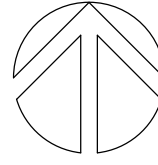




SHEET LIST	
Sheet Number	Sheet Name
DP-0.00	COVER SHEET
DP-1.00	PROPOSED OVERALL SITE PLAN
DP-1.01	PROPOSED ENLARGED SITE PLAN BLG 1
DP-1.02	PROPOSED ENLARGED SITE PLAN BLG 2
DP-1.03	PROPOSED TRAFFIC CONTROL PLANS
DP-1.04	PROPOSED SITE DETAILS
DP-2.00	PROPOSED PLANS - BLG 1
DP-2.01	PROPOSED PLANS - BLG 2
DP-4.00	PROPOSED BUILDING ELEVATIONS - BLG 1
DP-4.01	PROPOSED BUILDING ELEVATIONS - BLG 1
DP-4.02	PROPOSED BUILDING ELEVATIONS - BLG 1
DP-4.03	PROPOSED BUILDING ELEVATIONS - BLG 2
DP-4.04	PROPOSED BUILDING ELEVATIONS - BLG 2
DP-4.05	PROPOSED BUILDING ELEVATIONS - BLG 2
DP-5.00	PROPOSED BUILDING SECTIONS - BLG 1
DP-5.01	PROPOSED BUILDING SECTIONS - BLG 2



SITE SUMMARY AND LAND USE BYLAW		
BYLAW ITEM	DESCRIPTION	REFERENCE
LEGAL DESCRIPTION	LOTS 6 & 7, BLOCK 5, PLAN 241 0858	
MUNICIPAL ADDRESS	BUILDING 1: 5520 - 47TH AVENUE S.E. CALGARY ALBERTA BUILDING 2: 5540 - 47TH AVENUE S.E. CALGARY ALBERTA	
APPLICABLE BY-LAW AND REFERENCES	CITY OF CALGARY LAND USE BY-LAW, I-G INDUSTRIAL GENERAL CITY OF CALGARY LAND USE DISTRICT MAP	1P2007 SECTION 2E
PERMITTED AND DISCRETIONARY USES	PERMITTED: GENERAL INDUSTRIAL - LIGHT	1P2007 I-G 907.2(m)
SITE AREA	17.75 ACRES (71,847 sq.m. / 773,361 sq.ft.)	
BUILDING AREA	BUILDING 1: 16,873 sq.m. (182,700 sq.ft.) BUILDING 2: 16,374 sq.m. (176,250 sq.ft.)	
BUILDING HEIGHT	MAXIMUM 18.0m (59 ft.)	1P2007, 912
SITE COVERAGE	SITE AREA = 71,847 sq.m. (773,361 sq.ft.) TOTAL BUILDING AREA = 33,247 sq.m. (358,950 sq.ft.) SITE COVERAGE = 46.41%	1P2007, 911
REQUIRED SETBACKS	FRONT SETBACK: MINIMUM 4.0m SECONDARY STREET, 6.0m MAJOR STREET REAR SETBACK: MINIMUM 1.2m SIDE SETBACK: MINIMUM 1.2m	1P2007, 915, 916, 917
PARKING PROVIDED	BUILDING 1: STALLS PROVIDED = 162 162 STALLS x 1000 SF / 162,700 sq.ft. = 0.89 STALLS PER 1000 sq.ft. BUILDING 2: STALLS PROVIDED = 128 128 STALLS x 1000 SF / 176,250 sq.ft. = 0.73 STALLS PER 1000 sq.ft. TOTAL STALLS PROVIDED = 291 STALLS (INCLUDES 10 BARRIER FREE STALLS)	
BARRIER PARKING REQUIRED / PROVIDED	REQUIRED: 4.0 BARRIER FREE STALLS REQUIRED PER 100 PARKING STALLS PROVIDED 1.0 ADDITIONAL BARRIER FREE STALL PER EACH ADDITIONAL INCREMENT OF 100 STALLS BUILDING 1: STALLS PROVIDED = 162 5 BARRIER FREE STALLS REQUIRED (5 PROVIDED) BUILDING 2: STALLS PROVIDED = 128 5 BARRIER FREE STALLS REQUIRED (5 PROVIDED)	NSC - 2023 ALBERTA EDITION TABLE 3.8.2.5
PARKING STALL DIMENSION REQUIREMENTS / PROVIDED	VEHICLE PARKING STALLS REQUIRED STALL DIMENSIONS: MIN. 2.6m WIDE x 5.4m LONG PROVIDED STALL DIMENSIONS: 2.6m WIDE x 5.4m LONG BARRIER FREE PARKING STALLS REQUIRED STALL DIMENSIONS: MIN. 2.4m WIDE x 5.6m LONG PROVIDED STALL DIMENSIONS: 2.6m WIDE x 5.4m LONG W/ 2.6m WIDE x 5.4m L. ADJACENT ACCESSIBILITY AISLE	1P2007, 122
BICYCLE PARKING REQUIRED / PROVIDED	CLASS 1 BICYCLE STALLS NO REQUIREMENT CLASS 2 BICYCLE STALLS REQUIRES A MINIMUM OF 1 PER 2,000sq.m. GROSS USABLE FLOOR AREA BUILDING 1: 16,973 / 2,000 = 8.5 STALLS 9 STALLS REQUIRED 10 STALLS PROVIDED BUILDING 2: 16,374 / 2,000 = 8.2 STALLS 9 STALLS REQUIRED 10 STALLS PROVIDED	1P2007, 203.2 (a)(f)



**ENRIGHT
CONSTELLATION**
5520/5540 47th AVENUE SW, CALGARY, AB.

WalterFedy Project No.: 2025-0991-10
ISSUED FOR DEVELOPMENT PERMIT 2025-12-11

The site plan for Peigan Trail SE shows two industrial buildings, Building 1 and Building 2, situated on a large lot. Building 1 is a long, rectangular structure with a total area of 182,700 ft² (16,973 m²). It is divided into ten sections, each labeled 'PROPOSED TENANT A' through 'PROPOSED TENANT J', all designated for 'INDUSTRIAL USE GENERAL LIGHT'. Building 2 is a smaller, rectangular structure with a total area of 176,250 ft² (16,374 m²). It is divided into five sections, each labeled 'PROPOSED TENANT A' through 'PROPOSED TENANT E', also designated for 'INDUSTRIAL USE GENERAL LIGHT'. The plan includes various setbacks, drive aisles, and ramps. Key features include a 6.0m setback line, 7.2m drive aisles, and 12m ramps. The site is bordered by 54th Street SE to the west, 55th Street SE to the east, and 47th Avenue SE to the south. The plan also shows existing urw (utility right-of-way) and a 10m site access point. The surrounding area includes Block 4, Block 5 Lot 4, Block 5 Lot 8, Block 6 Lot 1, and Block 6 Lot 5.

1
DP-1.0

DP-1.00

GENERAL SITE NOTES

ALL NON-BARRIER FREE PARKING STALLS

- 2.60m x 5.40m (8' - 6 3/8" x 17' - 8 5/8") TYPICAL

ALL BARRIER FREE PARKING STALLS

- 2.60m x 5.40m (7' - 10 1/2" x 17' - 8 5/8") TYPICAL
- ALL BARRIER FREE PARKING STALLS TO HAVE A 2.60m PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK CURB RAMP

INTERNAL SITE CIRCULATION AISLE

- 7.20m (23' - 7 1/2") TYPICAL

PARKING ISLANDS / LANDSCAPE BUFFERS

- CURB RADIUS OF 1.00m (3'-3 1/4") TYPICAL, UNLESS NOTED OTHERWISE

RUBBER WHEEL STOP

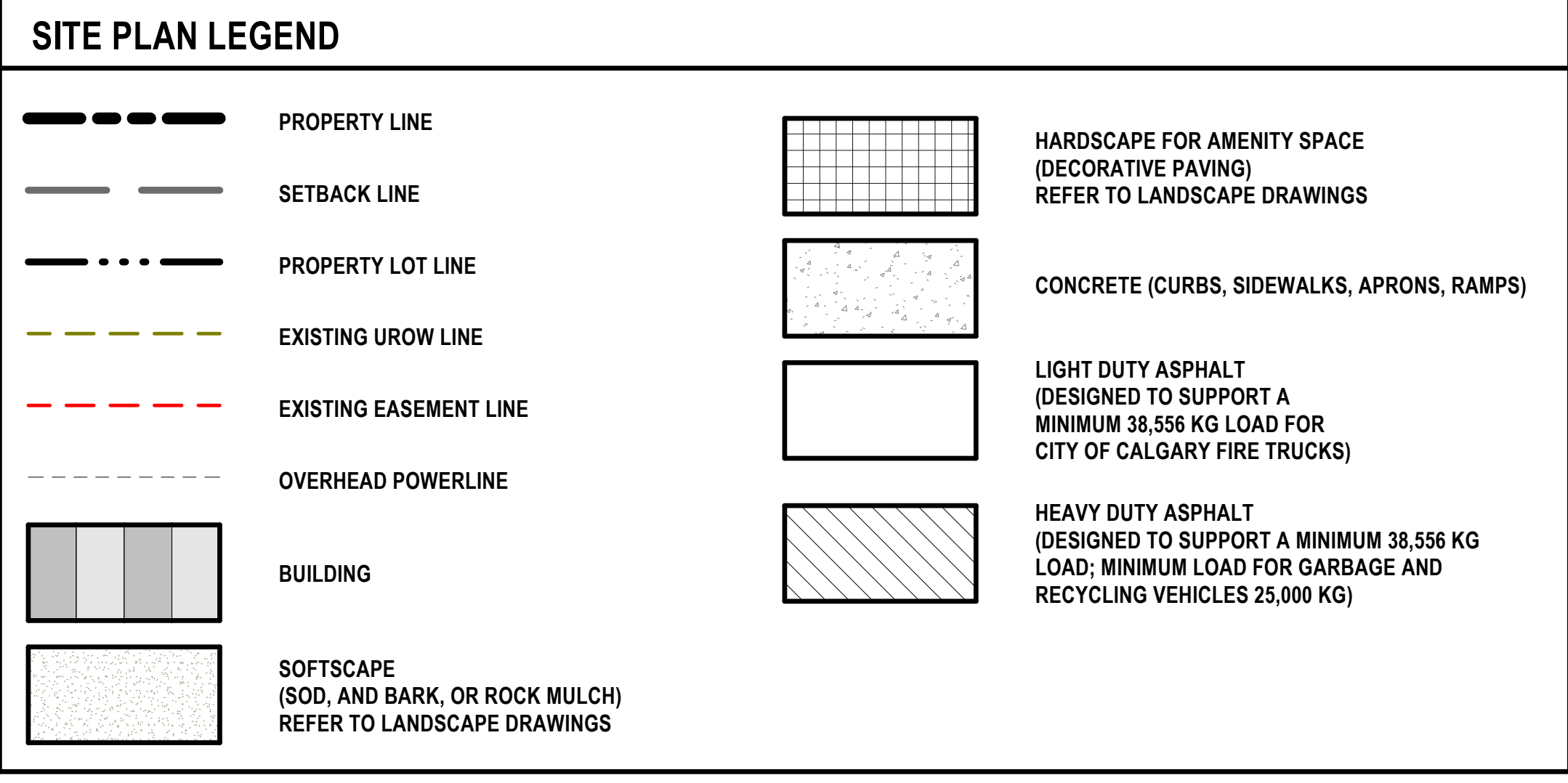
- LOCATED 60m (20') FROM FACE OF CURB TO CENTERLINE OF STOP
- TO BE PINNED TO ASPHALT
- TYPICAL AT ALL STALLS ALONG SIDEWALKS / FRONTAGE OF BUILDING

WASTE MANAGEMENT

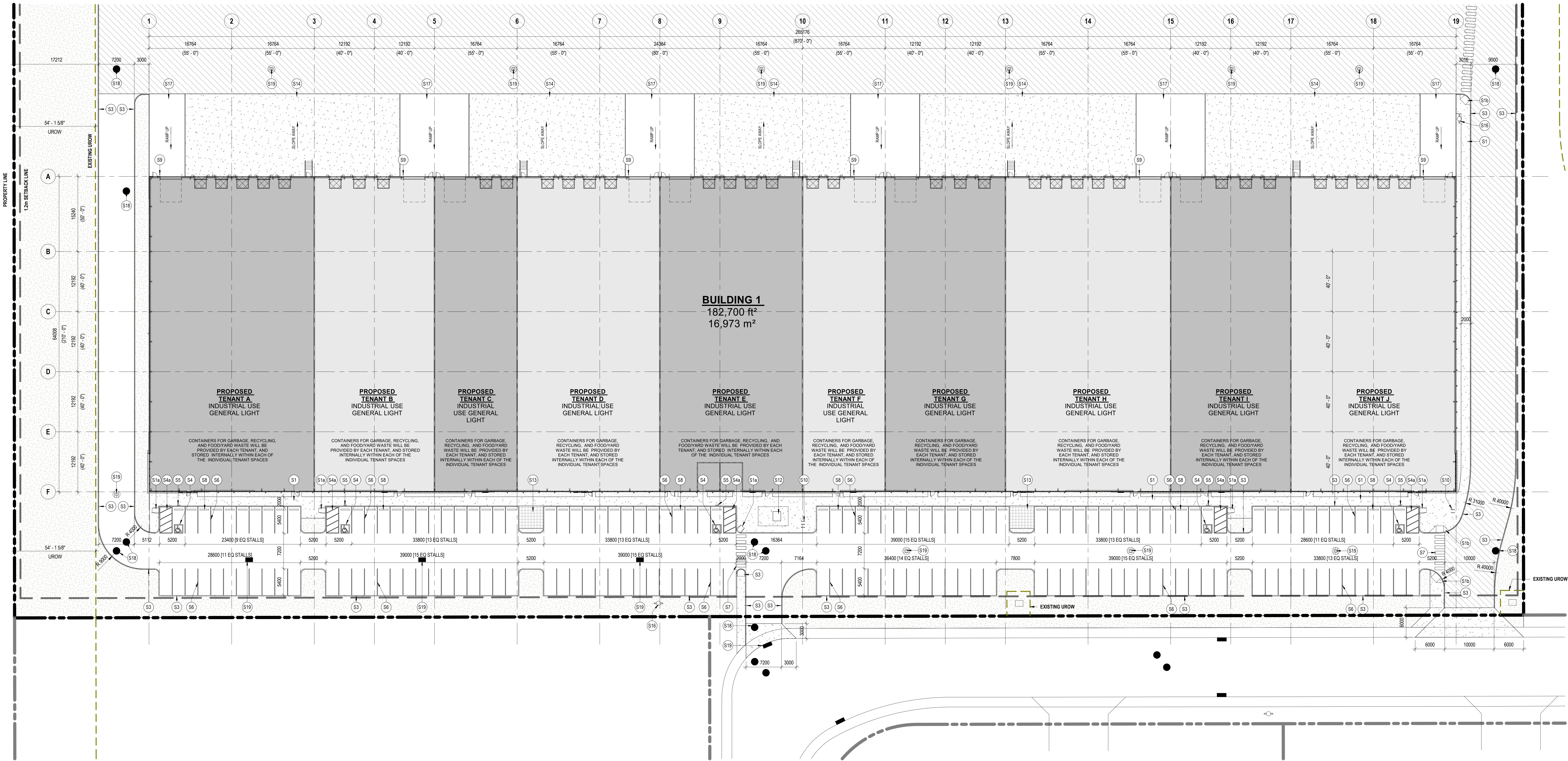
- CONTAINERS FOR GARBAGE, RECYCLING, AND FOODYARD WASTE WILL BE PROVIDED BY EACH TENANT, AND STORED INTERNALLY WITHIN EACH OF THE INDIVIDUAL TENANT SPACES

INTERNAL SITE CIRCULATION SIDEWALKS

- ALL CONCRETE PEDESTRIAN SIDEWALKS TO HAVE OUR TYPICAL DIMENSION, UNLESS OTHERWISE NOTED
- MINIMUM 2.00m WIDE (6' - 6 3/4" WIDE) TYPICAL



SITE KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
S1	TYPICAL CONCRETE SIDEWALK AND CURB
S1a	TYPICAL CONCRETE H/C SIDEWALK RAMP. ALBERTA BARRIER FREE STANDARDS. REFER TO TYPICAL SITE DETAILS
S1b	TYPICAL CONCRETE SIDEWALK RAMP. CITY OF CALGARY STANDARDS. REFER TO TYPICAL SITE DETAILS
S3	TYPICAL CONCRETE CURB. REFER TO TYPICAL SITE DETAILS
S4	PAINTED BARRIER-FREE PARKING SYMBOL. REFER TO TYPICAL SITE DETAILS
S4a	2.6M WIDE PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK RAMP. TYPICAL AT ALL BARRIER FREE PARKING STALL LOCATIONS
S5	BARRIER-FREE DESIGNATED SIGNAGE.
S6	PAINTED PARKING LINES - COLOUR: YELLOW
S7	PAINTED CROSSWALK LINES - COLOUR: WHITE
S8	RUBBER WHEEL STOP
S9	6" GUARD POST. TYPICAL AT ALL DRIVE IN DOORS
S10	TYPICAL BIKE RACK. REFER TO S/A1.02
S12	TRANSFORMER LOCATION
S13	AMENITY SPACE. REFER TO LANDSCAPE DRAWINGS
S14	CONCRETE APRON
S16	NEW FIRE HYDRANT LOCATION. REFER TO CIVIL DRAWINGS
S17	CONCRETE DRIVE-IN RAMP W/ GUARDRAILS
S18	TYPICAL MANHOLE
S19	TYPICAL DRAINAGE GRATE



1 ENLARGED SITE PLAN BLG 1
Scale: 1 : 300

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PROJECT
CONSTELLATION

5520/5540 47th AVENUE SW, CALGARY, AB

TITLE
PROPOSED ENLARGED SITE PLAN BLG 1

WALTERFEDY
TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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DATE: 2025-12-11
PROJECT NO: 2025-0991-10
DRAWN BY: MAC MCGOWN
CHECKED BY: DREW OLSON

SHEET NO:
DP-1.01

GENERAL SITE NOTES

ALL NON-BARRIER FREE PARKING STALLS

- 2.60m x 5.40m (8' - 6 3/8" x 17' - 8 5/8") TYPICAL

ALL BARRIER FREE PARKING STALLS

- 2.60m x 5.40m (7' - 10 1/2" x 17' - 8 5/8") TYPICAL
- ALL BARRIER FREE PARKING STALLS TO HAVE A 2.60m PAINTED AISLE ADJACENT TO THE NEAREST SIDEWALK CURB RAMP

INTERNAL SITE CIRCULATION AISLE

- 7.20m (23' - 7 1/2") TYPICAL

PARKING ISLANDS / LANDSCAPE BUFFERS

- CURB RADIUS OF 1.00m (3'-3 1/4") TYPICAL, UNLESS NOTED OTHERWISE

RUBBER WHEEL STOP

- LOCATED 60m (2'-0") FROM FACE OF CURB TO CENTERLINE OF STOP
- TO BE PINNED TO ASPHALT
- TYPICAL AT ALL STALLS ALONG SIDEWALKS / FRONTAGE OF BUILDING

WASTE MANAGEMENT

- CONTAINERS FOR GARBAGE, RECYCLING, AND FOOD/YARD WASTE WILL BE PROVIDED BY EACH TENANT, AND STORED INTERNALLY WITHIN EACH OF THE INDIVIDUAL TENANT SPACES

INTERNAL SITE CIRCULATION SIDEWALKS

- ALL CONCRETE PEDESTRIAN SIDEWALKS TO HAVE OUR TYPICAL DIMENSION, UNLESS OTHERWISE NOTED
- MINIMUM 2.00m WIDE (6' - 6 3/4" WIDE) TYPICAL

SITE PLAN LEGEND

PROPERTY LINE

SETBACK LINE

PROPERTY LOT LINE

EXISTING UROW LINE

EXISTING EASEMENT LINE

OVERHEAD POWERLINE

BUILDING

SOFTSCAPE (SOD, AND BARK, OR ROCK MULCH) REFER TO LANDSCAPE DRAWINGS

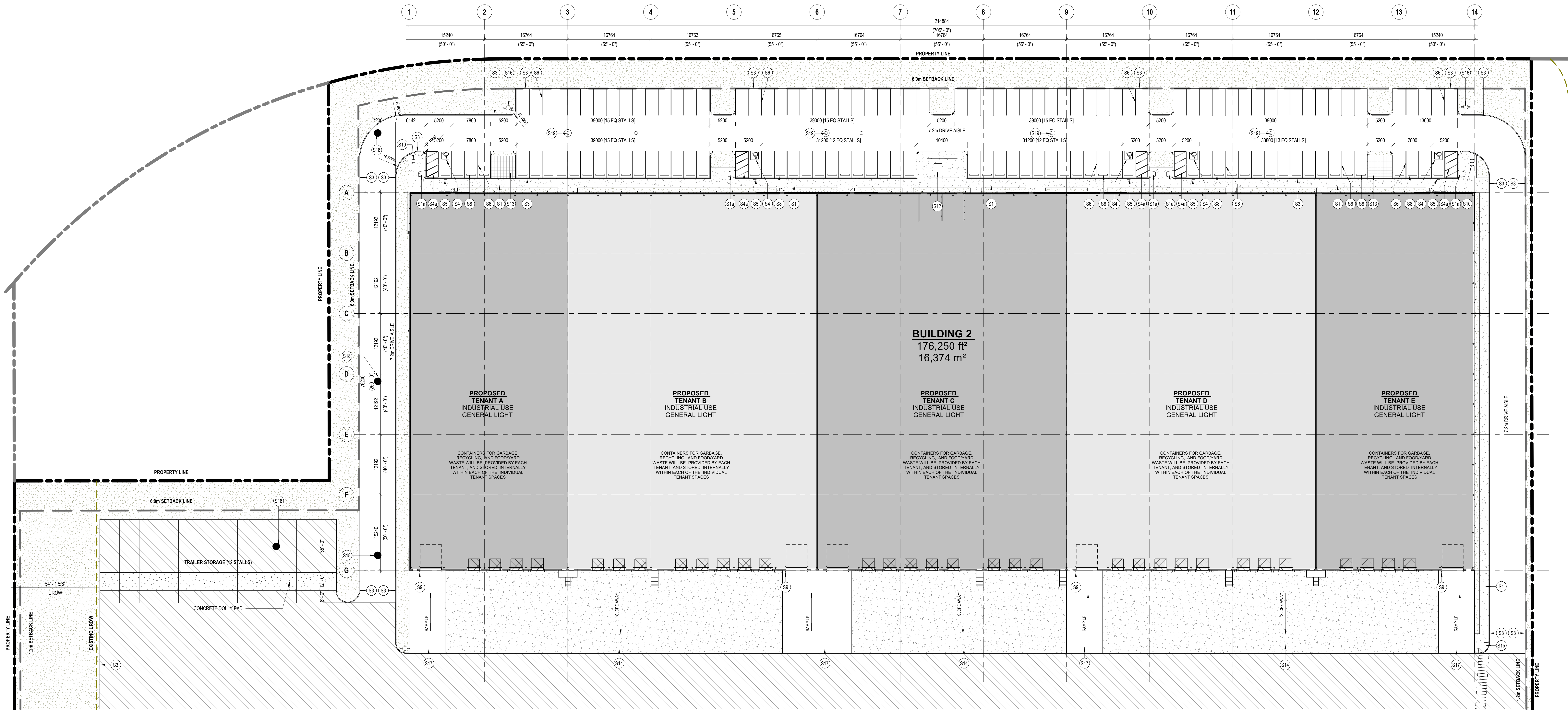
HARDSCAPE FOR AMENITY SPACE (DECORATIVE PAVING) REFER TO LANDSCAPE DRAWINGS

CONCRETE (CURBS, SIDEWALKS, APRONS, RAMPS)

LIGHT DUTY ASPHALT (DESIGNED TO SUPPORT A MINIMUM 38,556 KG LOAD FOR CITY OF CALGARY FIRE TRUCKS)

HEAVY DUTY ASPHALT (DESIGNED TO SUPPORT A MINIMUM 38,556 KG LOAD; MINIMUM LOAD FOR GARBAGE AND RECYCLING VEHICLES 25,000 KG)

SITE KEYNOTE LEGEND	
KEYNOTE	DESCRIPTION
S1	TYPICAL CONCRETE SIDEWALK AND CURB
S1a	TYPICAL CONCRETE H/C SIDEWALK RAMP. ALBERTA BARRIER FREE STANDARDS. REFER TO TYPICAL SITE DETAILS
S1b	TYPICAL CONCRETE SIDEWALK RAMP. CITY OF CALGARY STANDARDS. REFER TO TYPICAL SITE DETAILS
S3	TYPICAL CONCRETE CURB. REFER TO TYPICAL SITE DETAILS
S4	PAINTED BARRIER-FREE PARKING SYMBOL. REFER TO TYPICAL SITE DETAILS
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S5	BARRIER-FREE DESIGNATED SIGNAGE.
S6	PAINTED PARKING LINES - COLOUR: YELLOW
S7	PAINTED CROSSWALK LINES - COLOUR: WHITE
S8	RUBBER WHEEL STOP
S9	6" GUARD POST. TYPICAL AT ALL DRIVE IN DOORS
S10	TYPICAL BIKE RACK. REFER TO S/A1.02
S12	TRANSFORMER LOCATION
S13	AMENITY SPACE. REFER TO LANDSCAPE DRAWINGS
S14	CONCRETE APRON
S16	NEW FIRE HYDRANT LOCATION. REFER TO CIVIL DRAWINGS
S17	CONCRETE DRIVE-IN RAMP W/ GUARDRAILS
S18	TYPICAL MANHOLE
S19	TYPICAL DRAINAGE GRATE



1 ENLARGED SITE PLAN BLG 2
Scale: 1 : 300

CLIENT LOGO

GEMINI52

TRUE NORTH PROJECT NORTH

No. 1 ISSUED FOR DEVELOPMENT PERMIT

ISSUANCE DATE 2025-12-11

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PROJECT

CONSTELLATION

5520/5540 47th AVENUE SW, CALGARY, AB

TITLE

PROPOSED ENLARGED SITE PLAN BLG 2

WALTERFEDY

TORONTO | CALGARY | EDMONTON | KITCHENER | HAMILTON

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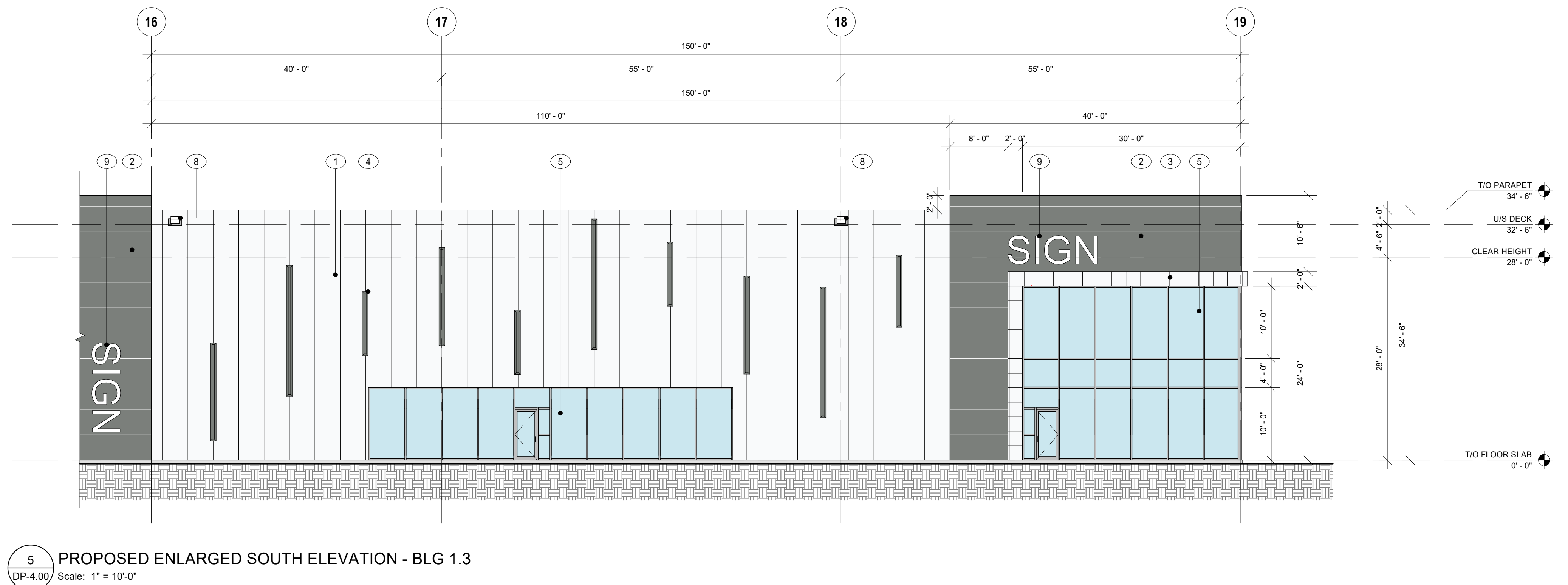
DATE: 2025-12-11

PROJECT NO: 2025-0991-10

DRAWN BY: MAC MCGINN

CHECKED BY: DREW OLSON

SHEET NO: DP-1.02



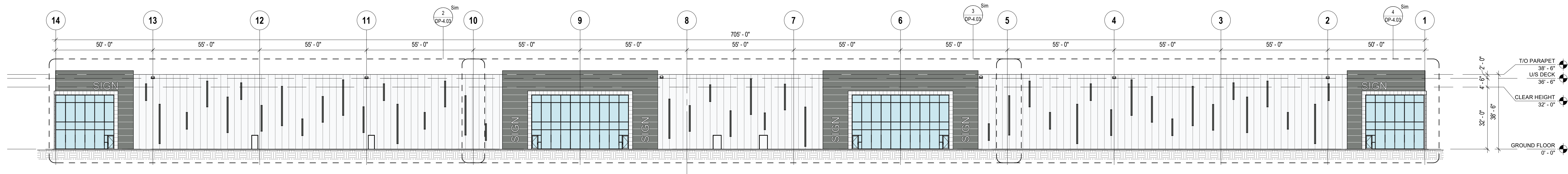
MATERIAL LEGEND	
	PREFINISHED INSULATED METAL PANEL (KINGSSPAN SHADOWLINE) 42" WIDE HORIZONTAL ORIENTATION COLOR: ASSORT WHITE OR ZINC GREY
(2)	PREFINISHED INSULATED METAL PANEL (KINGSSPAN) 42" WIDE HORIZONTAL ORIENTATION COLOR: ZINC GREY
(3)	ALUMINUM COMPOSITE METAL PANEL - 24"x36" COLOR: ASSORT WHITE
	KINGSSPAN ACENT FIN - A-FRAME COLOR: ZINC GREY
	ALUMINUM GLAZED CURTAIN WALL SYSTEM WITH BLUE LOW-E SEASON GLASS UNIT CLEAR ANODIZED ALUMINUM WINDOW FRAME FINISH
(6)	METAL DOORS COLOR: ASSORT WHITE OR ZINC GREY (TO MATCH SURROUNDING MATERIAL)
(7)	OVERHEAD DOORS - 8' W X 16' H PREFINISHED STEEL OVERHEAD DOOR - 8' W X 16' H PREFINISHED STEEL OVERHEAD DOOR
(8)	SCUPPER COLOR: ASSORT WHITE OR ZINC GREY (TO MATCH SURROUNDING MATERIAL)
(9)	PURCHASED TENANT SIGNAGE - MOUNTED LETTERING PROVIDE SOLID BLOCKING / BACKER IN SIGN MOUNTING LOCATIONS
(10)	PROPOSED SCENE CONSTRUCTION



RIGHT

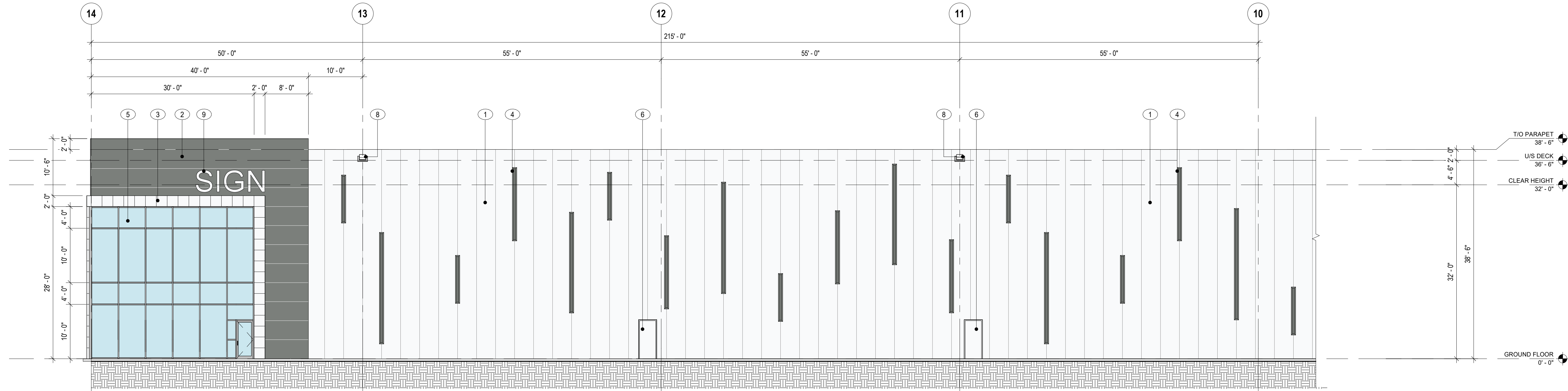
WALTER FEDY

DP-4.02

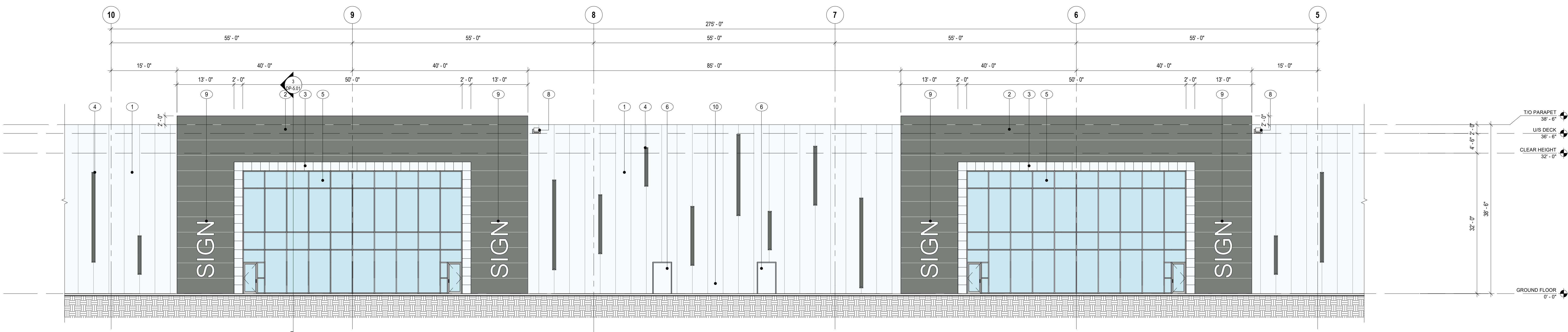


1 PROPOSED OVERALL NORTH ELEVATION - BLG 2
DP-4.03 Scale: 1" = 25'-0"

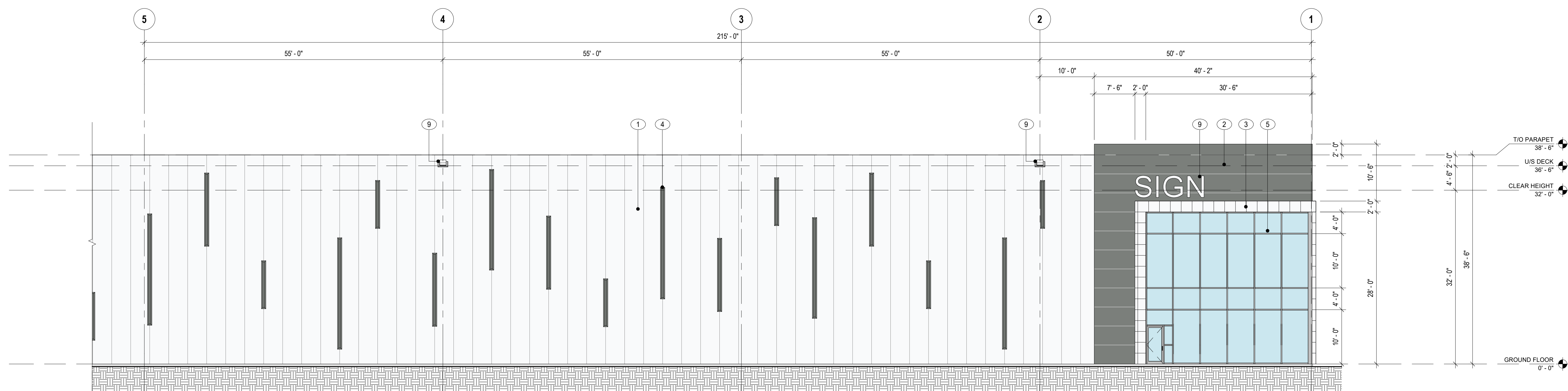
MATERIAL LEGEND	
1	PREFINISHED INSULATED METAL PANEL (KINGSPAN) 24" WIDE VERTICAL ORIENTATION COLOR: ASCOT WHITE OR ZINC GREY
2	PREFINISHED INSULATED METAL PANEL (KINGSPAN) 24" WIDE HORIZONTAL ORIENTATION COLOR: ZINC GREY
3	ALUMINUM COMPOSITE METAL PANEL - 24"x24" COLOR: ASCOT WHITE
4	KINGSPAN ACCENT FIN - A-FRAME COLOR: ZINC GREY
5	ALUMINUM GLAZED CURTAIN WALL SYSTEM WITH BLUE LOW-E SEALED GLASS UNIT CLEAR ANODIZED ALUMINUM WINDOW FRAME FINISH
6	METAL DOORS COLOR: ASCOT WHITE OR ZINC GREY (TO MATCH SURROUNDING MATERIAL)
7	OVERHEAD DOORS 14' W X 10' H PREFINISHED STEEL OVERHEAD DOOR 8' W X 10' H PREFINISHED STEEL OVERHEAD DOOR
8	SCUPPER COLOR: ASCOT WHITE OR ZINC GREY (TO MATCH SURROUNDING MATERIAL)
9	PROPOSED TENANT SIGNAGE - MOUNTED LETTERING (PROVIDE SOLID BLOCKING / BACKER AT SIGN MOUNTING LOCATIONS)
10	PROPOSED SIEMENS CONNECTION



2 PROPOSED ENLARGED NORTH ELEVATION - BLG 2.1
DP-4.03 Scale: 1" = 10'-0"



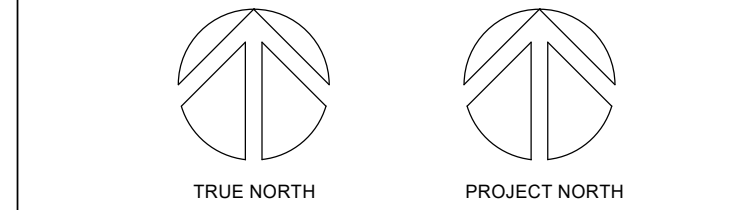
3 PROPOSED ENLARGED NORTH ELEVATION - BLG 2.2
DP-4.03 Scale: 1" = 10'-0"



4 PROPOSED ENLARGED NORTH ELEVATION - BLG 2.3
DP-4.03 Scale: 1" = 10'-0"

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CLIENT NAME

CLIENT ADDRESS

PROJECT
ENRIGHT CONSTELLATION - BUILDING 02
55205540 47th AVENUE SW, CALGARY, AB

TITLE
PROPOSED BUILDING ELEVATIONS - BLG 2

WALTERFEDY
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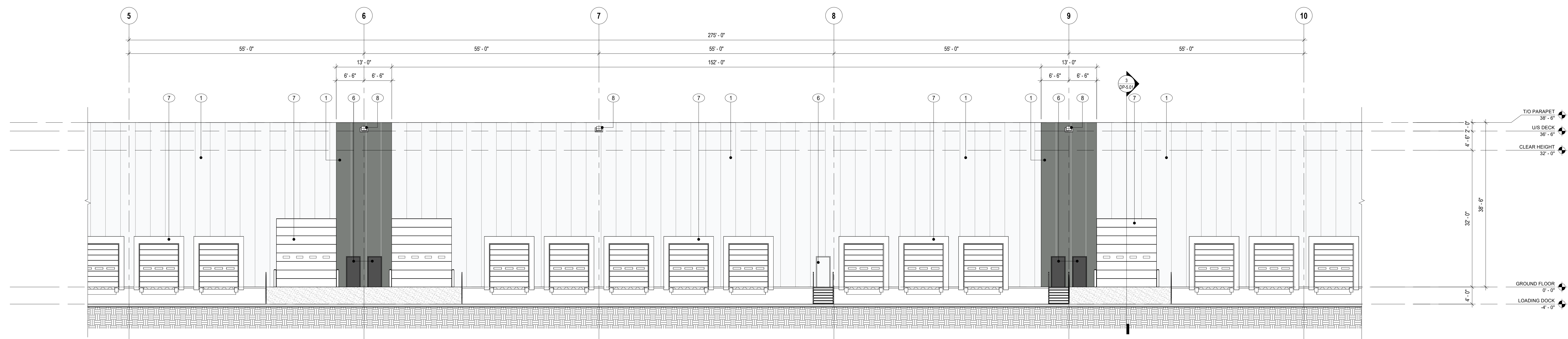
SCALE: AS NOTED
DATE: 2025-12-11
PROJECT NO: 2025-0991-10
DRAWN BY: MAC MCGINN
CHECKED BY: DREW OLSON

SHEET NO: 1
DATE: 2025-12-11
PROJECT NO: 2025-0991-10
DRAWN BY: MAC MCGINN
CHECKED BY: DREW OLSON

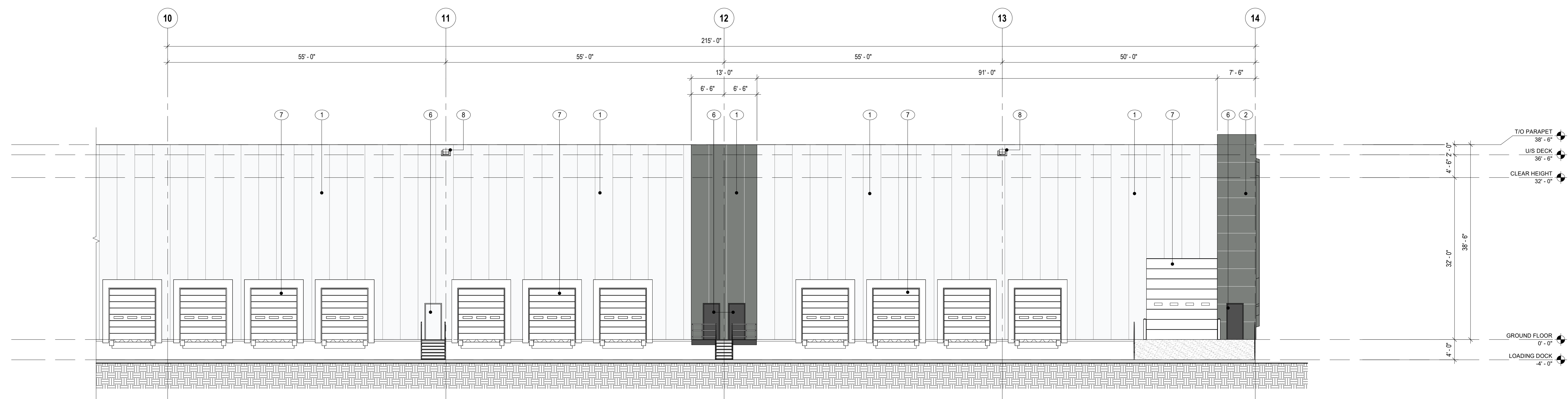
DP-4.03

[illegible]

2 PROPOSED ENLARGED SOUTH ELEVATION - BLG 2.1
DP-4.04 Scale: 1" = 10'-0"



3 PROPOSED ENLARGED SOUTH ELEVATION - BLG 2.2
DP-4.04 Scale: 1" = 10'-0"



4 PROPOSED ENLARGED SOUTH ELEVATION - BLG 2.3
DP-4.04 Scale: 1" = 10'-0"



MATERIAL LEGEND

1	PREFINISHED INSULATED METAL PANEL (KINGSSPAN) 24" VERTICAL ORIENTATION COLOR: ASOT WHITE OR ZINC GREY
2	PREFINISHED INSULATED METAL PANEL (KINGSSPAN) 24" VERTICAL ORIENTATION COLOR: ZINC GREY
3	ALUMINUM COMPOSITE METAL PANEL - 24"x24" COLOR: ASOT WHITE
4	KINGSPAN ACCENT T1 - A-FRAME COLOR: ZINC GREY
5	ALUMINUM GLAZED CLUSTER WALL SYSTEM WITH BLUE LOW E SEALED GLASS UNIT CLEAR ANODIZED ALUMINUM WINDOW FRAME FINISH
6	METAL DOORS COLOR: ASOT WHITE OR ZINC GREY (TO MATCH SURROUNDING MATERIAL)
7	OVERHEAD DOORS - 14' W X 8' H PREFINISHED STEEL OVERHEAD DOOR - 9' X 14' H PREFINISHED STEEL OVERHEAD DOOR
8	CUPPER COLOR: ASOT WHITE OR ZINC GREY (TO MATCH SURROUNDING MATERIAL)
9	PROPOSED TENANT SIGNAGE - MOUNTED LETTERING (PROVIDE SOLID BLOCKING / BACKER AT SIGN MOUNTING LOCATIONS)
10	PROPOSED SIGNAGE CONNECTION