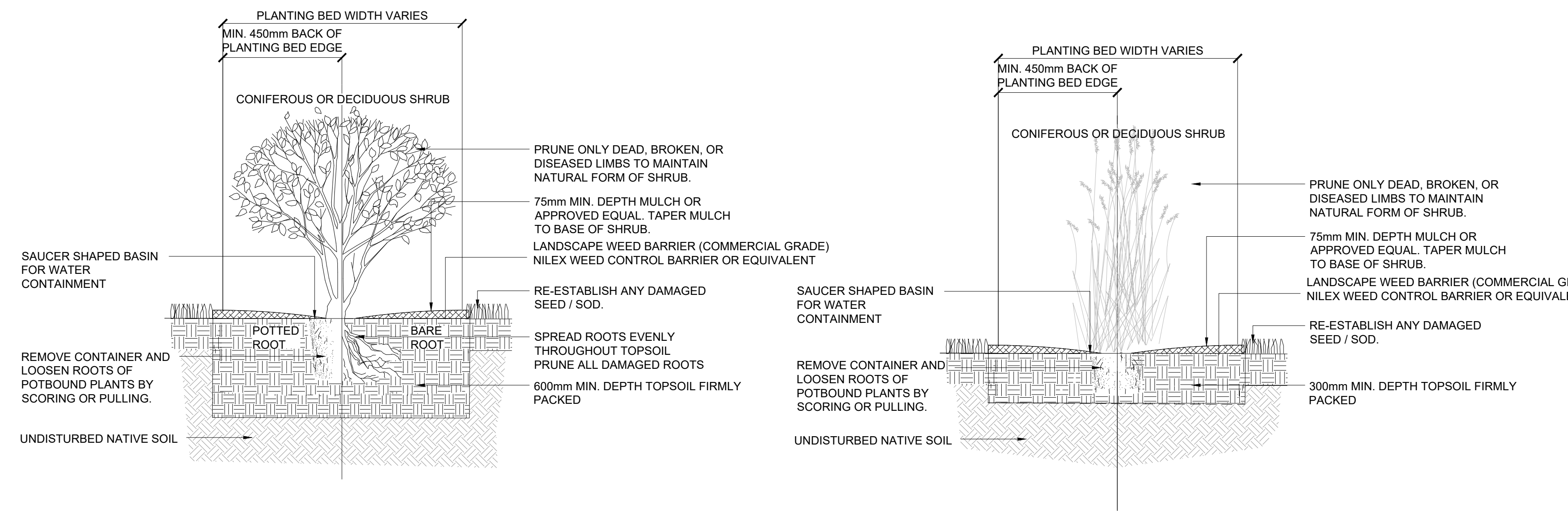
SCALE :	AS NOTED	SHEET NO : L2.00
DATE :	12/10/25	
PROJECT NO :	0000-0000-00	
DRAWN BY :	CK	
CHECKED BY :	VK	



01 TREE PLANTING DETAIL
L2.00 1:20



02 SOD INSTALLATION DETAIL
L2.00 1:20

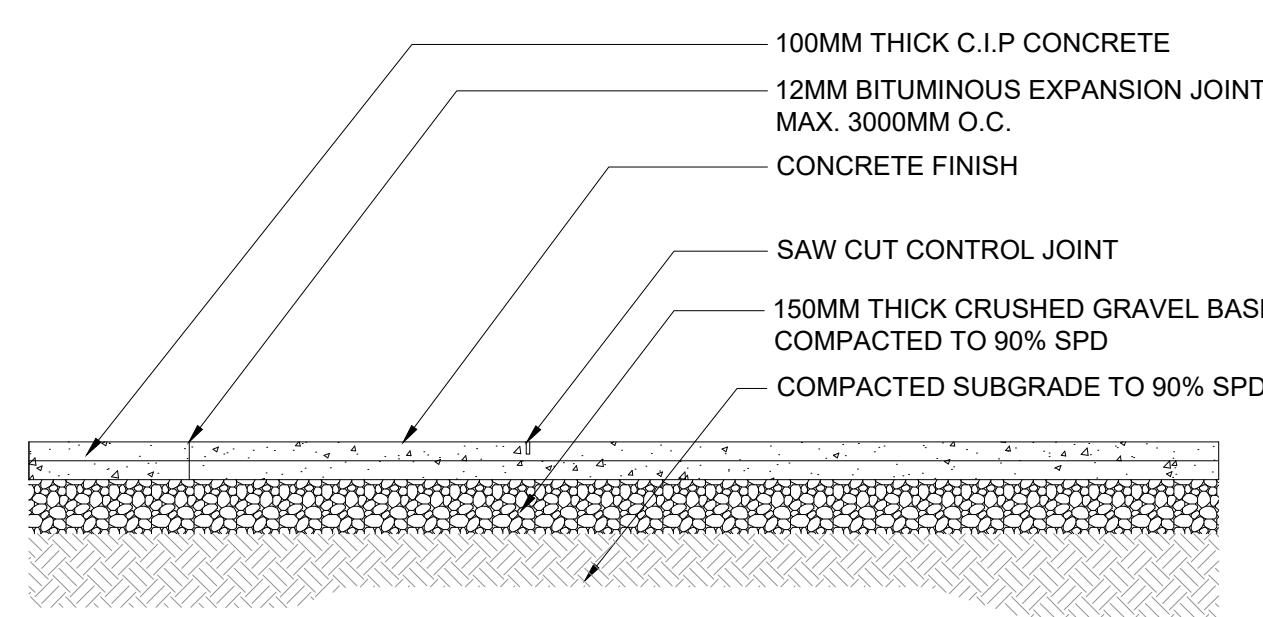


03 SHRUB PLANTING DETAIL
L2.00 1:20

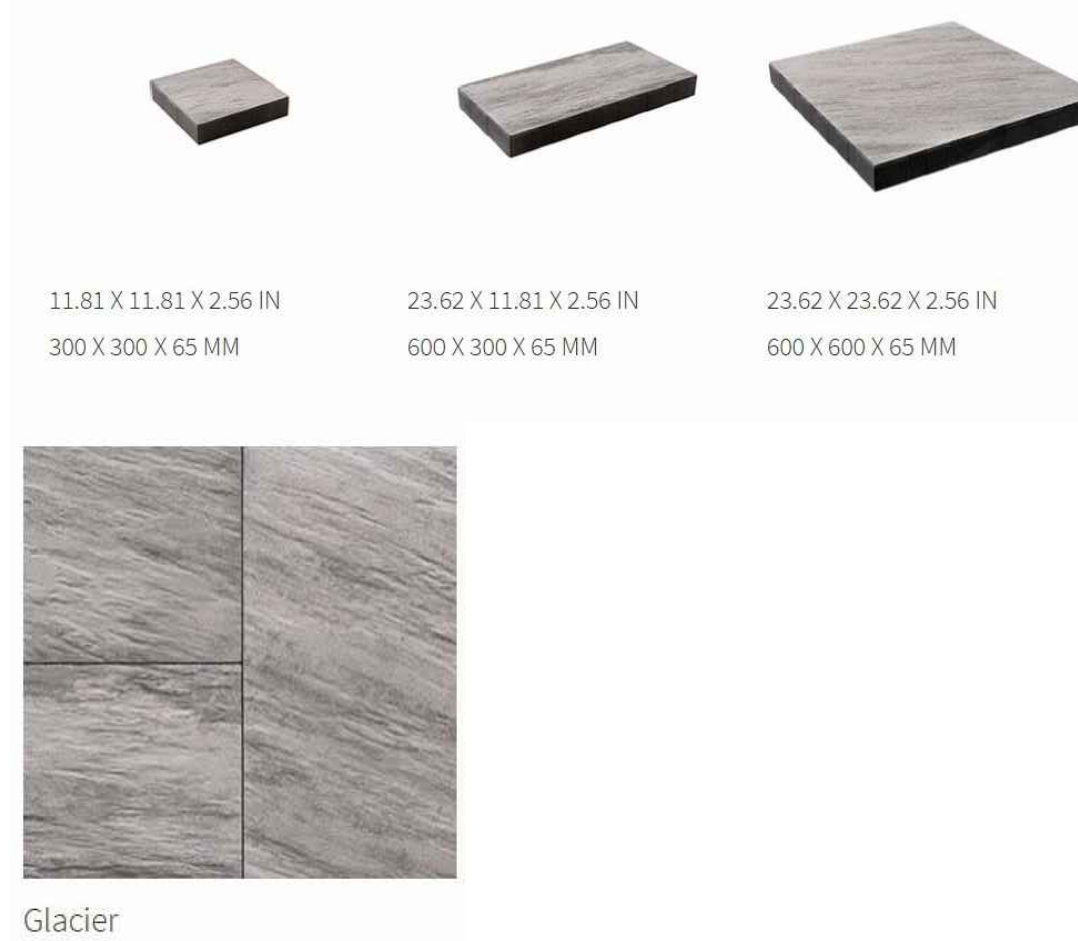
04 PERENNIAL PLANTING DETAIL
L2.00 1:20

NOTES

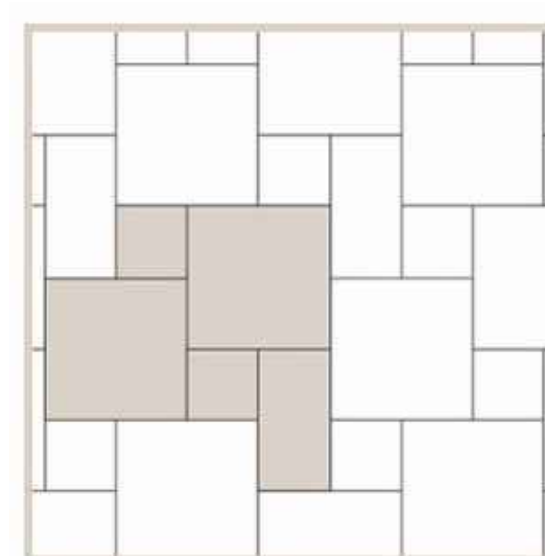
1. PROVIDE MATERIALS AND CONSTRUCTION TECHNIQUES, INCLUDING REINFORCING, PER STRUCTURAL DRAWINGS.
2. ALL CONCRETE TO BE MINIMUM 2% SLOPE. SLOPE TO DRAINS WHERE PROVIDED. WHERE NO DRAINS ARE PROVIDED (i.e. SIDEWALKS) PROVIDE 2% CROSS-SLOPE TO LOW SIDE OF SIDEWALK.



05 CONCRETE WALKWAY DETAIL
L2.00 1:20



06 CONCRETE PAVER DETAIL
L2.00 NTS



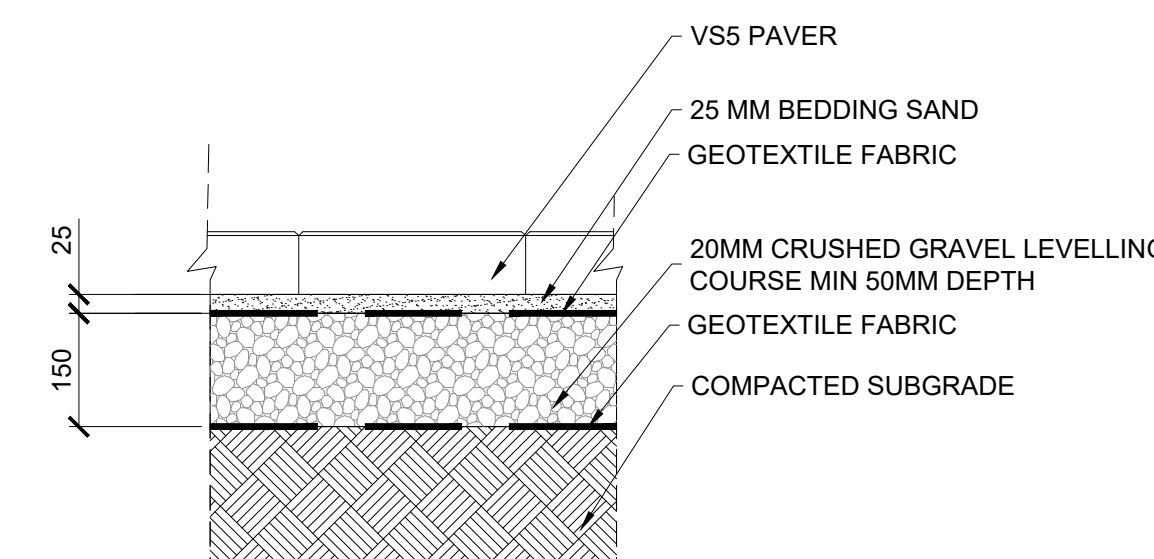
Pattern 1

Pieces per 100 sqft

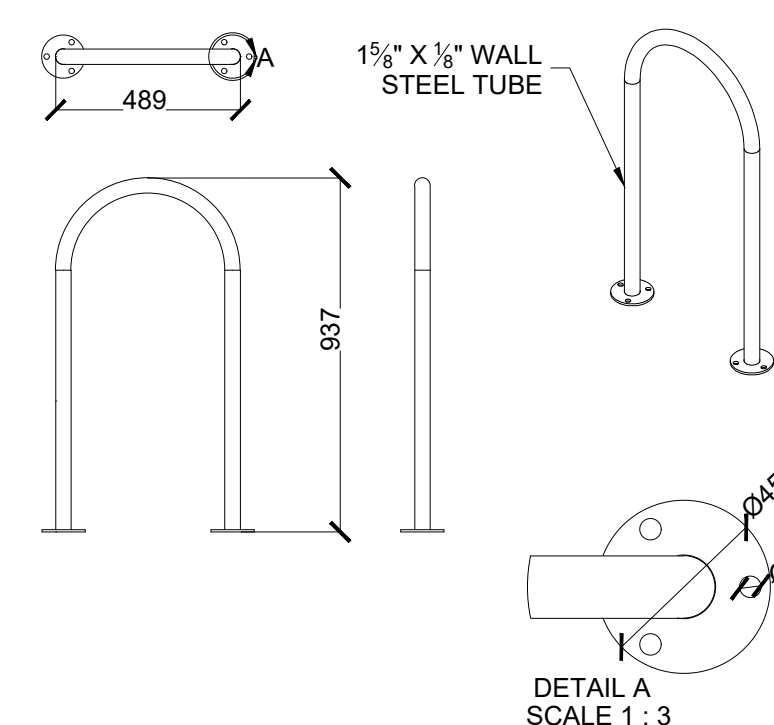
(2) $300 \times 300 = 26.67\%$, 18 pcs

(1) $600 \times 300 = 20\%$, 9 pcs

(2) $600 \times 600 = 53.33\%$, 18 pcs

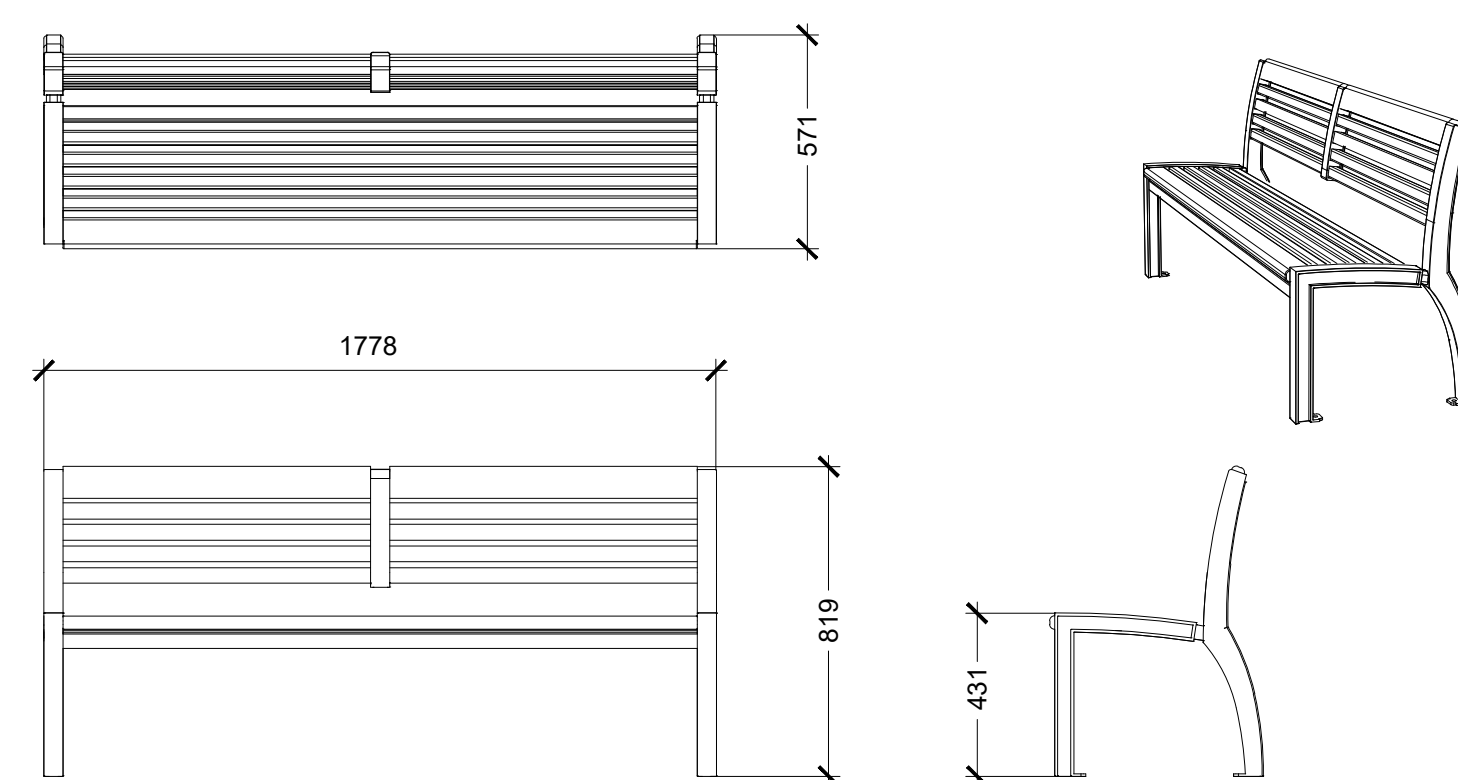


08 CONCRETE PAVER INSTALLATION DETAIL
L2.00 1:20



NOTES:
1. BIKE RACK TO BE MAGLIN MODEL MBR-0500-00003 SURFACE MOUNTED OR SIMILAR APPROVED
2. BIKE RACK TO BE FINISHED WITH GRAPHITE POWDER COLOUR STEEL FRAME.
3. CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURERS SPECIFICATIONS.

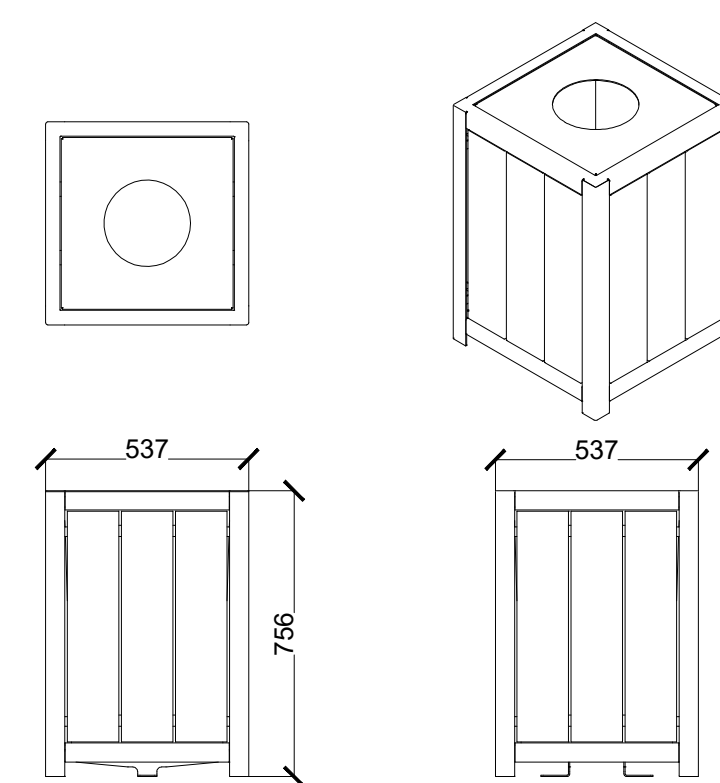
09 BIKE RACK DETAIL
L2.00 1:20



NOTES:

1. 720 MAGLIN BACKED BENCH MODEL NO. MBE-0720-00020 - THERMALLY MODIFIED ASH WOOD
2. BENCH TO BE SURFACE MOUNTED
3. CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURERS SPECIFICATIONS

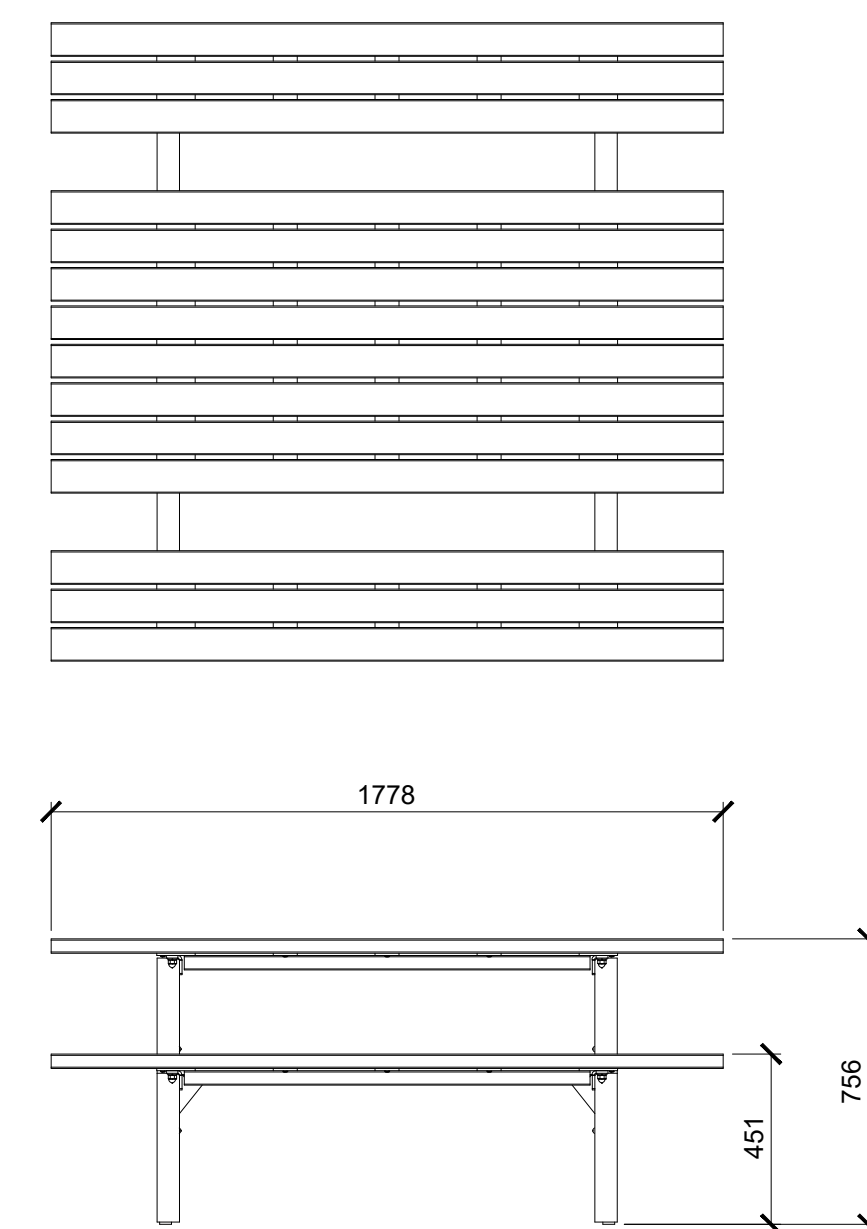
10 BENCH DETAIL
L2.00 1:20



MAGLIN FURNITURE:

1. 1050 TRASH CONTAINER MODEL NO MTR-1050-00010 - THERMALLY MODIFIED ASH WOOD TRASH
2. RECEPTACLE TO BE SURFACE MOUNTED
3. CONTRACTOR TO SUPPLY AND INSTALL AS PER MANUFACTURER'S SPECIFICATIONS

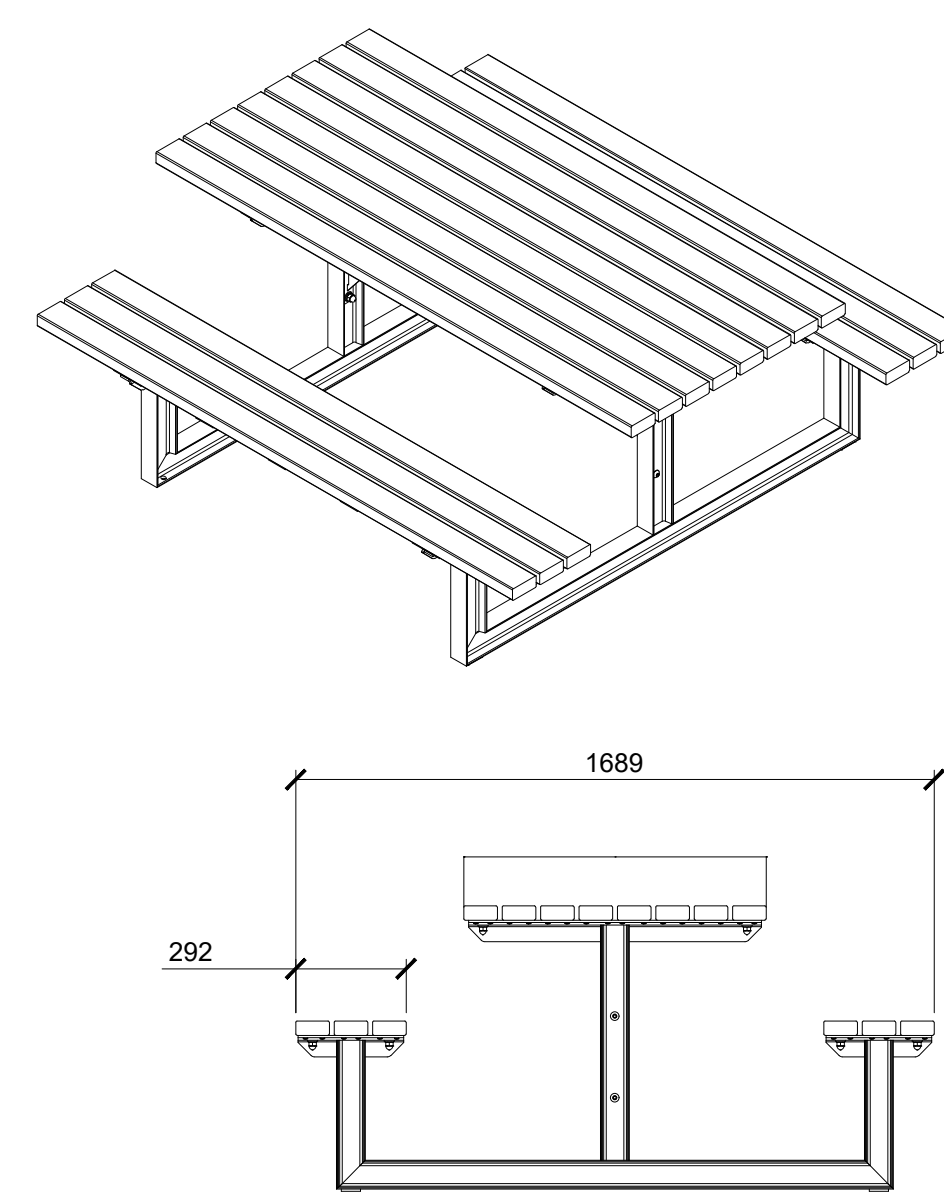
11 TRASH RECEPTACLE DETAIL
L2.00 1:20



NOTES:

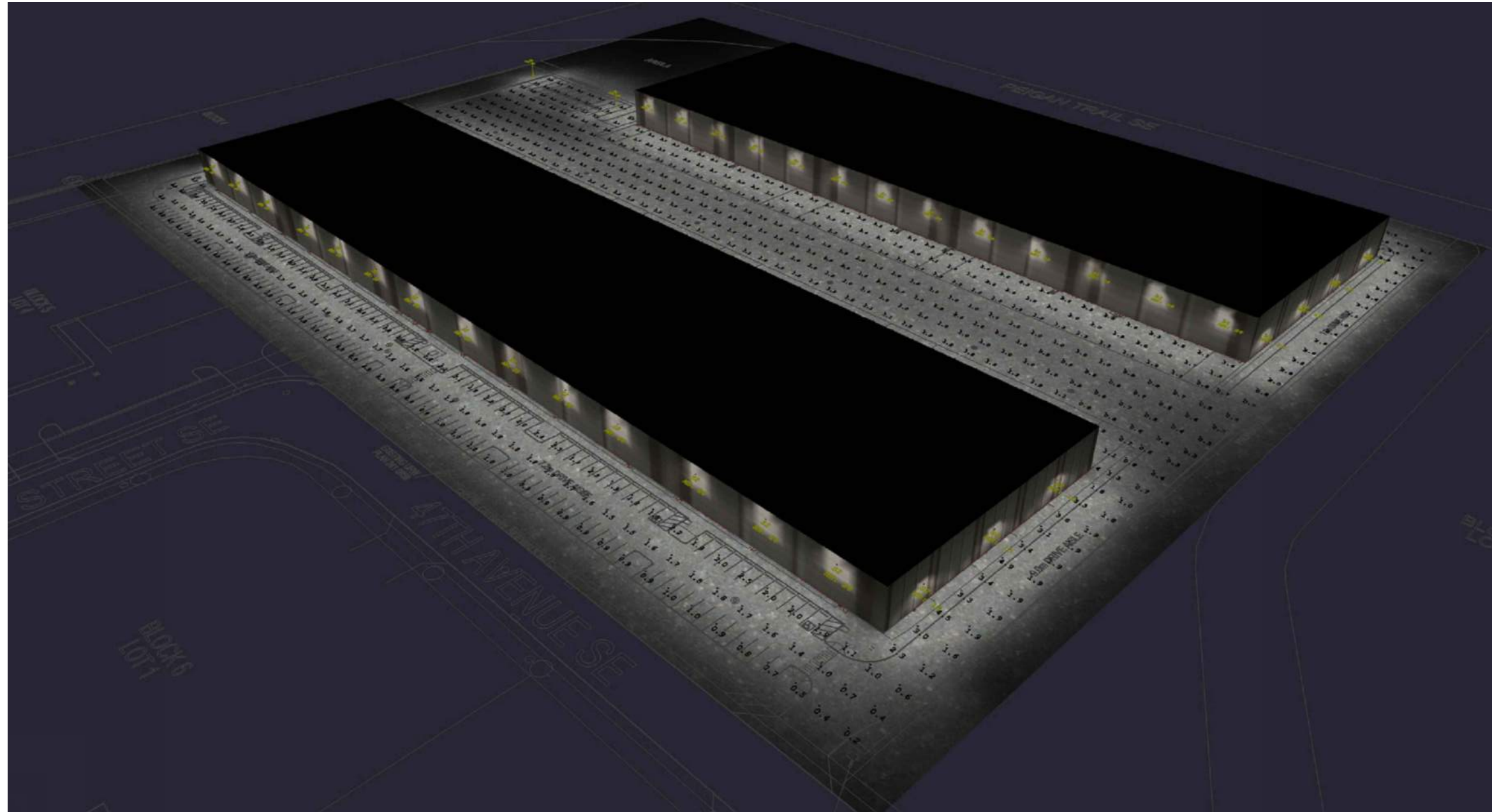
1. MAGLIN 210 CLUSTER SEATING PICNIC TABLE OR APPROVED EQUAL
2. PICNIC TABLE TO BE SURFACE MOUNTED.
3. WOOD GRAIN TEXTURE HIGH DENSITY POLYETHYLENE TO BE USED FOR SEATING
4. INSTALL AS PER MANUFACTURES SPECIFICATIONS.

04 PICNIC TABLE DETAIL
L2.00 NTS

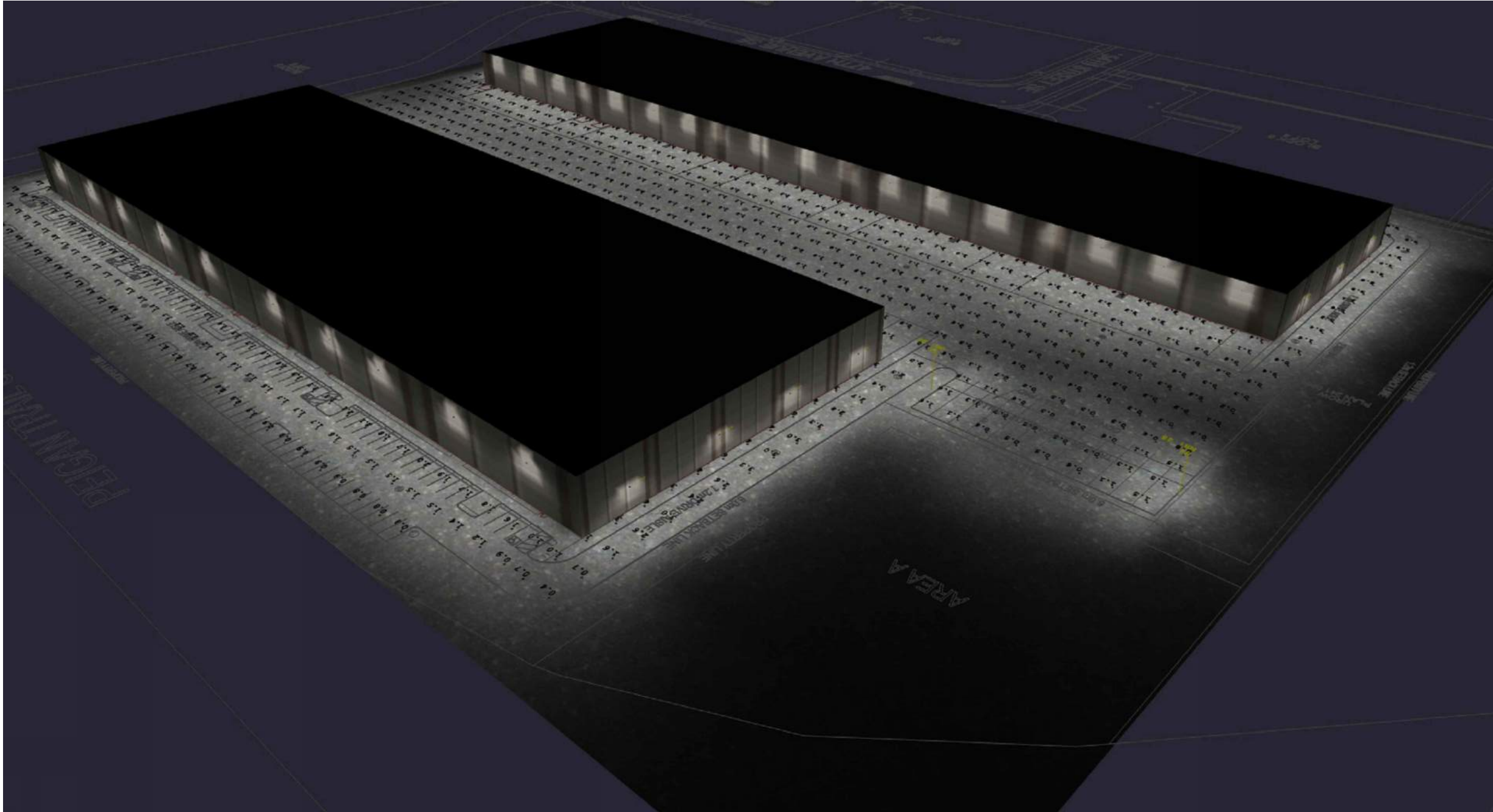


04 PICNIC TABLE DETAIL
L2.00 NTS

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01
E103S
RENDERING 1
NTS



02
E103S
RENDERING 2
NTS



03
E103S
RENDERING 3
NTS

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NO.	ISSUED	DATE
1.	ISSUED FOR DP	2026-02-02

AMENDED DRAWINGS
DP No Date Received
DP2025-07461 MAR 03 2026
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STAMP & SEAL

CLIENT



PROJECT

**ENRIGHT -
CONSTELLATION**

5520/5540 47th AVENUE SW, CALGARY, AB.

TITLE

**SITE LIGHTING
RENDERINGS**

PROJECT NUMBER

26003

DRAWN/CHECKED

RH/HA

DRAWING NUMBER

E103S