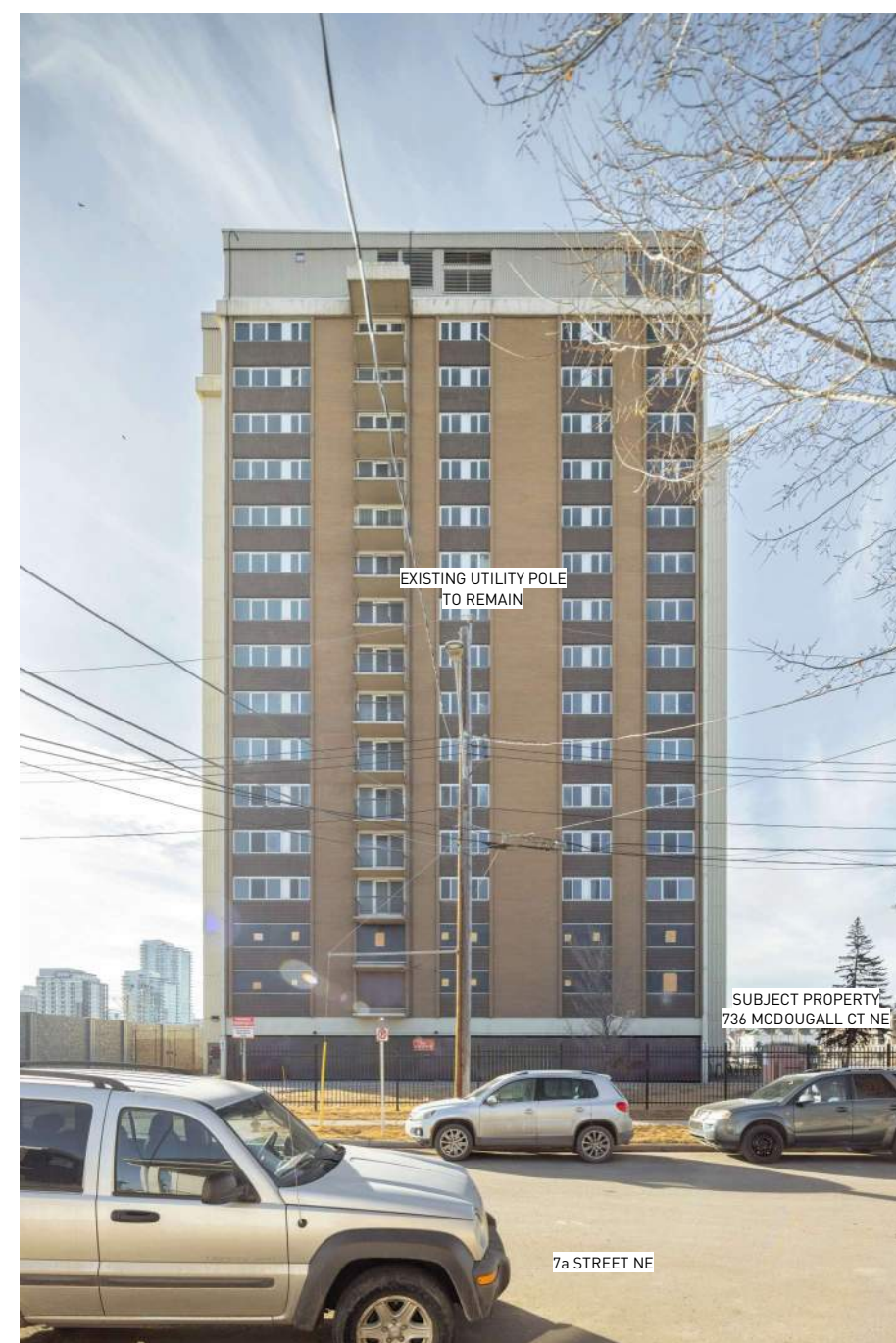




EXISTING SITE PHOTO 1: FACING SOUTHWEST



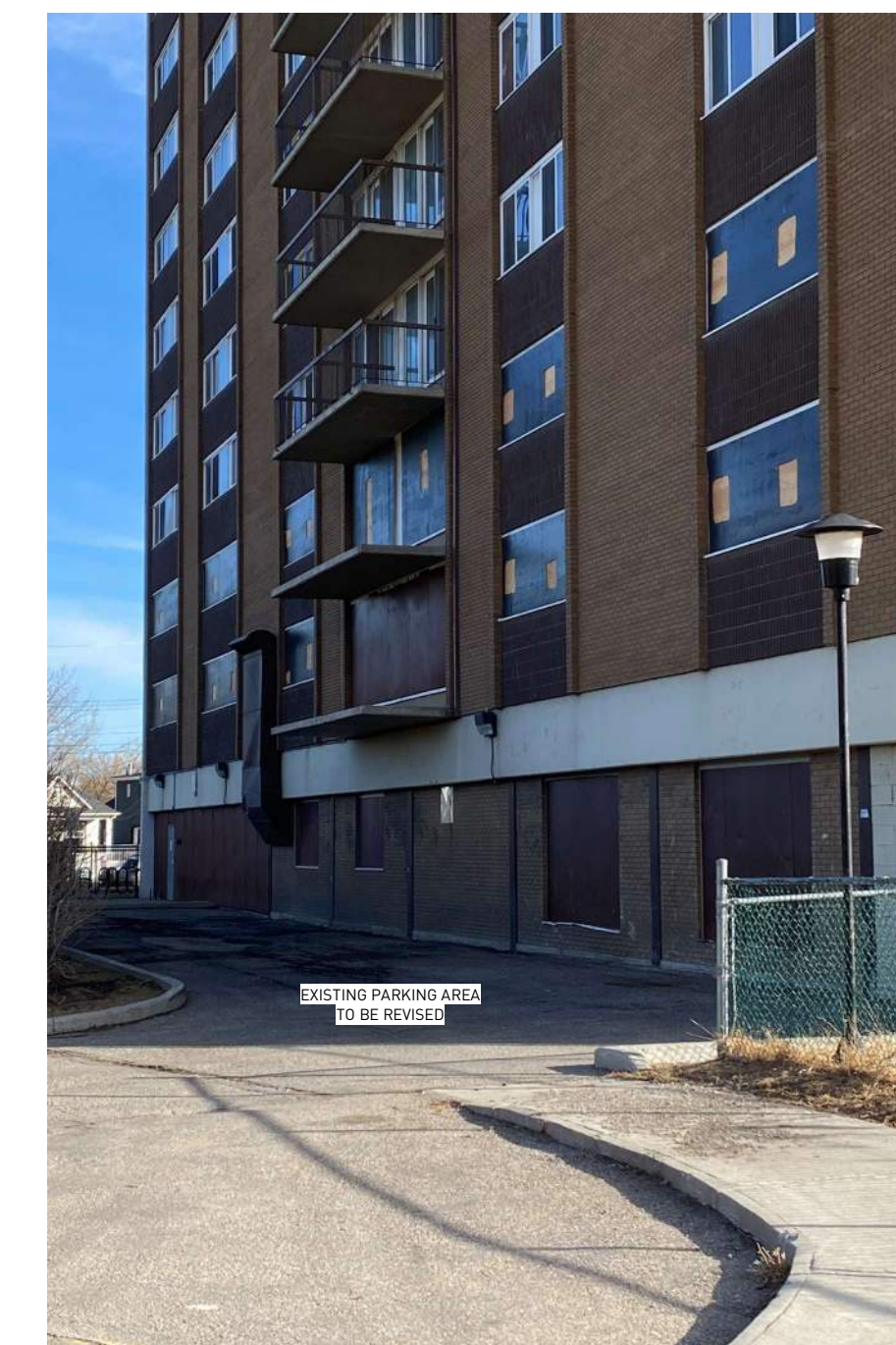
EXISTING SITE PHOTO 2: FACING WEST



EXISTING SITE PHOTO 3: FACING EAST



EXISTING SITE PHOTO 4: FACING SOUTH



EXISTING SITE PHOTO 5: FACING SOUTHEAST



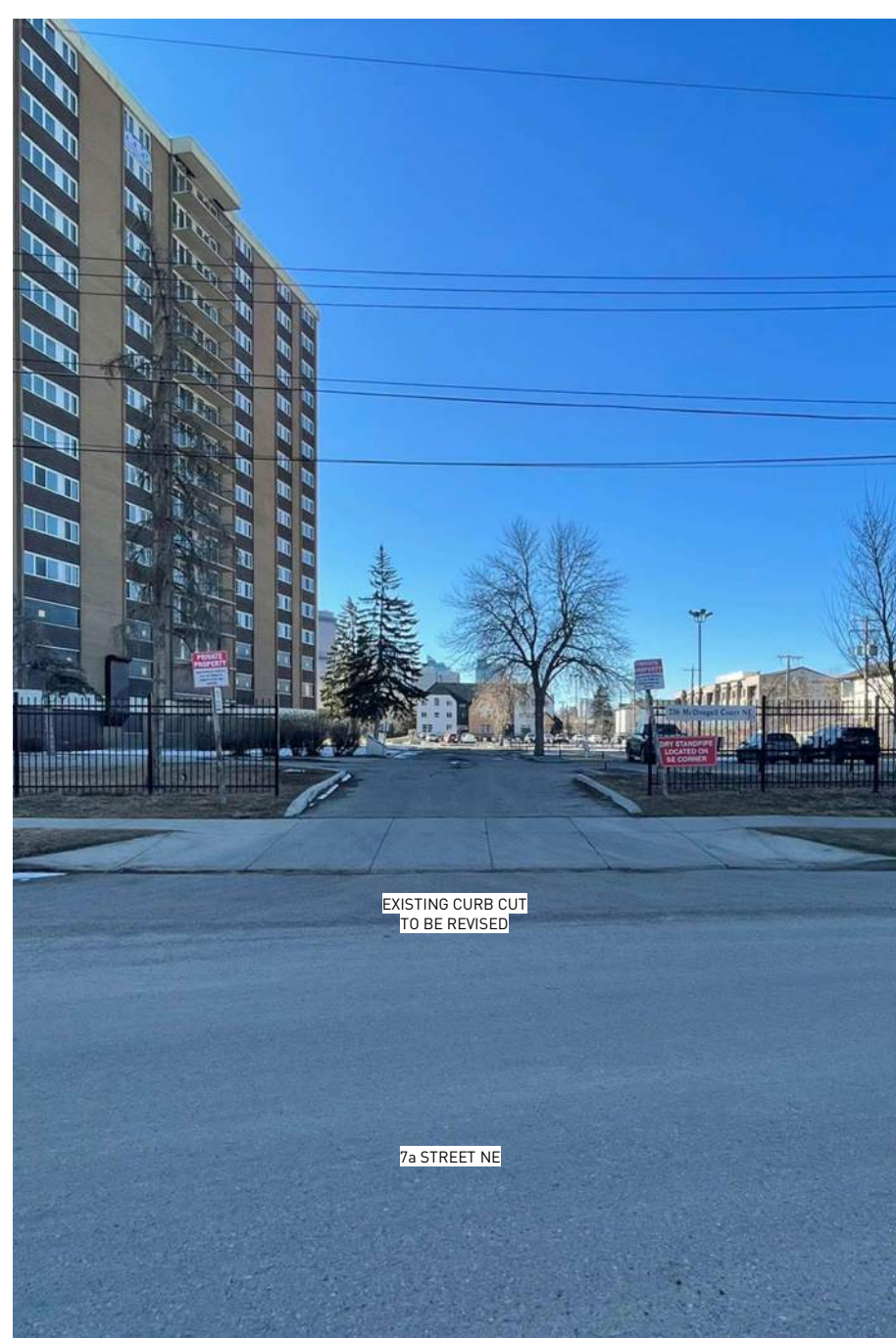
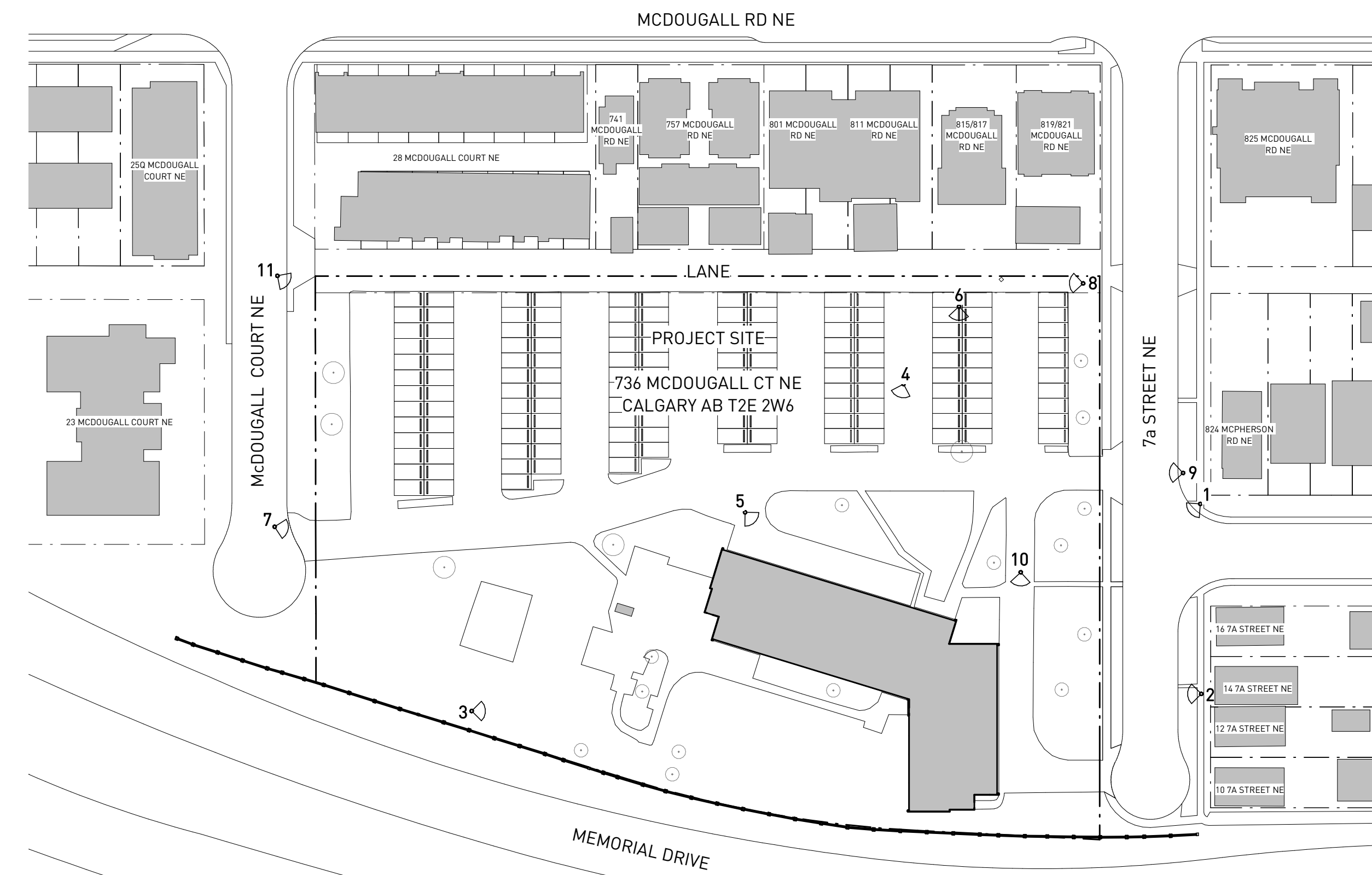
EXISTING SITE PHOTO 6: FACING SOUTH



EXISTING SITE PHOTO 7: FACING SOUTHEAST



EXISTING SITE PHOTO 8: FACING WEST



EXISTING SITE PHOTO 9: FACING WEST



EXISTING SITE PHOTO 10: FACING SOUTH



EXISTING SITE PHOTO 11: FACING SOUTHEAST

REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT

PROJECT NAME	
BRIDGLAND PLACE	
736 MCDOUGALL CT NE CALGARY AB T2E 2W6	
LOT	MCDOUGALL RESERVE
BLOCK	2
PLAN	4301 R

PROJECT NUMBER	5310
----------------	------

HINDLE ARCHITECTS
SUITE 510 - 237 8 AVENUE SE
CALGARY - ALBERTA - CANADA

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DEVELOPMENT PERMIT		
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NORTH	PROJECT NORTH
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DRAWING TITLE	
SITE PHOTOS	

DRAWING NUMBER	
A-0600.0	

DRAWING DATE	SCALE & ARCH D
2025-12-18	
REVISION DATE	REVISION NUMBER
2025-12-18	00



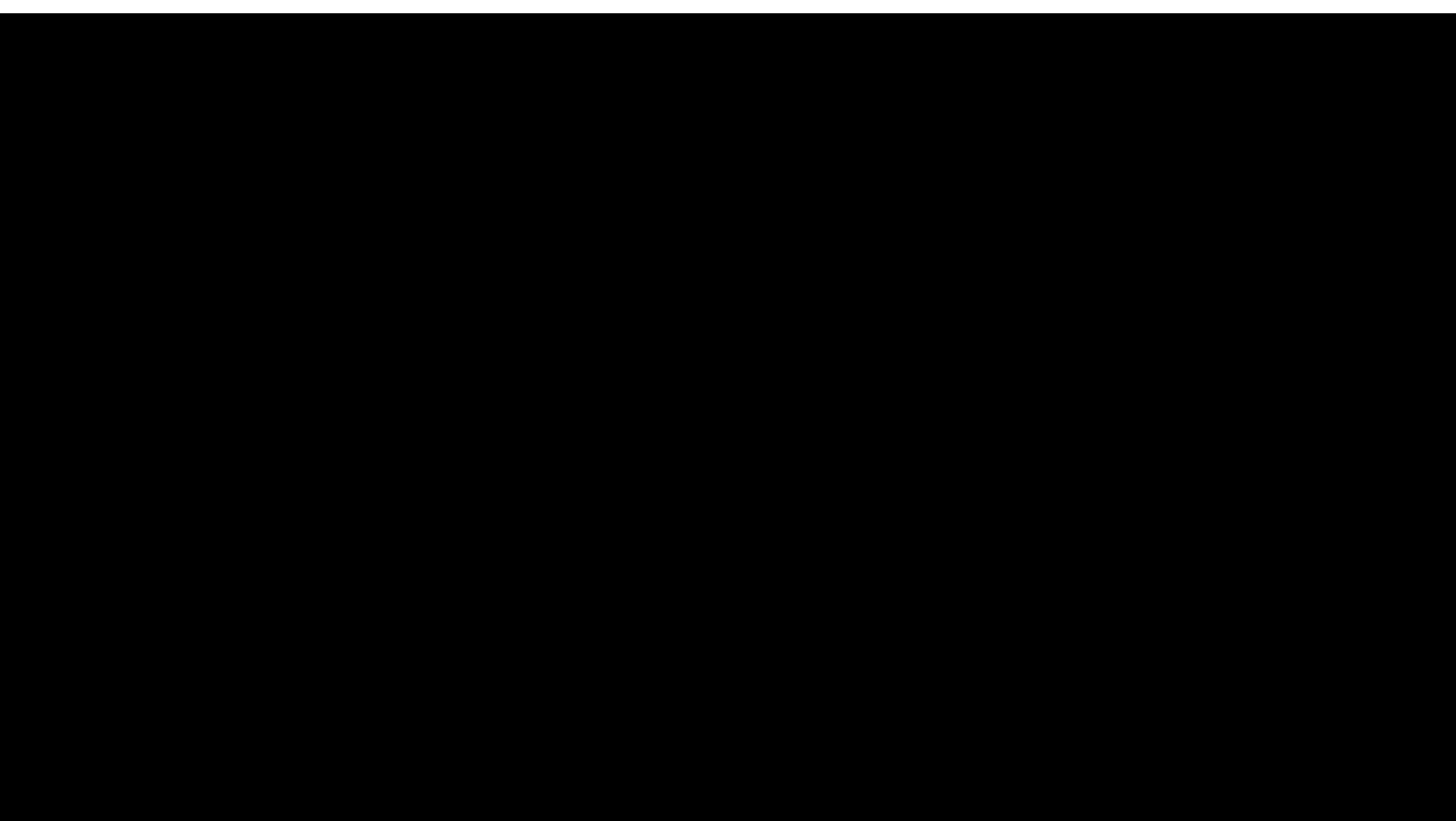
PROPOSED RENDERING 2: ENTRY

RENDERINGS ILLUSTRATE DESIGN INTENT ONLY AND ARE SUBJECT TO CHANGE



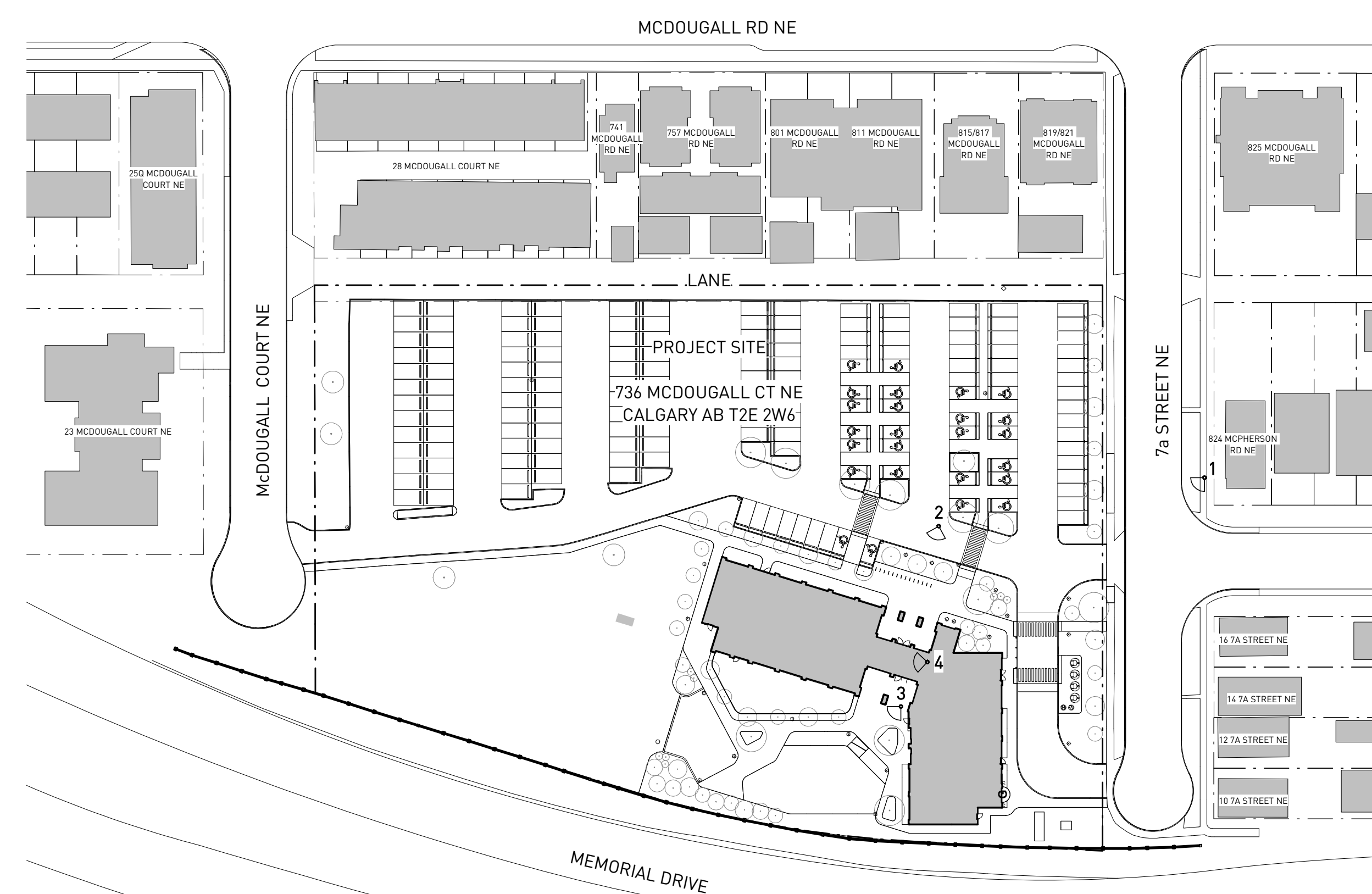
PROPOSED RENDERING 3: SOUTH COURTYARD

RENDERINGS ILLUSTRATE DESIGN INTENT ONLY AND ARE SUBJECT TO CHANGE



NOTICE POSTING RENDERING 1: FACING SOUTHWEST

RENDERINGS ILLUSTRATE DESIGN INTENT ONLY AND ARE SUBJECT TO CHANGE



REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT

PROJECT NAME
BRIDGELAND PLACE

736 MCDOUGALL CT NE
CALGARY AB T2E 2W6

LOT MCDUGALL RESERVE
BLOCK 2
PLAN 4301 R

PROJECT NUMBER
5310

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DEVELOPMENT PERMIT

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HA		

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NORTH	PROJECT NORTH

DRAWING TITLE
PROPOSED RENDERINGS

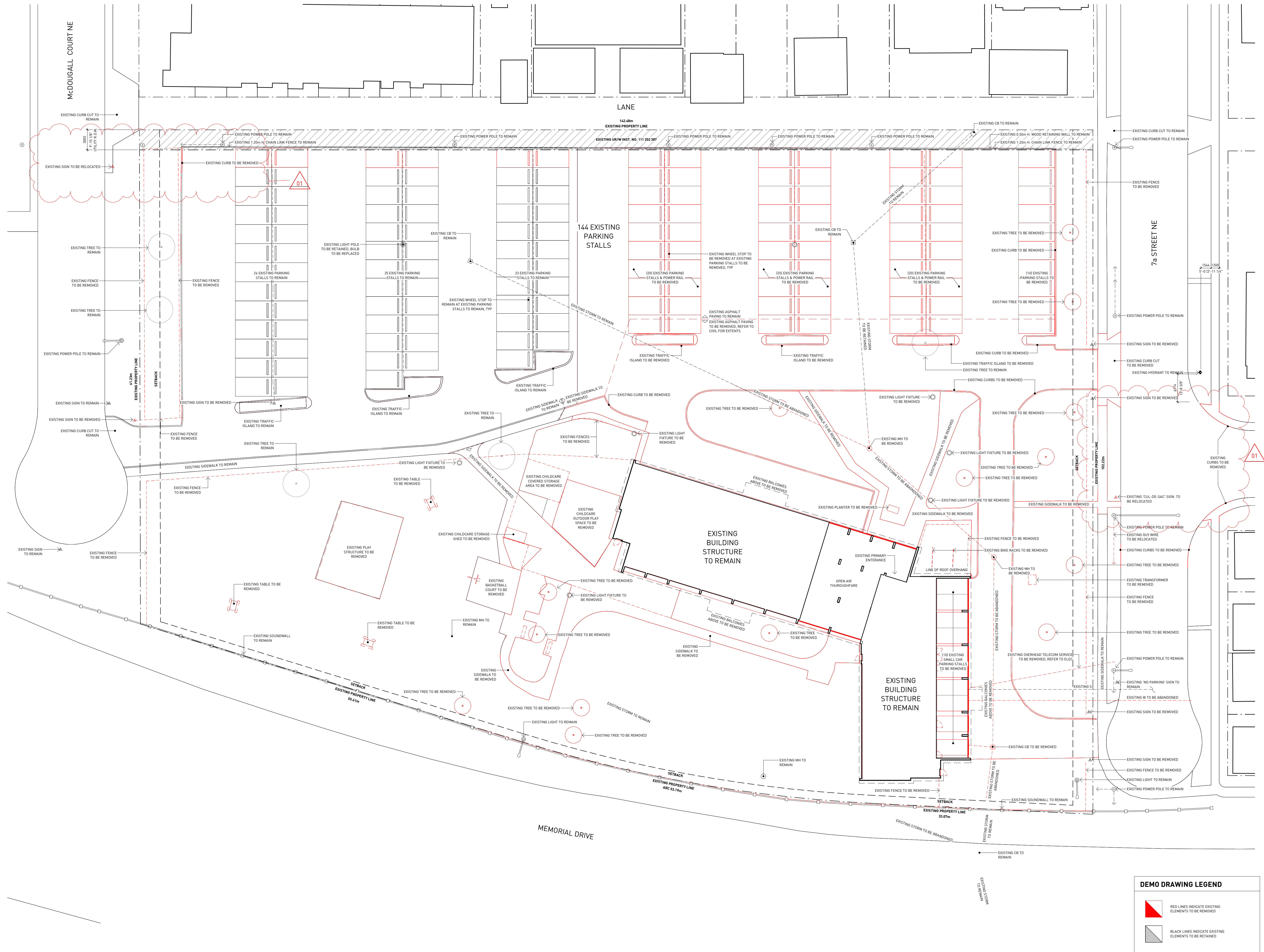
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A-0700.0

DRAWING DATE
2025-12-18

SCALE 8 ARCH D

REVISION DATE
2025-12-18

REVISION NUMBER
00



REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT
01	2026-06-24	OR 2 RESPONSE

PROJECT NAME
BRIDGLAND PLACE
 736 MCDOUGALL CT NE
 CALGARY AB T2E 2W6

PLAN BLOCK
 4301 R
 MCDOUGALL RESERVE

PROJECT NUMBER
5310

HINDLE ARCHITECTS
 SUITE 510 - 237 8 AVENUE SE
 CALGARY - ALBERTA - CANADA

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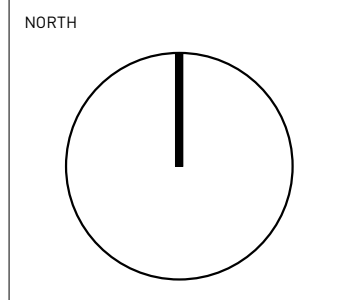
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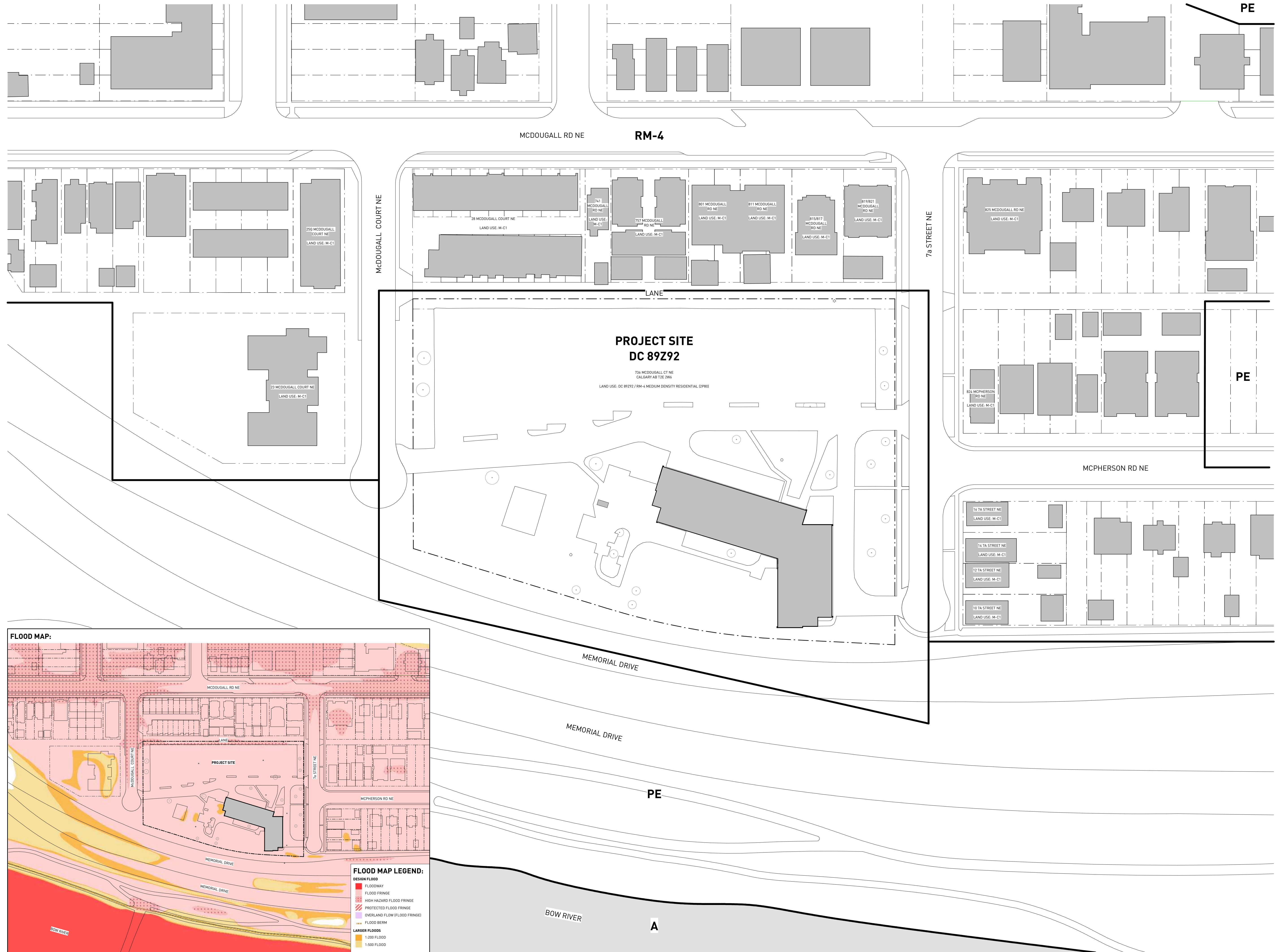
DRAWING TITLE
SITE PLAN - DEMOLITION

DRAWING NUMBER
A-1910.0

DRAWING DATE	SCALE @ ARCH D
2025-12-18	1:250
REVISION DATE	REVISION NUMBER
2026-06-24	01

DEMO DRAWING LEGEND

- ▬ RED LINES INDICATE EXISTING ELEMENTS TO BE REMOVED
- ▬ BLACK LINES INDICATE EXISTING ELEMENTS TO BE RETAINED



REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT

PROJECT NAME
BRIDGLAND PLACE
 736 MCDUGALL CT NE
 CALGARY AB T2E 2W6

LOT
 BLOCK
 PLAN

MCDUGALL RESERVE
 2
 4301 R

PROJECT NUMBER
5310

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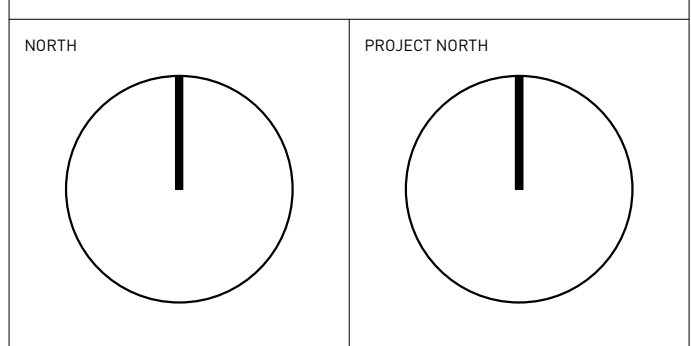
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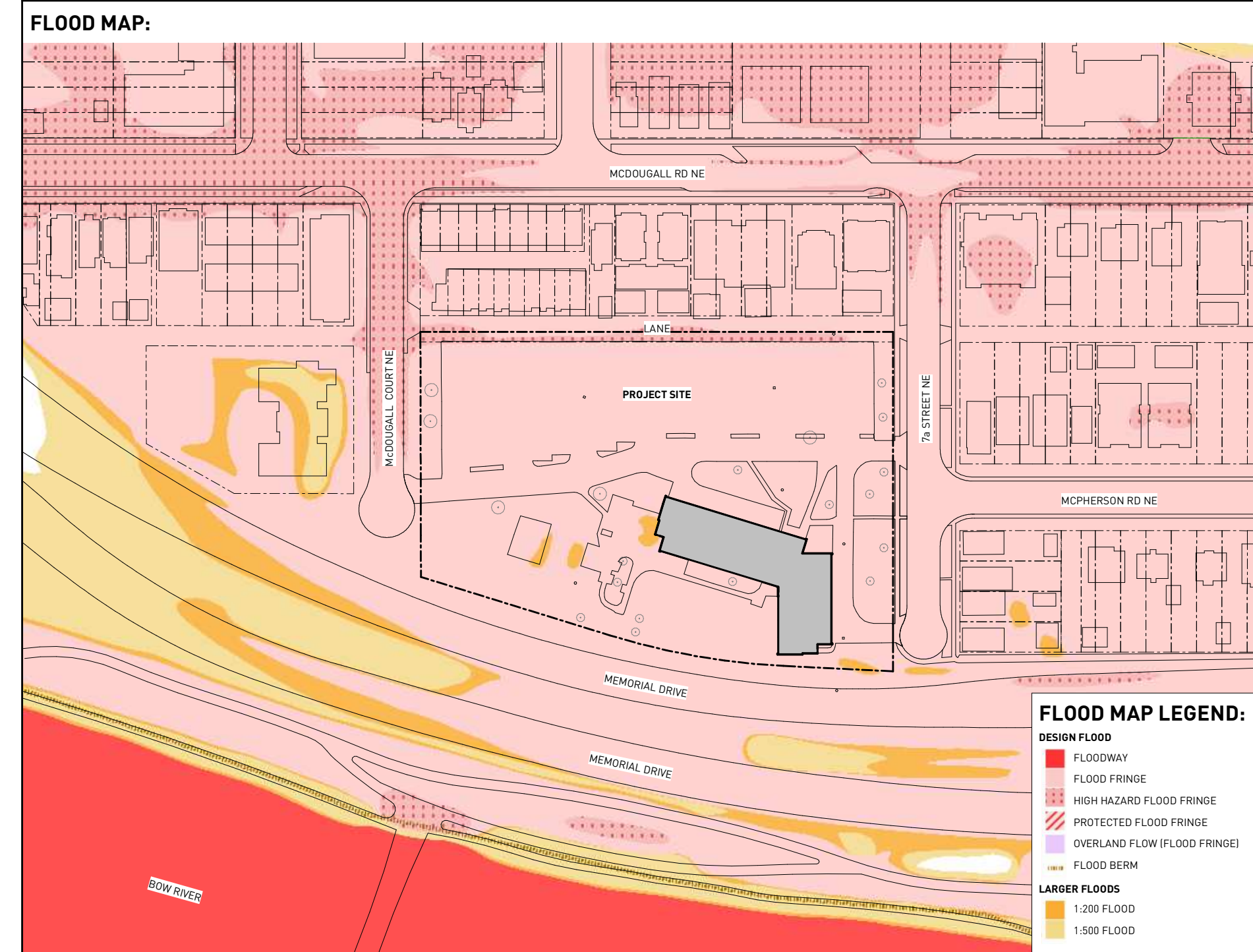
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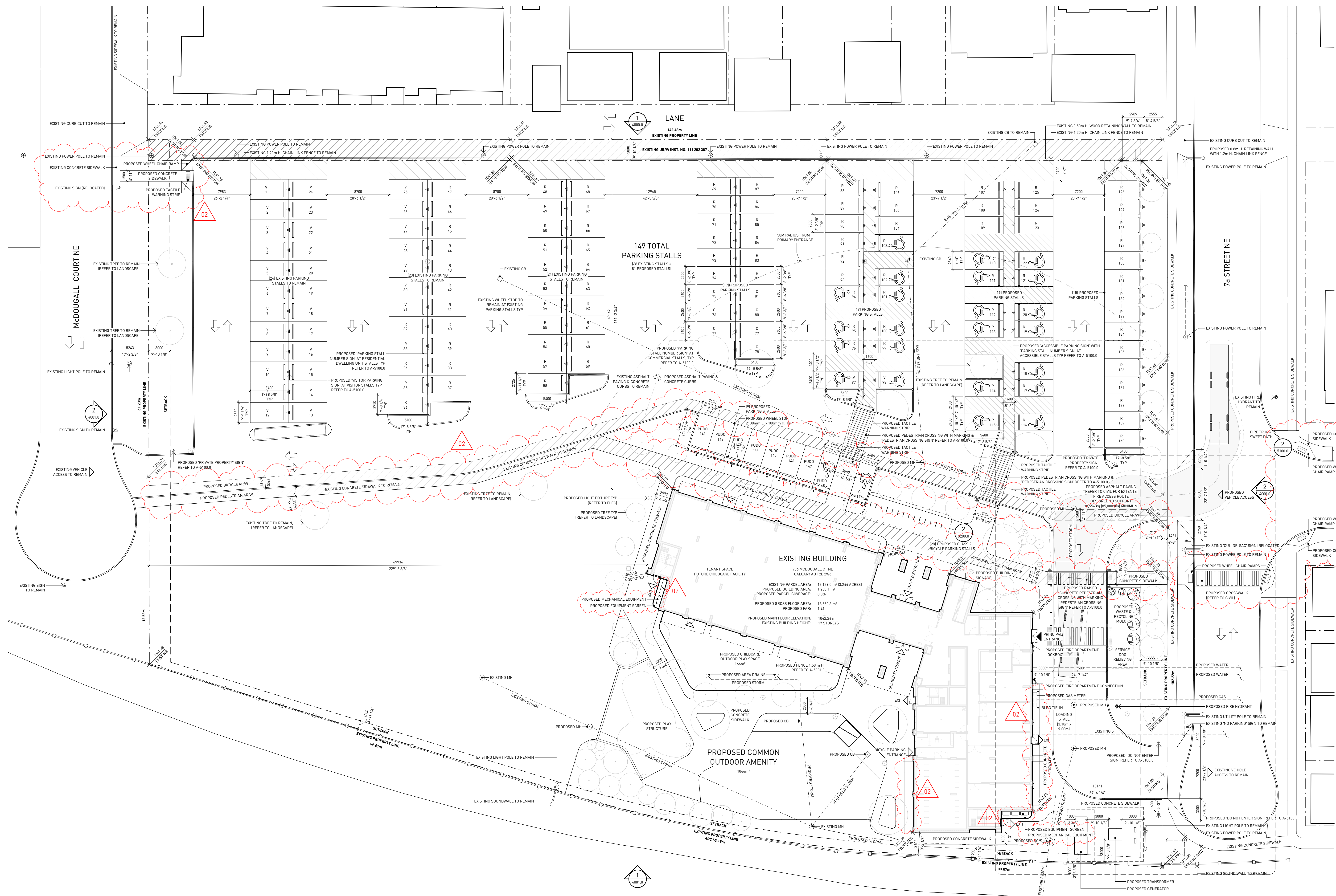


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CONTEXT PLAN

DRAWING NUMBER
A-2000.0

DRAWING DATE	SCALE @ ARCH D
2025-12-18	1:500
REVISION DATE	REVISION NUMBER
2025-12-18	00





REVISION	DATE	DESCRIPTION
01	2025-12-18	DEVELOPMENT PERMIT
02	2026-03-10	DR 1 RESPONSE
02	2026-06-24	DR 2 RESPONSE

PROJECT NAME
BRIDGLAND PLACE
 736 MCDUGALL CT NE
 CALGARY AB T2E 2W6

PLAN BLOCK
 4301 R
 MCDUGALL RESERVE

PROJECT NUMBER
5310

HINDLE ARCHITECTS
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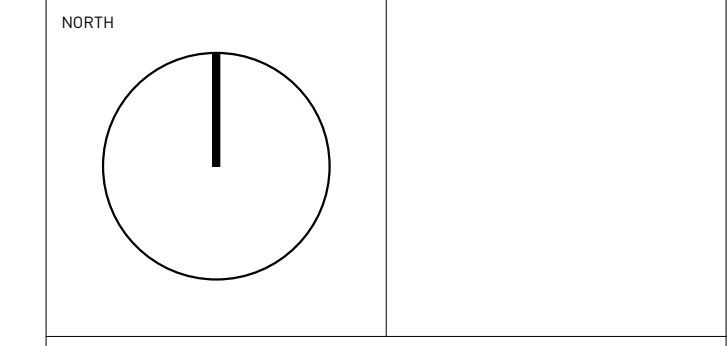
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DRAWING TITLE
SITE PLAN PROPOSED

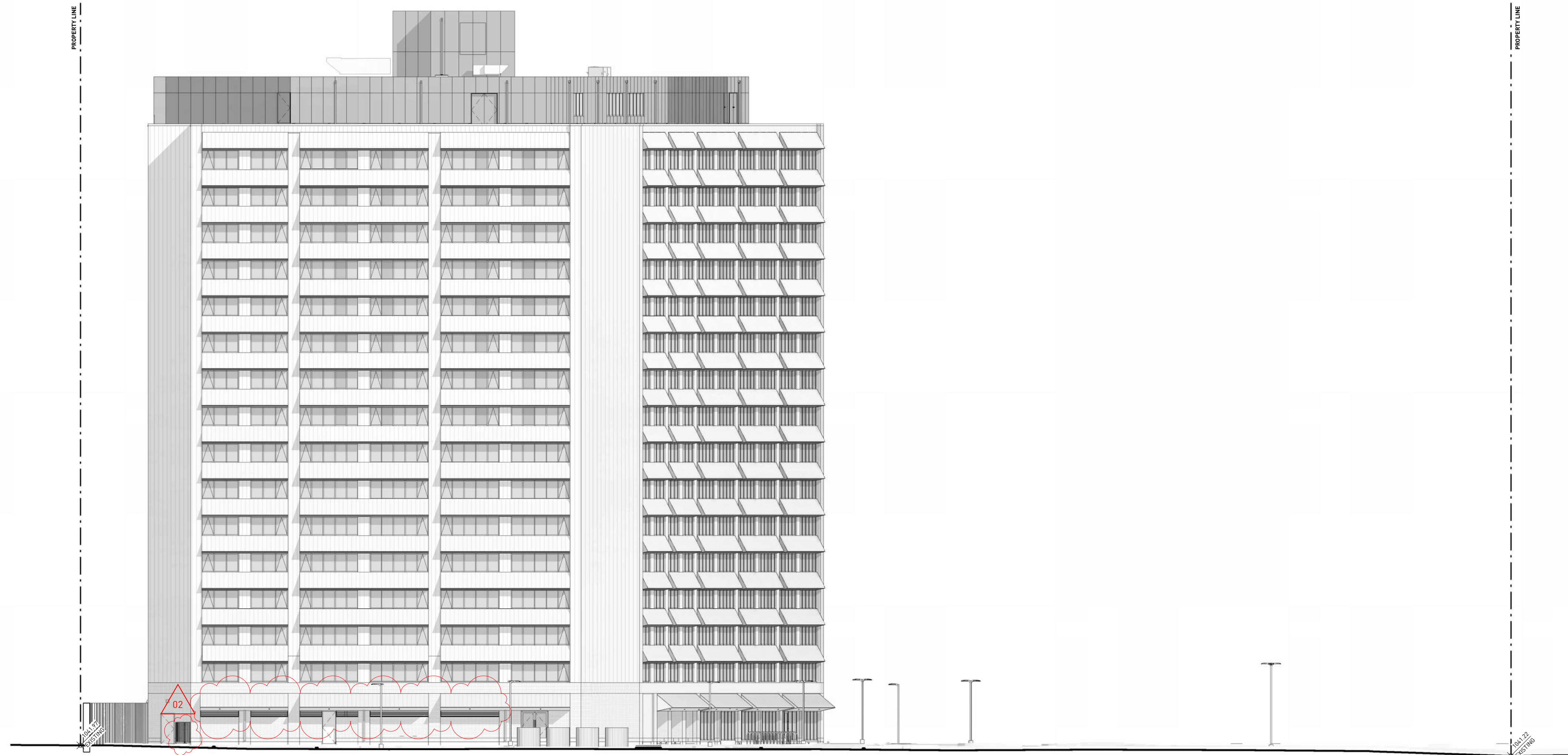
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REVISION DATE	REVISION NUMBER	
2026-06-24	02	

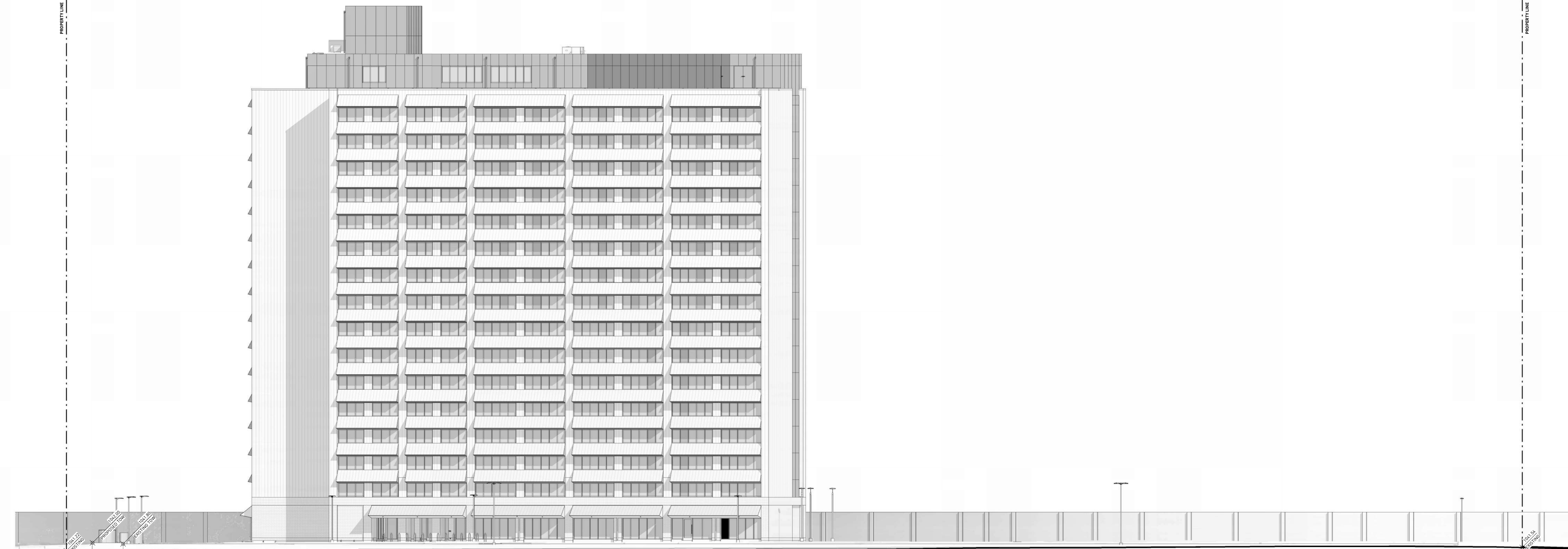
SITE PLAN LEGEND

PARKING LEGEND		
TYPE	DESCRIPTION	COUNT
C	COMMERCIAL STALLS	8
PUDO	COMMERCIAL PICK-UP/DROP-OFF STALLS	8
R	RESIDENTIAL DWELLING UNIT STALLS	102
V	RESIDENTIAL VISITOR STALLS	31

GRAPHIC LEGEND	
	SITE LIGHT FIXTURE, REFER TO ELEC
	POWER POLE
	GUY WIRE
	SIGN



2 STREETScape ELEVATIONS
EAST ELEVATION 1 : 200



1 STREETScape ELEVATIONS
NORTH ELEVATION 1 : 200

REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT
01	2026-03-10	DR 1 RESPONSE
02	2026-06-24	DR 2 RESPONSE

PROJECT NAME
BRIDGELAND PLACE

736 MCDUGALL CT NE
CALGARY AB T2E 2W6

PLAN BLOCK 4301 R
MCDUGALL RESERVE

PROJECT NUMBER
5310

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NORTH

DRAWING TITLE
GENERAL ARRANGEMENT ELEVATIONS

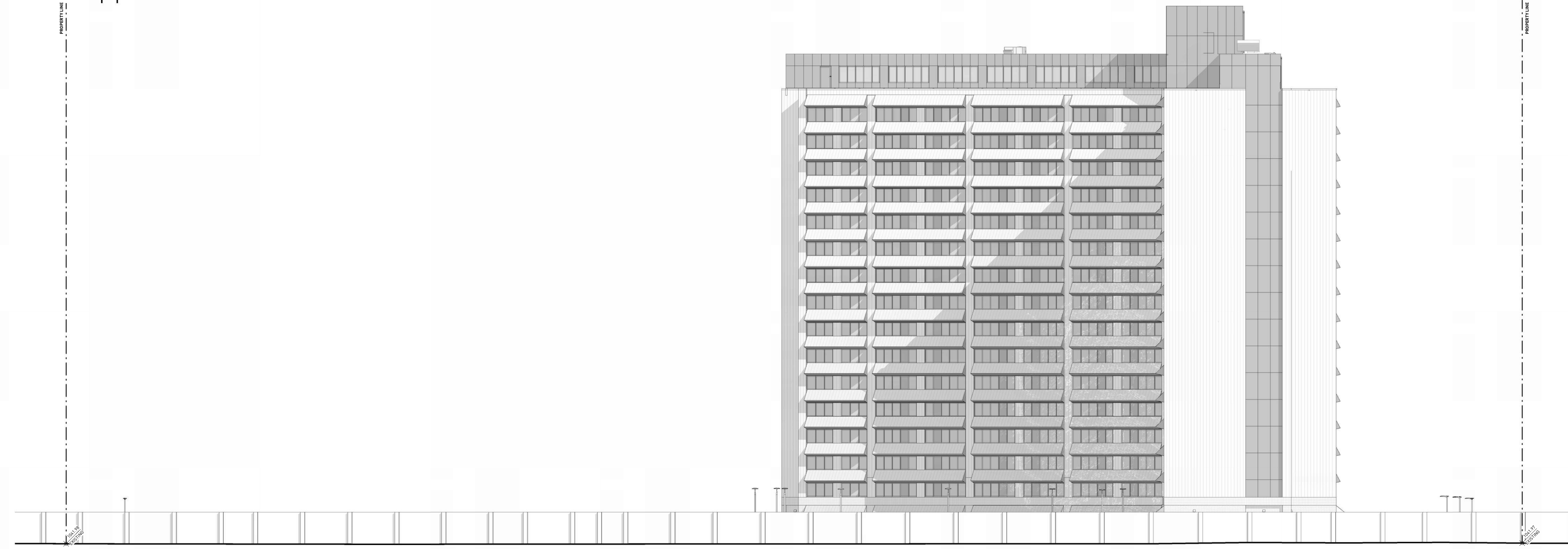
DRAWING NUMBER
A-4000.0

DRAWING DATE 2025-12-18	SCALE BY ARCH D 1:200
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REVISION DATE 2026-06-24	REVISION NUMBER 02
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2 STREETScape ELEVATIONS
WEST ELEVATION 1 : 200



1 STREETScape ELEVATIONS
SOUTH ELEVATION 1 : 200

REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT
01	2026-03-10	DR 1 RESPONSE
02	2026-06-24	DR 2 RESPONSE

PROJECT NAME
BRIDGELAND PLACE

736 MCDUGALL CT NE
CALGARY AB T2E 2W6

PLAN BLOCK 4301 R
MCDUGALL RESERVE

PROJECT NUMBER
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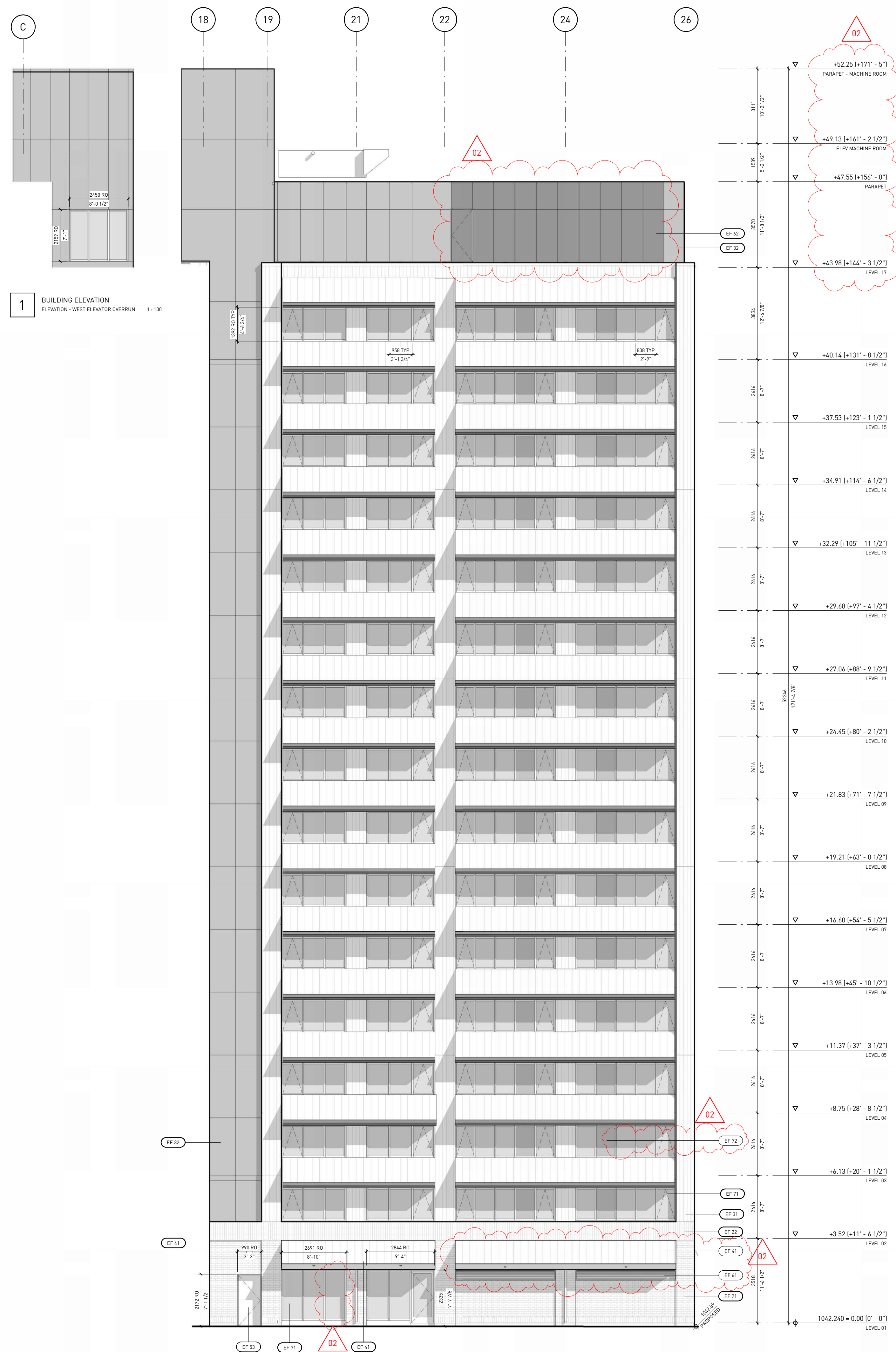
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NORTH

DRAWING TITLE
GENERAL ARRANGEMENT ELEVATIONS

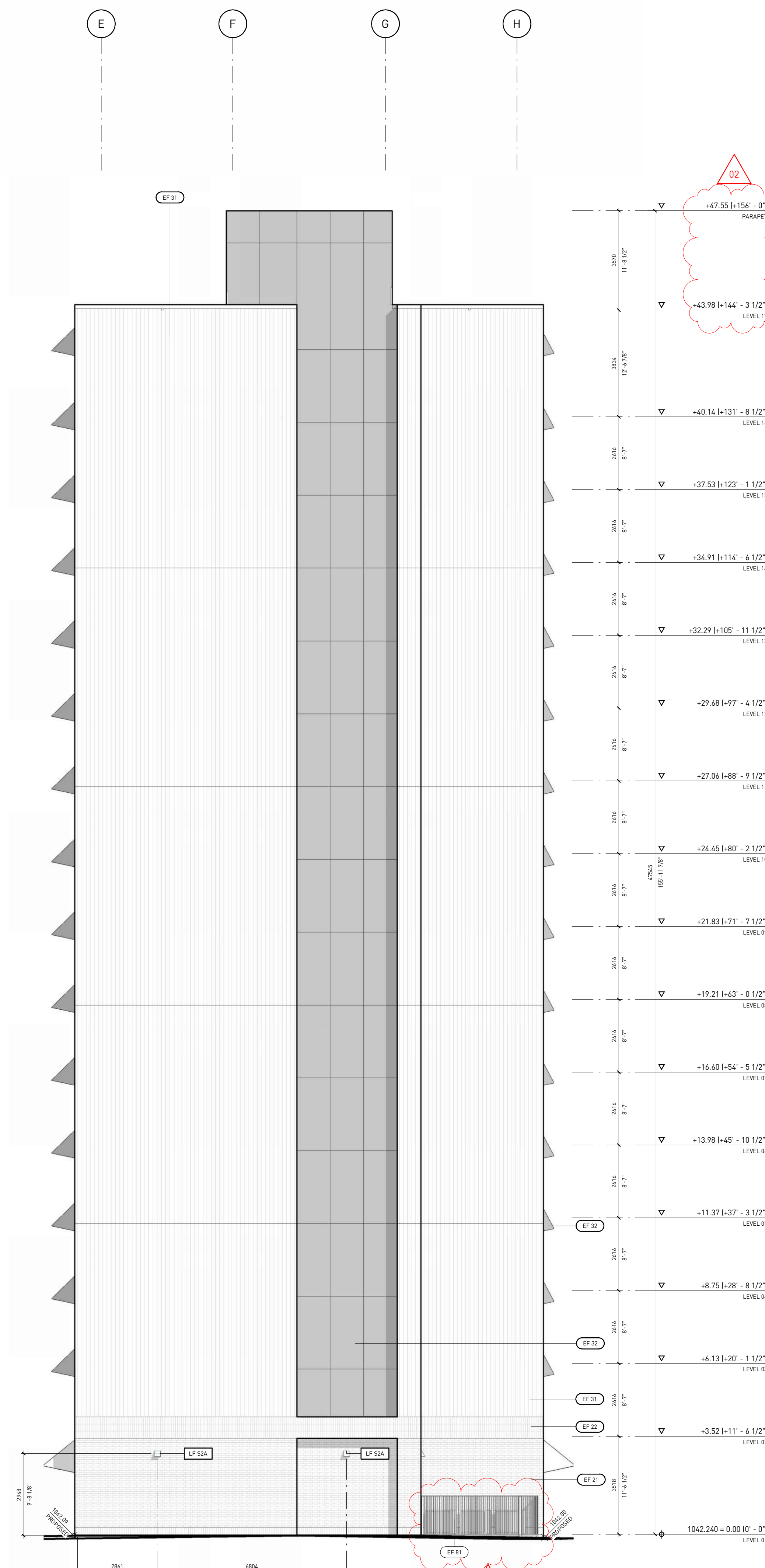
DRAWING NUMBER
A-4001.0

DRAWING DATE	SCALE BY ARCH D
2025-12-18	1:200
REVISION DATE	REVISION NUMBER
2026-06-24	02



1 BUILDING ELEVATION
ELEVATION - WEST ELEVATOR OVERRUN 1:100

2 BUILDING ELEVATION
ELEVATION - WEST 1:100



3 BUILDING ELEVATION
ELEVATION - SOUTH END WALL 1:100

EXTERIOR FINISHES

- EF 21 BRICK VENEER - BRICK TONE (LEVEL 01)
- EF 22 BRICK VENEER ACCENT - BRICK TONE (LEVEL 01)
- EF 23 BRICK VENEER ACCENT - LIGHT NEUTRAL TONE (LEVEL 01)
- EF 31 METAL PANEL - LIGHT NEUTRAL TONE (LEVELS 02-16)
- EF 32 SMOOTH METAL PANEL - DARK NEUTRAL TONE (LEVELS 02-17)
- EF 41 STANDING SEAM METAL CANOPY - BRICK TONE (LEVEL 01)
- EF 42 STANDING SEAM METAL CANOPY - WARM NEUTRAL TONE (LEVELS 02-16)
- EF 51 GUTTERS AND DOWNSPOUTS (LEVEL 01)
- EF 53 EXTERIOR DOORS (LEVEL 01)
- EF 54 EXTERIOR DOORS (LEVEL 17)
- EF 61 EXTERIOR LOUVERS (LEVEL 01)
- EF 62 PERFORATED METAL SCREEN (LEVEL 17)
- EF 71 CLEAR GLAZING
- EF 72 BACKPAINTED SPANDREL GLAZING (LEVEL 02)
- SO 11 METAL SOFFIT - LIGHT
- SO 12 METAL SOFFIT - DARK

REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT
01	2026-03-10	DR 1 RESPONSE
02	2026-06-24	DR 2 RESPONSE

PROJECT NAME
BRIDGLAND PLACE

736 MCDOUGALL CT NE
CALGARY AB T2E 2W6

PLAN BLOCK 4301 R
BLOCK MCDOUGALL RESERVE

PROJECT NUMBER
5310

HINDLE ARCHITECTS
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HA	AL	JH

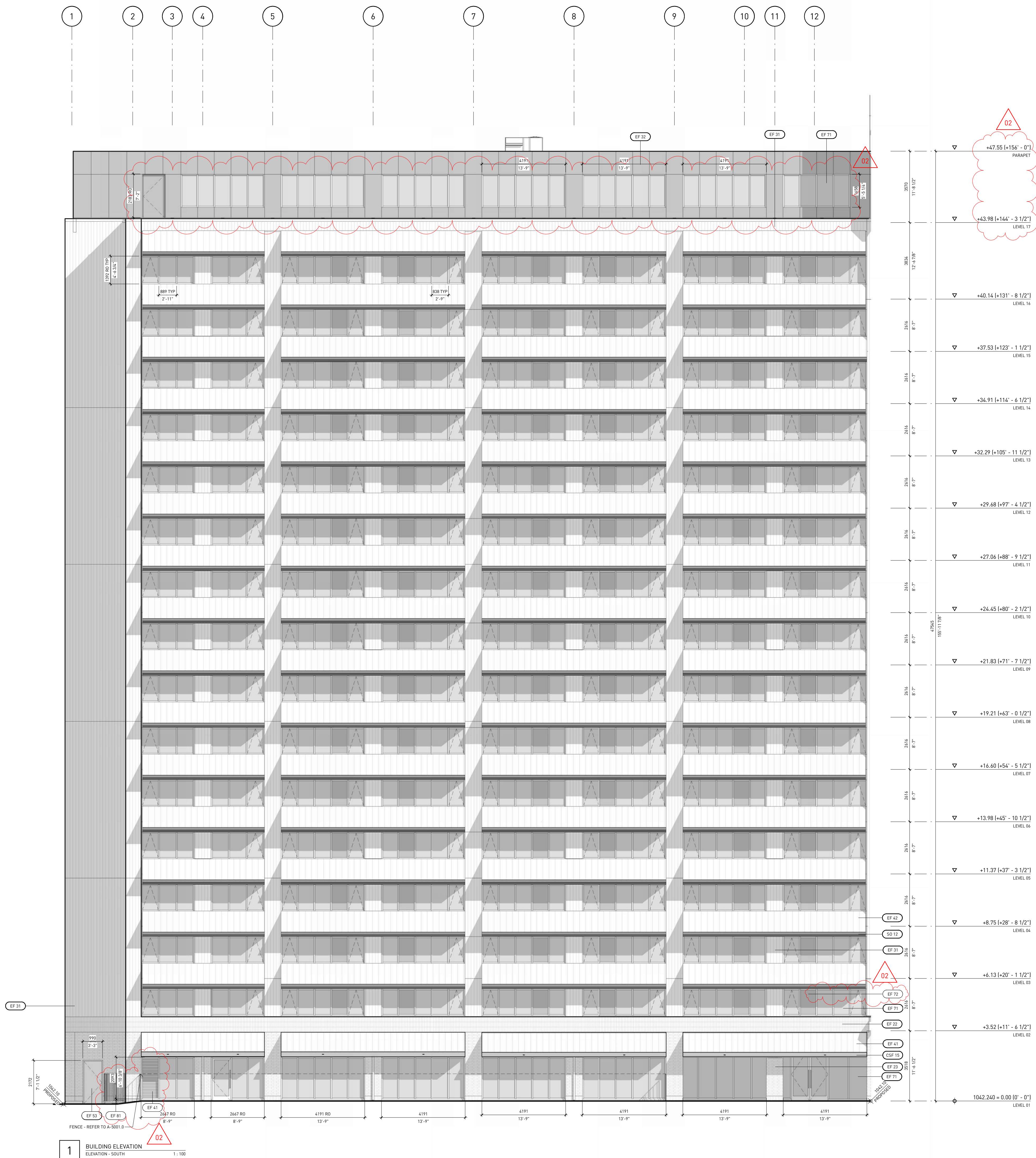
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NORTH

DRAWING TITLE
**BUILDING ELEVATIONS
SOUTH & WEST**

DRAWING NUMBER
A-4100.0

DRAWING DATE	SCALE	ARCH D
2025-12-18	1:100	
REVISION DATE	REVISION NUMBER	
2026-06-24	02	



EXTERIOR FINISHES

- EF 21 BRICK VENEER - BRICK TONE (LEVEL 01)
- EF 22 BRICK VENEER ACCENT - BRICK TONE (LEVEL 01)
- EF 23 BRICK VENEER ACCENT - LIGHT NEUTRAL TONE (LEVEL 01)
- EF 31 METAL PANEL - LIGHT NEUTRAL TONE (LEVELS 02-16)
- EF 32 SMOOTH METAL PANEL - DARK NEUTRAL TONE (LEVELS 02-17)
- EF 41 STANDING SEAM METAL CANOPY - BRICK TONE (LEVEL 01)
- EF 42 STANDING SEAM METAL CANOPY - WARM NEUTRAL TONE (LEVELS 02-16)
- EF 51 GUTTERS AND DOWNSPOUTS (LEVEL 01)
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- EF 54 EXTERIOR DOORS (LEVEL 17)
- EF 61 EXTERIOR LOUVERS (LEVEL 01)
- EF 62 PERFORATED METAL SCREEN (LEVEL 17)
- EF 71 CLEAR GLAZING
- EF 72 BACKPAINTED SPANDREL GLAZING
- SO 11 METAL SOFFIT - LIGHT
- SO 12 METAL SOFFIT - DARK

REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT
01	2026-03-10	DR 1 RESPONSE
02	2026-06-24	DR 2 RESPONSE

PROJECT NAME
BRIDGELAND PLACE

736 MCDOUGALL CT NE
 CALGARY AB T2E 2W6

PLAN BLOCK 4301 R
 BLOCK MCDOUGALL RESERVE

PROJECT NUMBER
5310

HINDLE ARCHITECTS
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 CALGARY - ALBERTA - CANADA

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DRAWING PURPOSE
DEVELOPMENT PERMIT - DR2

DRAWN BY	CHECKED BY	AUTHORIZED BY
HA	AL	JH

STAMP

NORTH

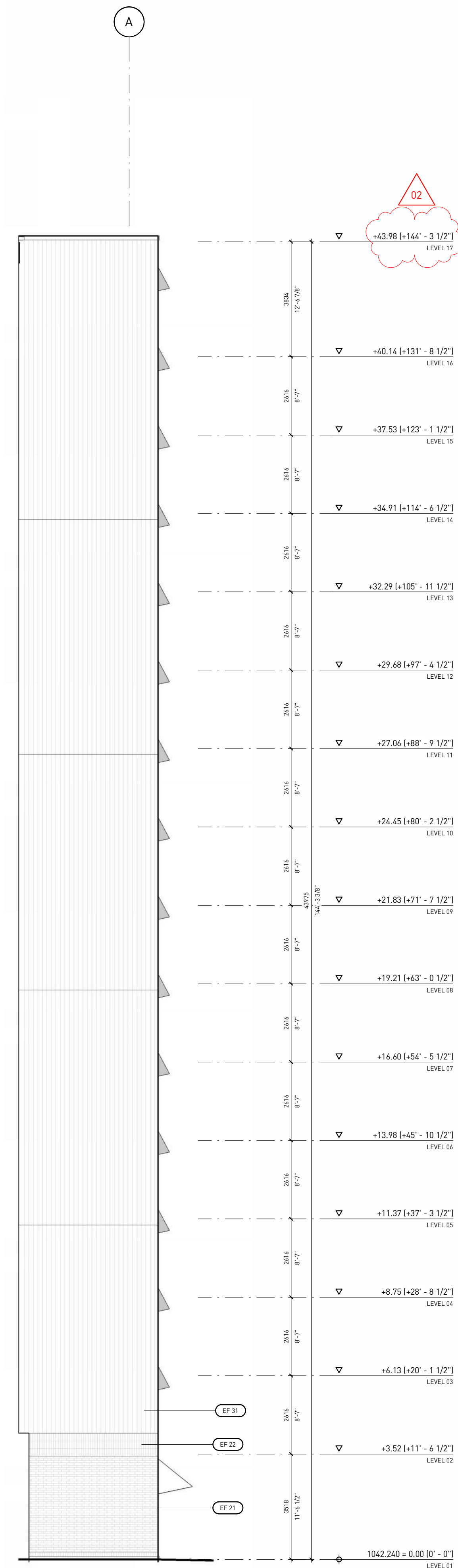
DRAWING TITLE
BUILDING ELEVATIONS SOUTH

DRAWING NUMBER
A-4110.0

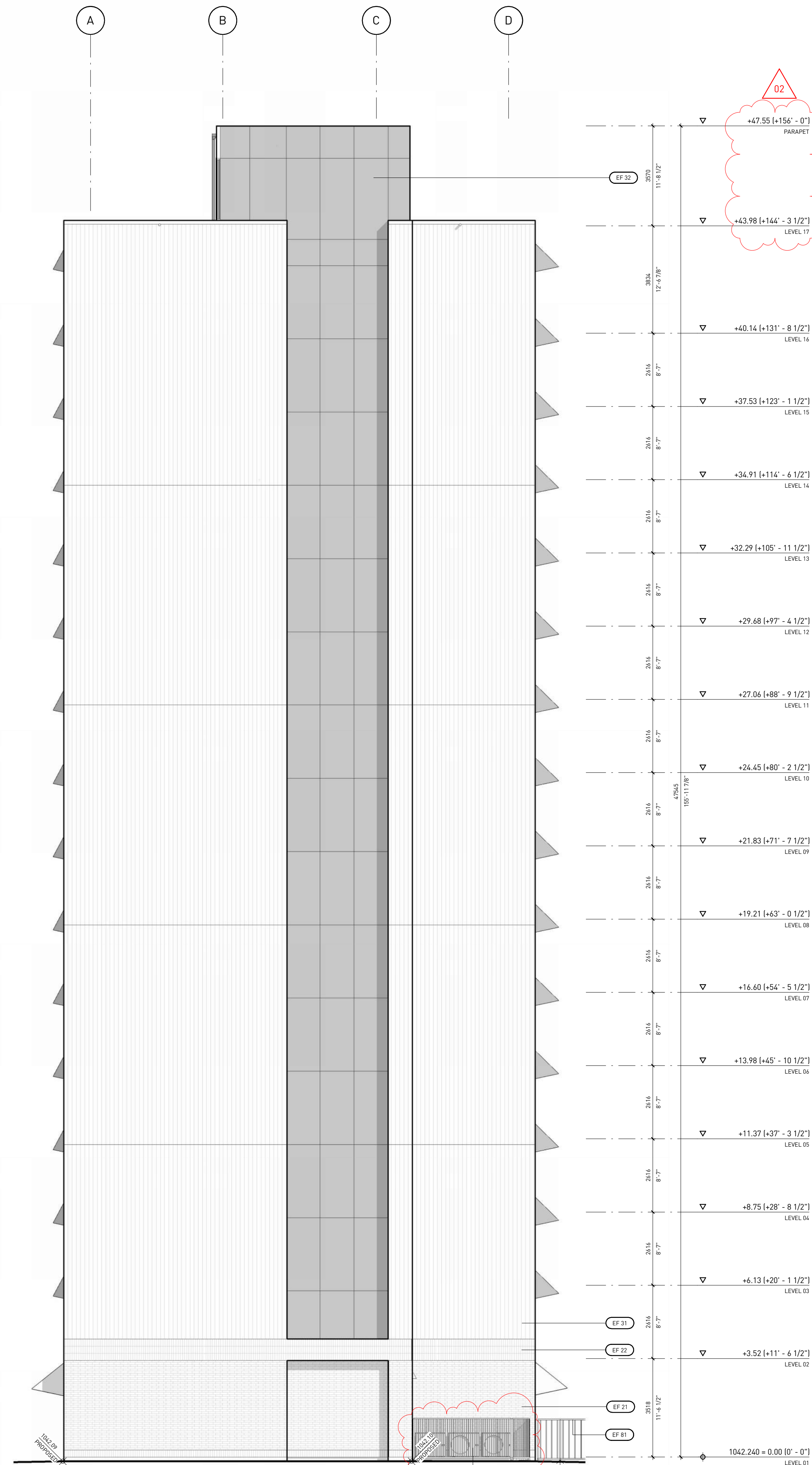
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2025-12-18	1:100

REVISION DATE	REVISION NUMBER
2026-06-24	02

1 BUILDING ELEVATION
 ELEVATION - SOUTH
 1:100



1 BUILDING ELEVATION
ELEVATION - EAST END WALL 1:100



2 BUILDING ELEVATION
ELEVATION - WEST END WALL 1:100

EXTERIOR FINISHES		
EF 21	BRICK VENEER - BRICK TONE (LEVEL 01)	
EF 22	BRICK VENEER ACCENT - BRICK TONE (LEVEL 01)	
EF 23	BRICK VENEER ACCENT - LIGHT NEUTRAL TONE (LEVEL 01)	
EF 31	METAL PANEL - LIGHT NEUTRAL TONE (LEVELS 02-16)	
EF 32	SMOOTH METAL PANEL - DARK NEUTRAL TONE (LEVELS 02-17)	
EF 41	STANDING SEAM METAL CANOPY - BRICK TONE (LEVEL 01)	
EF 42	STANDING SEAM METAL CANOPY - WARM NEUTRAL TONE (LEVELS 02-16)	
EF 51	GUTTERS AND DOWNSPOUTS (LEVEL 01)	
EF 53	EXTERIOR DOORS (LEVEL 01)	
EF 54	EXTERIOR DOORS (LEVEL 17)	
EF 61	EXTERIOR LOUVERS (LEVEL 01)	
EF 62	PERFORATED METAL SCREEN (LEVEL 17)	
EF 71	CLEAR GLAZING	
EF 72	BACKPAINTED SPANDREL GLAZING	
SO 11	METAL SOFFIT - LIGHT	
SO 12	METAL SOFFIT - DARK	

REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT
01	2026-03-10	DR 1 RESPONSE
02	2026-06-24	DR 2 RESPONSE

PROJECT NAME
BRIDGELAND PLACE

736 MCDOUGALL CT NE
CALGARY AB T2E 2W6

PLAN BLOCK 4301 R
BLOCK MCDUGALL RESERVE

PROJECT NUMBER
5310

HINDLE ARCHITECTS
SUITE 510 - 237 8 AVENUE SE
CALGARY - ALBERTA - CANADA

CONTACT
MS. AMBER LAFONTAINE
403.804.7592
amber@hindle-architects.com

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DRAWING PURPOSE
DEVELOPMENT PERMIT - DR2

DRAWN BY	CHECKED BY	AUTHORIZED BY
HA	AL	JH

STAMP

NORTH

DRAWING TITLE
**BUILDING ELEVATIONS
WEST & EAST**

DRAWING NUMBER
A-4120.0

DRAWING DATE	SCALE B ARCH D
2025-12-18	1:100

REVISION DATE	REVISION NUMBER
2026-06-24	02



EXTERIOR FINISHES

- EF 21 BRICK VENEER - BRICK TONE (LEVEL 01)
- EF 22 BRICK VENEER ACCENT - BRICK TONE (LEVEL 01)
- EF 23 BRICK VENEER ACCENT - LIGHT NEUTRAL TONE (LEVEL 01)
- EF 31 METAL PANEL - LIGHT NEUTRAL TONE (LEVELS 02-16)
- EF 32 SMOOTH METAL PANEL - DARK NEUTRAL TONE (LEVELS 02-17)
- EF 41 STANDING SEAM METAL CANOPY - BRICK TONE (LEVEL 01)
- EF 42 STANDING SEAM METAL CANOPY - WARM NEUTRAL TONE (LEVELS 02-16)
- EF 51 GUTTERS AND DOWNSPOUTS (LEVEL 01)
- EF 53 EXTERIOR DOORS (LEVEL 01)
- EF 54 EXTERIOR DOORS (LEVEL 17)
- EF 61 EXTERIOR LOUVERS (LEVEL 01)
- EF 62 PERFORATED METAL SCREEN (LEVEL 17)
- EF 71 CLEAR GLAZING
- EF 72 BACKPAINTED SPANDREL GLAZING
- SO 11 METAL SOFFIT - LIGHT
- SO 12 METAL SOFFIT - DARK

REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT
01	2026-03-10	DR 1 RESPONSE
02	2026-06-24	DR 2 RESPONSE

PROJECT NAME
BRIDGELAND PLACE

736 MCDOUGALL CT NE
 CALGARY AB T2E 2W6

PLAN BLOCK 4301 R
 BLOCK MCDOUGALL RESERVE

PROJECT NUMBER
5310

HINDLE ARCHITECTS
 SUITE 510 - 237 8 AVENUE SE
 CALGARY - ALBERTA - CANADA

CONTACT
 MS. AMBER LAFONTAINE
 403.804.7592
 amber@hindle-architects.com

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DRAWING PURPOSE
DEVELOPMENT PERMIT - DR2

DRAWN BY	CHECKED BY	AUTHORIZED BY
HA	AL	JH

STAMP

NORTH

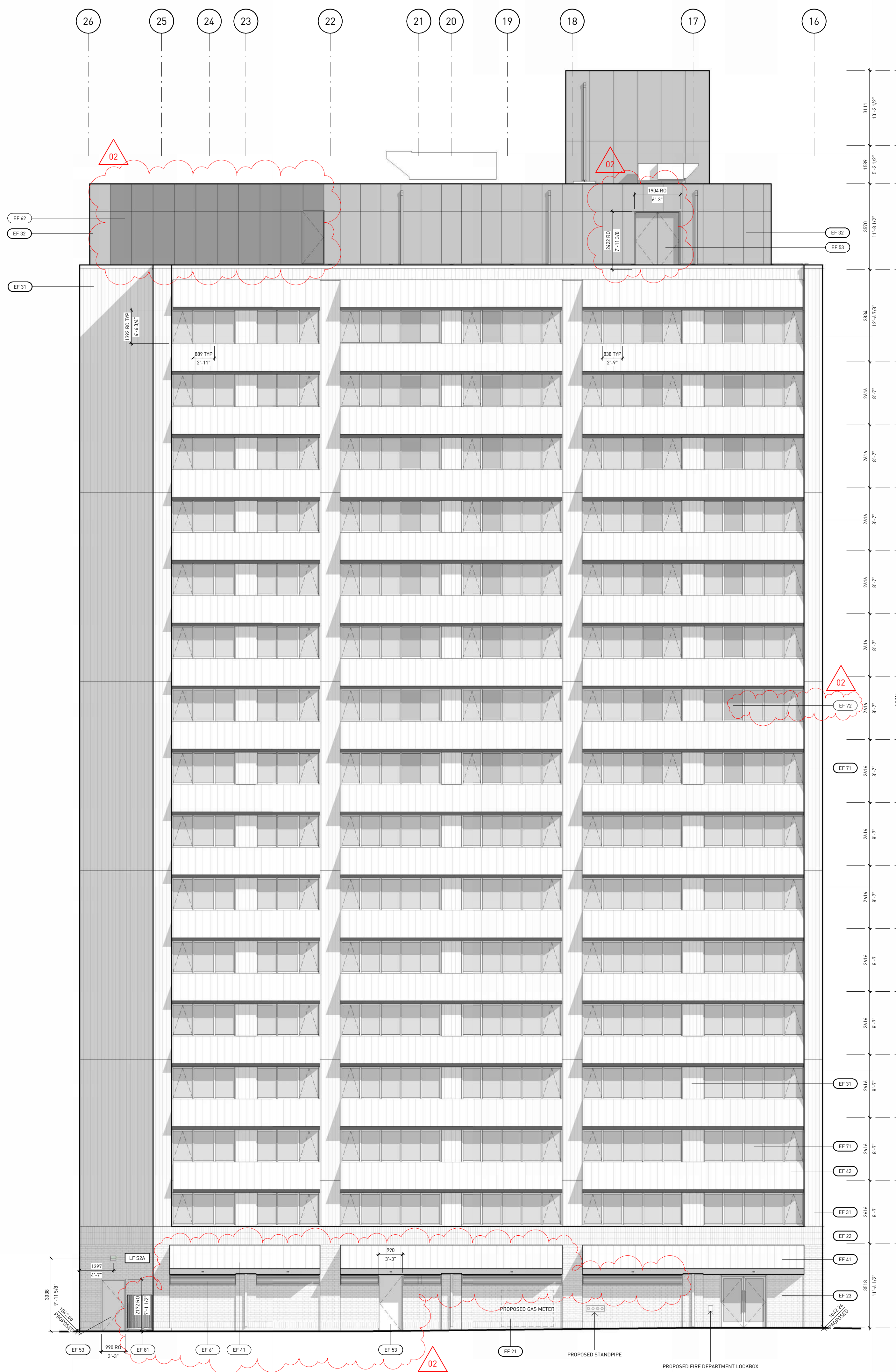
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BUILDING ELEVATIONS NORTH

DRAWING NUMBER
A-4130.0

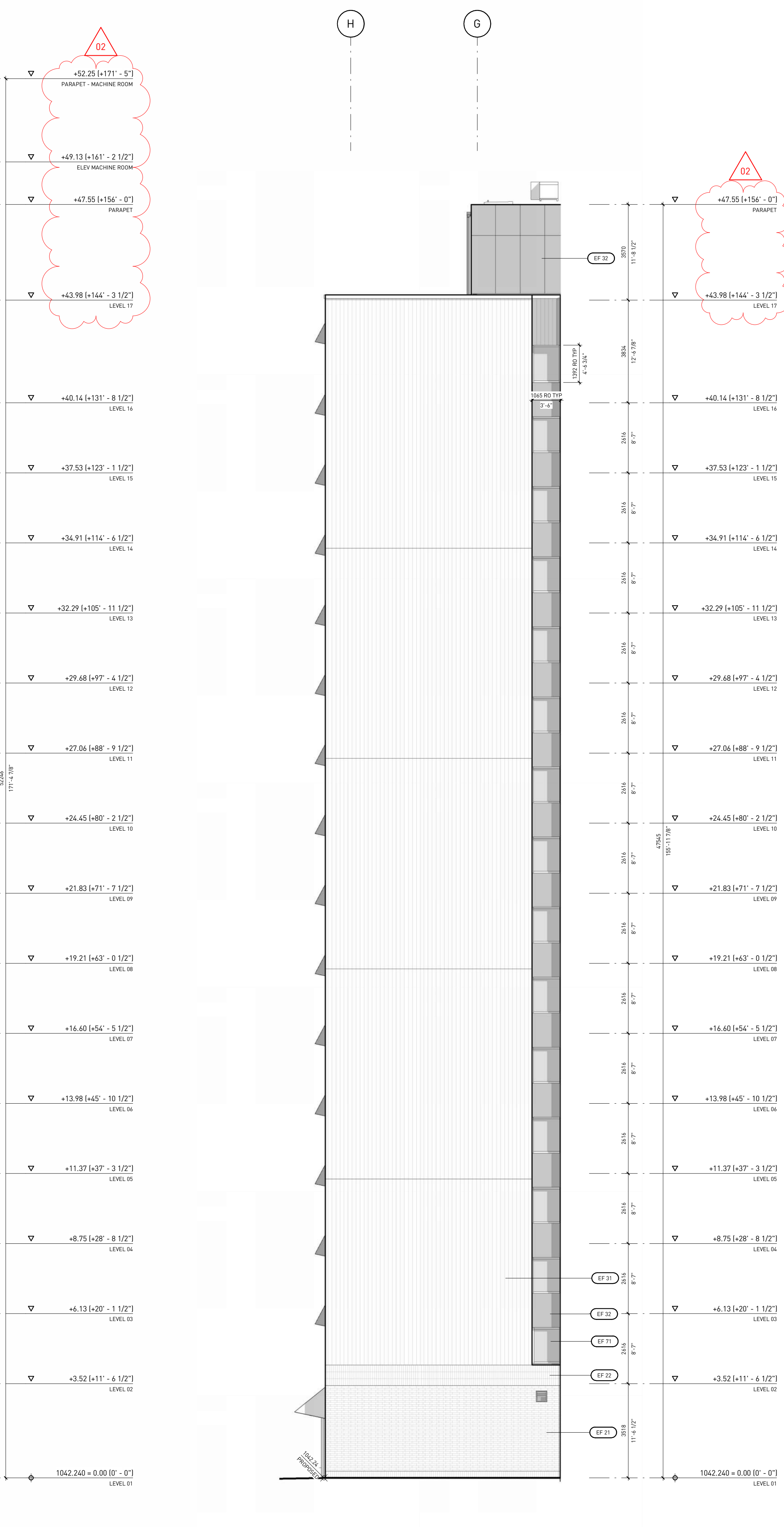
DRAWING DATE	SCALE BY ARCH D
2025-12-18	1:100

REVISION DATE	REVISION NUMBER
2026-06-24	02

1 BUILDING ELEVATION
 ELEVATION - NORTH 1:100



1 BUILDING ELEVATION
ELEVATION - EAST 1:100



2 BUILDING ELEVATION
ELEVATION - NORTH END WALL 1:100

EXTERIOR FINISHES

- EF 21 BRICK VENEER - BRICK TONE (LEVEL 01)
- EF 22 BRICK VENEER ACCENT - LIGHT NEUTRAL TONE (LEVEL 01)
- EF 23 BRICK VENEER ACCENT - LIGHT NEUTRAL TONE (LEVEL 01)
- EF 31 METAL PANEL - LIGHT NEUTRAL TONE (LEVELS 02-16)
- EF 32 SMOOTH METAL PANEL - DARK NEUTRAL TONE (LEVELS 02-17)
- EF 41 STANDING SEAM METAL CANOPY - BRICK TONE (LEVEL 01)
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- EF 71 CLEAR GLAZING
- EF 72 BACKPAINTED SPANDREL GLAZING
- SO 11 METAL SOFFIT - LIGHT
- SO 12 METAL SOFFIT - DARK

REVISION	DATE	DESCRIPTION
00	2025-12-18	DEVELOPMENT PERMIT
01	2026-03-10	DR 1 RESPONSE
02	2026-06-24	DR 2 RESPONSE

PROJECT NAME
BRIDGLAND PLACE

736 MCDOUGALL CT NE
CALGARY AB T2E 2W6

PLAN BLOCK 4301 R
BLOCK MCDUGALL RESERVE

PROJECT NUMBER
5310

HINDLE ARCHITECTS
SUITE 510 - 237 8 AVENUE SE
CALGARY - ALBERTA - CANADA

CONTACT
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DRAWING PURPOSE
DEVELOPMENT PERMIT - DR2

DRAWN BY	CHECKED BY	AUTHORIZED BY
HA	AL	JH

STAMP

NORTH

DRAWING TITLE
**BUILDING ELEVATIONS
NORTH & EAST**

DRAWING NUMBER
A-4140.0

DRAWING DATE	SCALE BY ARCH D
2025-12-18	1:100

REVISION DATE	REVISION NUMBER
2026-06-24	02

PERMIT _____ STAMP _____

NOTES

- All elevations referenced to 1000m Geodetic Datum.
- Hydrants, valves, check valves, manholes, sewer lines, water lines etc., to be installed to City of Calgary standards.
- All manholes to be S.R.C.
- Match crown minimum at all sewer connections.
- All sewer distribution pipes to be SDR 35 PVC. All sewer service pipes <= to 150mm to be SDR 28 PVC. Sewer service pipes > than 150mm to be SDR 35.
- Sewer lines to minimum slopes as per City of Calgary Standards.
- Use City of Calgary Type 2 installation, Class 1A bedding for sewer pipes unless unwise noted.
- Insulation required for sanitary sewers if cover less than 2.50m on mains.
- Insulation required for storm sewers if cover less than 1.20m as per City of Calgary Standards.
- All water mains to be DR 18 PVC unless otherwise noted.
- Use City of Calgary Type 1 installation, Class 1A bedding for water mains, Type 2 installation, class 'B' bedding for services.
- Depth of bury for water lines to conform with City of Calgary standards.
- No trees to be planted over water line(s).
- Protection of Potable Water Supply From Contamination: All Cross connections or potential cross connections must be either eliminated or protected against backflow by the installation of a cross connection control device. All cross connection control devices must be installed in accordance with the Water Utility By-law 22M82 and the National Plumbing Code of Canada.
- For building locations and dimensions refer to latest Architectural drawings. The contractor is responsible for locating all shallow utilities.
- The contractor is to verify the location of existing sanitary storm and water services and confirm existing inverts prior to installation within the project area. The Engineer should be notified immediately of any discrepancies.
- Weeping Tile & Free Flow area drains to be tied to unrestricted free flow storm sewer.
- All Civil Scope of Work Ends at 1.00m away from the Building Foot Print.

LEGEND

- Existing hydrant
- Proposed hydrant
- Existing valve
- Valve
- Watermain
- Sanitary sewer
- Storm sewer
- Existing manhole
- Proposed manhole
- Manhole with plastic inserts
- Grated top manhole
- Catch basin
- Water meter location
- Existing elevation
- Sanitary manhole number & elevation
- CB/GT/ST-1 manhole number & elevation
- Main floor elevation
- Top of footing elevation
- Sanitary sewer invert at bidg

DEVELOPMENT PERMIT 2025-07446

No.	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

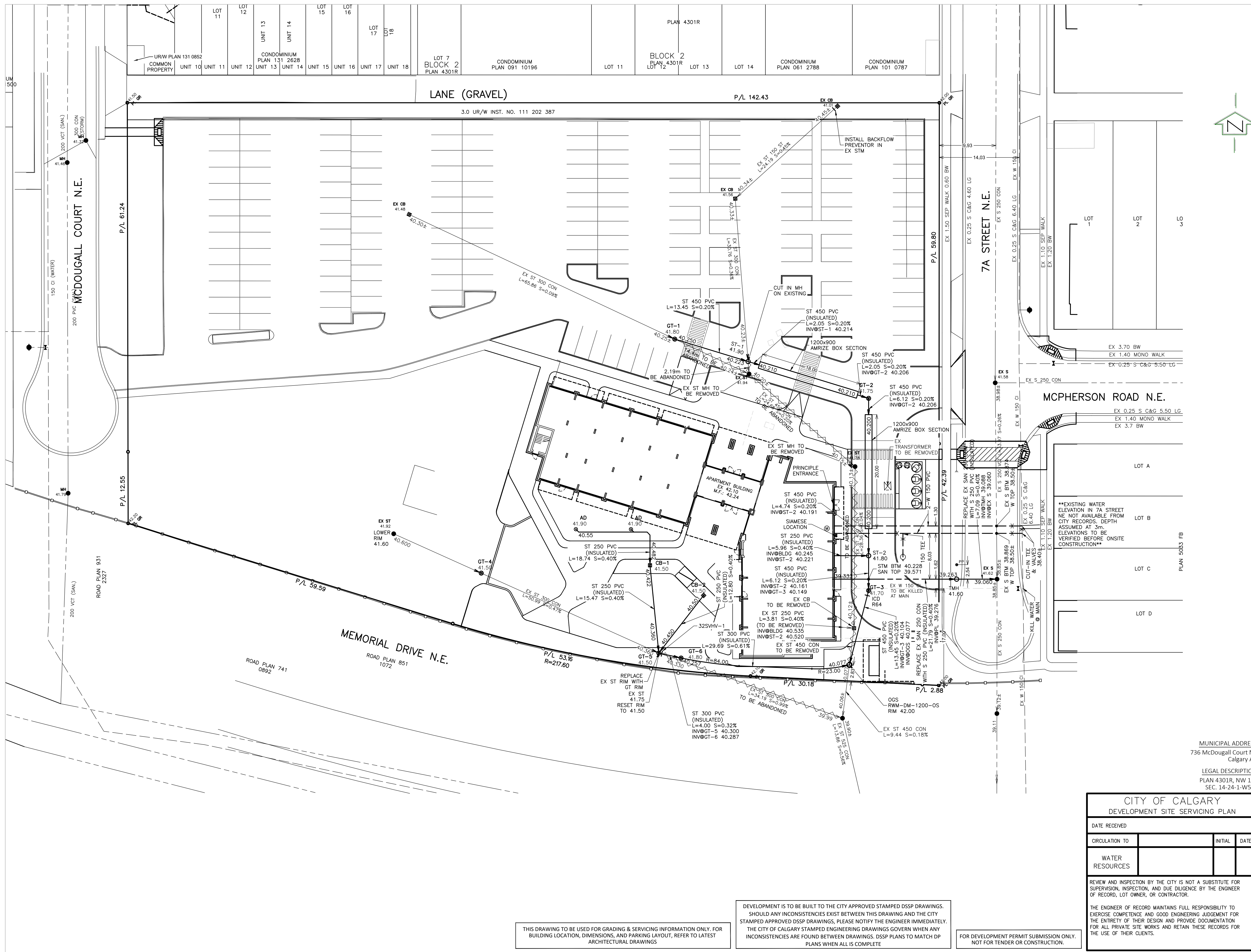
No.	DATE	DESCRIPTION	BY
4		AS-BUILT	
3		FOR CONSTRUCTION	
2		FOR TENDER	
1		DEVELOPMENT PERMIT	18DEC25 WB
No.		DRAWING STATUS	DATE APP.

CLIENT
HINDLE ARCHITECTS LTD.

PROJECT
**BRIDGELAND PLACE - CALGARY HOUSING CORP
NUMBER OF UNITS
736 MCDougall COURT NE**

TITLE
SITE SERVICING PLAN

DESIGN BY: DV	SCALE: 1:300	JOB NUMBER: 24-208
DRAWN BY: WB		
CHECKED BY: DV	REV NO.: -	DRAWING NUMBER: SP1
DATE: 19-Jun-26		



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FOR DEVELOPMENT PERMIT SUBMISSION ONLY. NOT FOR TENDER OR CONSTRUCTION.

CITY OF CALGARY
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED	INITIAL	DATE
CIRCULATION TO		
WATER RESOURCES		

REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

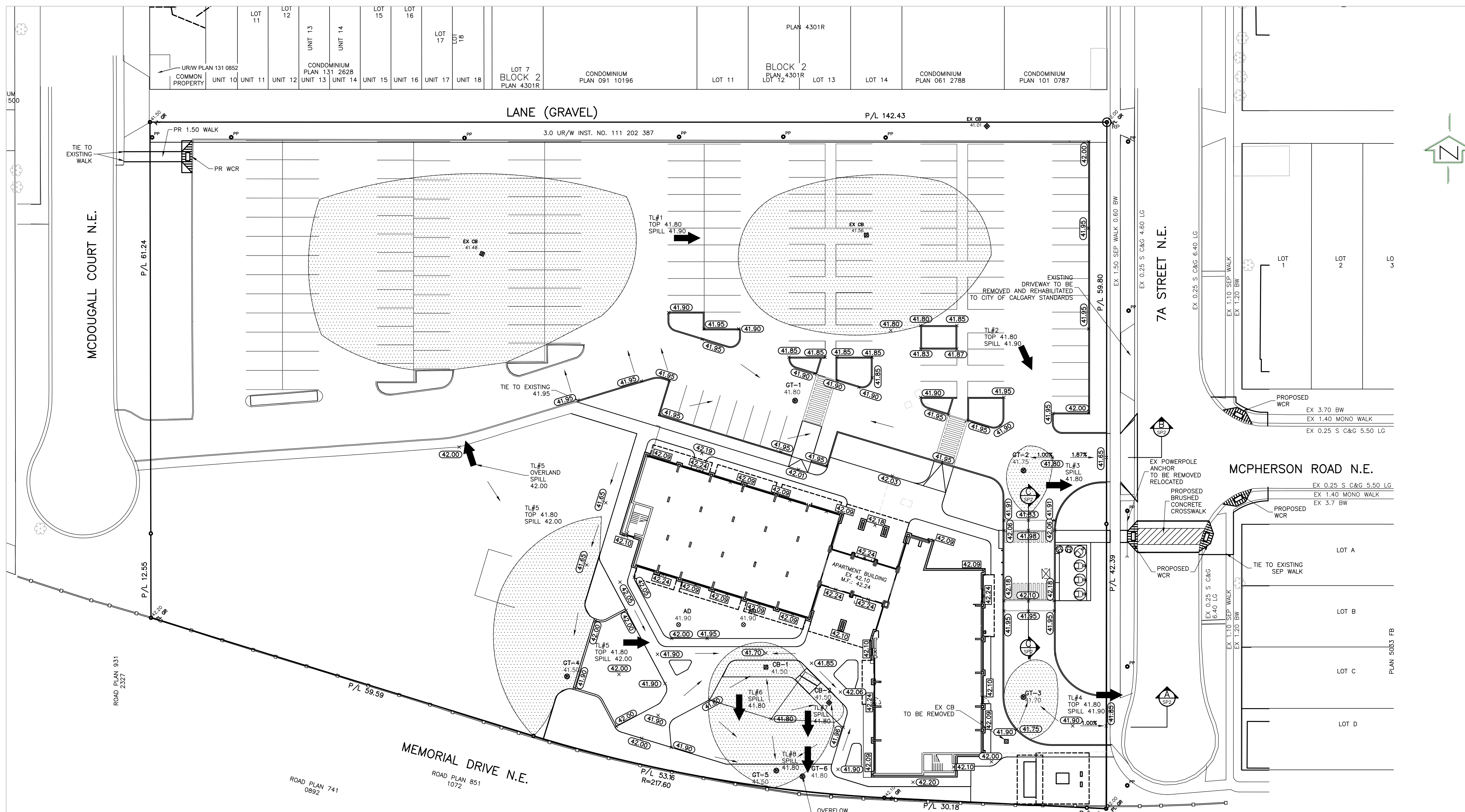
THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

MUNICIPAL ADDRESS
736 McDougall Court NE
Calgary AB

LEGAL DESCRIPTION
PLAN 4301R, NW 1/4
SEC. 14-24-1-W5M

PERMIT _____ STAMP _____

NOTES
1. All elevations referenced to 1000m Geodetic Datum.



LEGEND	
	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Proposed design elevation
	Existing building grades
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
	Main floor elevation
	Top of footing elevation
	Sanitary sewer invert at bldg

DEVELOPMENT PERMIT 2025-07446

REVISIONS		
5		
4		
3		
2		
1		
No.	DATE	DESCRIPTION

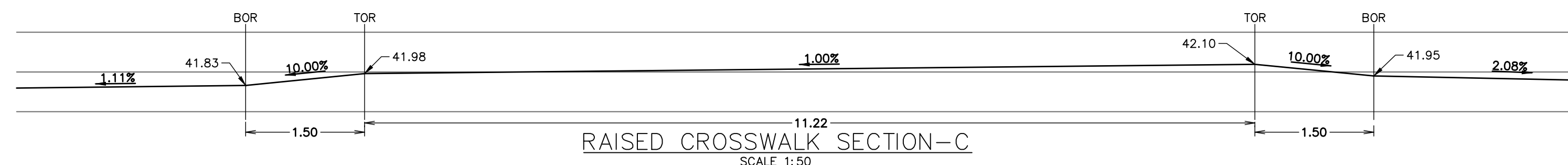
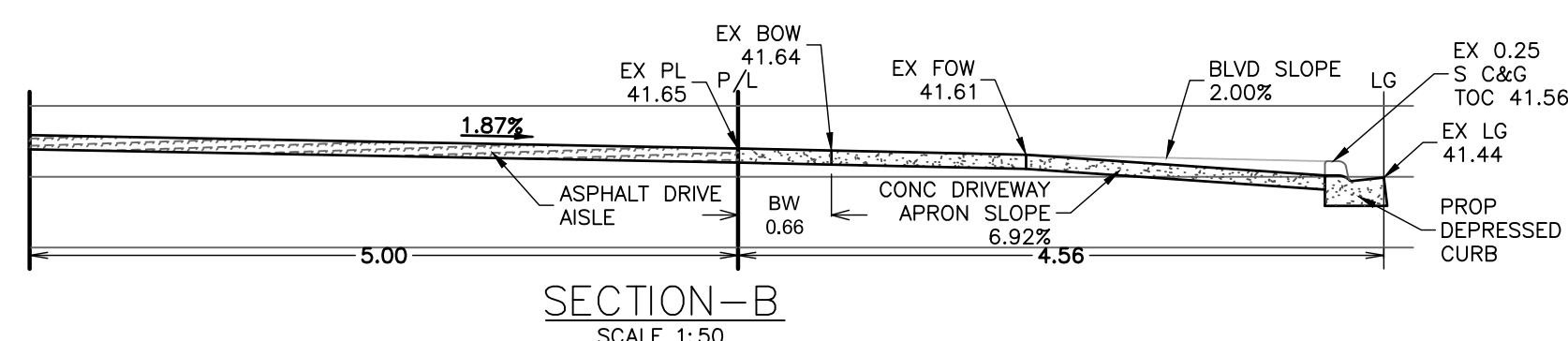
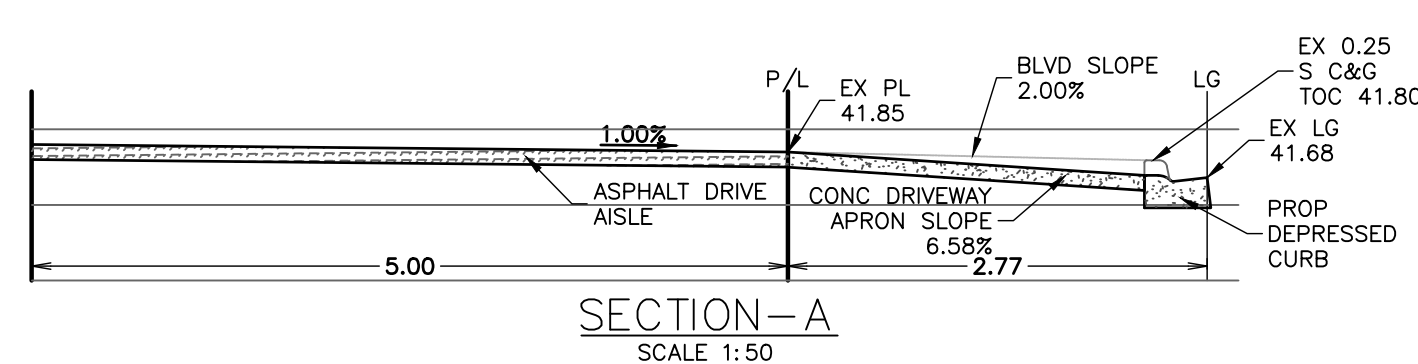
ISSUED FOR		
4	AS-BUILT	
3	FOR CONSTRUCTION	
2	FOR TENDER	
1	DEVELOPMENT PERMIT	18DEC25 WB
No.	DRAWING STATUS	DATE

CLIENT
HINDLE ARCHITECTS LTD.

PROJECT
**BRIDGELAND PLACE - CALGARY HOUSING CORP
NUMBER OF UNITS
736 MCDUGALL COURT NE**

TITLE
SITE GRADING PLAN

DESIGN BY: DV	SCALE: 1:300	JOB NUMBER: 24-208
DRAWN BY: WB		
CHECKED BY: DV	REV NO.: -	DRAWING NUMBER: SP2
DATE: 19-Jun-26		



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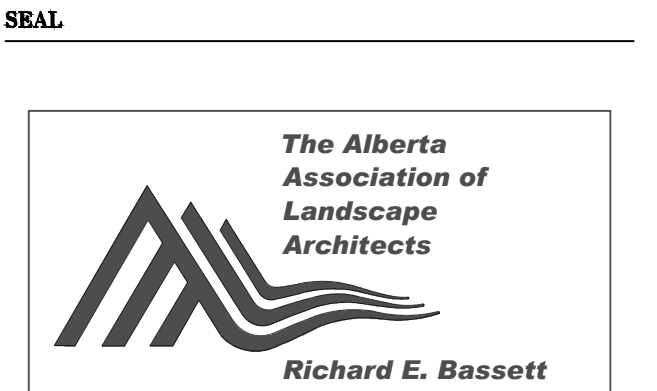
MUNICIPAL ADDRESS
736 McDougall Court NE
Calgary AB

LEGAL DESCRIPTION
PLAN 4301R, NW 1/4
SEC. 14-24-1-W5M



BASSETT ASSOCIATES
LANDSCAPE ARCHITECTURE INC.

#603, 550 - 11th AVENUE S.W.
CALGARY, ALBERTA T2R 1M7
PHONE 403 286-8118



CONSULTANTS

LEGAL DESCRIPTION:
MCDougall Reserve, Block 2, Plan 4301 R

MUNICIPAL ADDRESS:
736 MCDougall Ct NE, Calgary, AB T2E 2W6

ZONING:
DC

SITE AREA: 13,132 sq.m.

MINIMUM LANDSCAPE AREA REQUIRED (40.0% OF SITE AREA) = 5,252 sq.m.

HARD LANDSCAPE AREA AT GRADE (RETAINING WALLS, PATIO AREAS, HARD SURFACES) = 1038 sq.m. (17.98%)

SOFT LANDSCAPE AREA AT GRADE = 4734 sq.m. (82.02%)

TOTAL LANDSCAPE AREA PROVIDED = 5772 sq.m.

MINIMUM NUMBER OF TREES REQUIRED (1 TREE/45 sq.m.) = 117

MINIMUM NUMBER OF SHRUBS REQUIRED (2 SHRUBS/45 sq.m.) = 234

PROPOSED/EXISTING DECIDUOUS TREES (QTY.) = 52

PROPOSED/EXISTING CONIFEROUS TREES (QTY.) = 26

PROPOSED SHRUBS (QTY.) = 232

PROPOSED ORNAMENTAL GRASSES/PERENNIALS (QTY.) = 364

NOTES

- 1.0 SITE GRADING BY OTHERS, REFER TO ENGINEERING DRAWINGS.
- 2.0 THE CONTRACTOR SHALL VERIFY AND CONFIRM ALL GRADES. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 3.0 ALL WORK SHALL COMPLY WITH CALGARY PARKS STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION, CURRENT EDITION.
- 4.0 ALL PATHWAYS TO HAVE A MINIMUM 2.0% CROSS SLOPE UNLESS NOTED OTHERWISE.
- 5.0 NO PERMANENT IRRIGATION SYSTEMS TO BE PROVIDED. CONTRACTOR SHALL PROVIDE TEMPORARY WATERING AS REQUIRED TO ENSURE SUCCESSFUL PLANT ESTABLISHMENT DURING THE WARRANTY/MAINTENANCE PERIOD.

LANDSCAPE LEGEND:

- PROPOSED MULCH
- PROPOSED CONCRETE WALKWAYS
- EXISTING SHRUBS PLANTING TO BE RETAINED
- EXISTING TREES TO BE RETAINED
- TREE PROTECTION FENCING
- EXISTING TURF
- PROPOSED SITE LIGHTING, REFER TO ELEC. DWGS.
- PROPOSED SITE SIGNAGE, REFER TO ARCH. DWGS.

GRADING LEGEND

- PERIMETER SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS, BY OTHERS
- PROPOSED OVERLAND SLOPE
- PROPOSED TOP OF WALL, PROPOSED BOTTOM OF WALL
- PROPOSED BUILDING ELEVATIONS

REVISIONS

NO.	DATE	DESCRIPTION
05/26/06/25	DR 2 RESPONSE	
04/26/03/12	DR 1 RESPONSE	
03/25/12/18	ISSUED FOR DEVELOPMENT PERMIT	
02/25/11/28	ISSUED FOR 90% DD	
01/25/11/03	ISSUED FOR CLIENT REVIEW	

PROJECT

BRIDGELAND PLACE
736 MCDougall Ct NE
CALGARY, ALBERTA

LOT MCDougall Reserve
BLOCK 2
PLAN 4301 R

PHASE

DEVELOPMENT PERMIT APPLICATION
DP# DP2025-07446

LANDSCAPE SITE PLAN

DRAWING

DEVELOPMENT PERMIT APPLICATION
DP# DP2025-07446

LANDSCAPE SITE PLAN

SHEET NO.

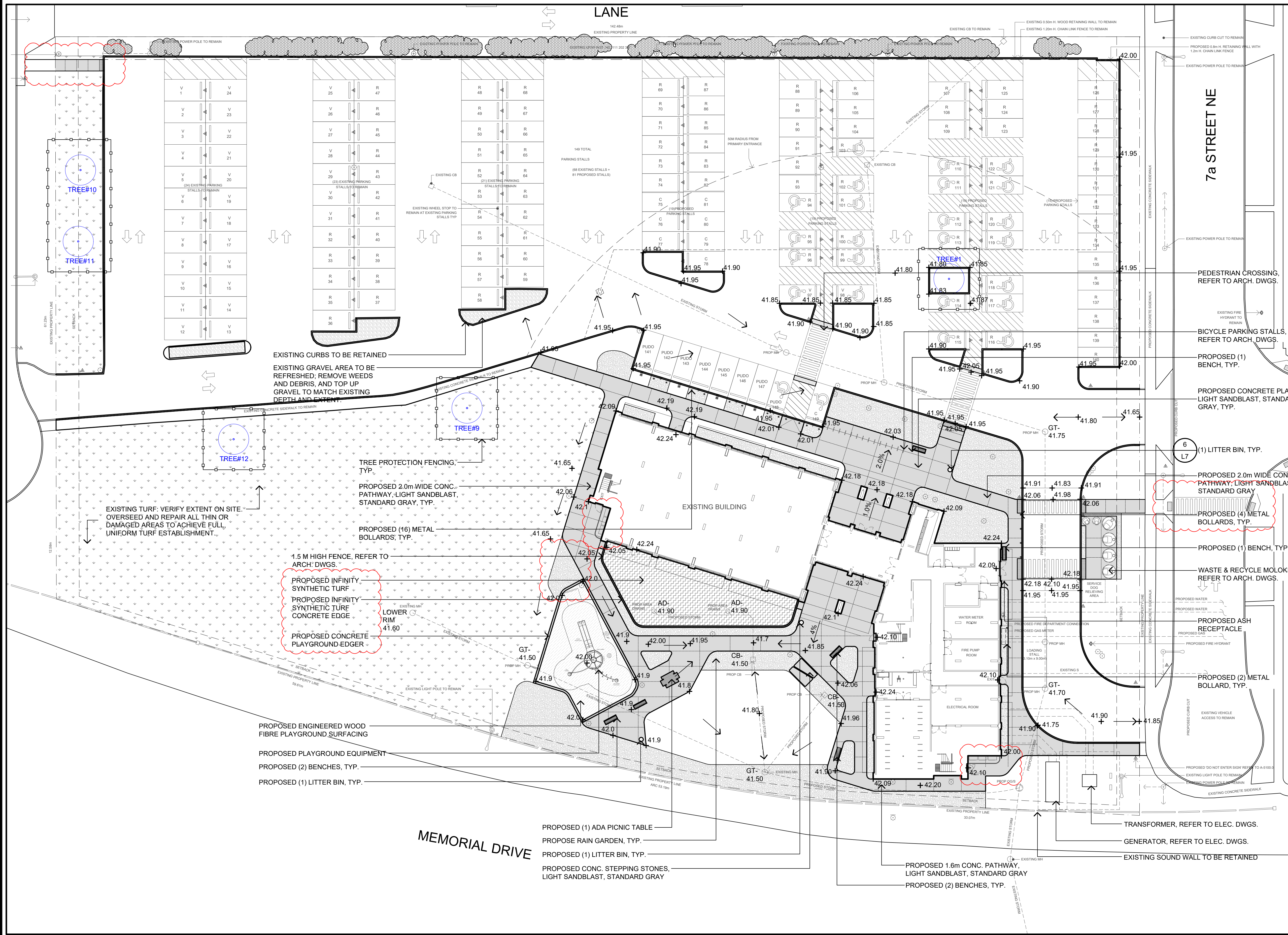
DRAWN BY E.O.
CHECKED BY C.S.
DESIGN BY R.B.

DATE JUNE 2026

PROJECT NO.

SCALE 1:250

LDP1



EXISTING TREES TO BE RETAINED:

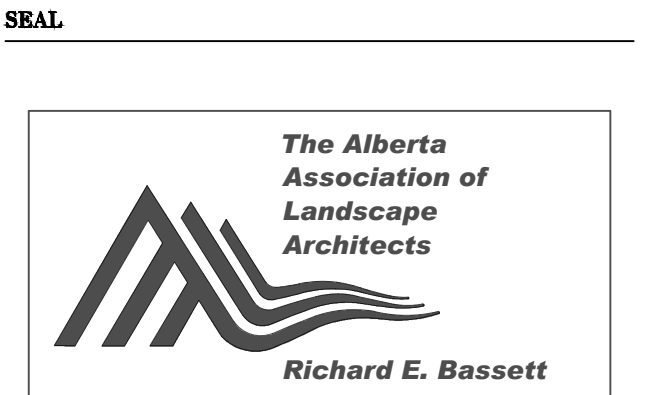
TREE #	TYPE	SPECIES	TRUNK DIAMETER (m)	TREE HEIGHT (m)	CANOPY DIAMETER (m)
1	DECIDUOUS	ELM	0.44	11.5	5.9
9	CONIFEROUS	SPRUCE	0.60	17.5	4.7
10	DECIDUOUS	ASH	0.12	5.5	1.0
11	DECIDUOUS	ELM	0.34	4.6	1.0
12	DECIDUOUS	ELM	0.34	8.9	8.8



BASSETT ASSOCIATES

LANDSCAPE ARCHITECTURE INC.

#603, 550 - 11th AVENUE S.W.
CALGARY, ALBERTA T2R 1M7
PHONE 403 286-8118



CONSULTANTS

NO.	DATE	DESCRIPTION
05/26/06/25	DR 2 RESPONSE	
04/26/03/12	DR 1 RESPONSE	
03/25/12/18	ISSUED FOR DEVELOPMENT PERMIT	
02/25/11/28	ISSUED FOR 90% DD	
01/25/11/03	ISSUED FOR CLIENT REVIEW	

PROJECT

BRIDGELAND PLACE
736 MCDUGALL CT NE
CALGARY, ALBERTA

LOT MCDUGALL RESERVE
BLOCK 2
PLAN 4301 R

PHASE

DRAWING

DEVELOPMENT PERMIT APPLICATION
DP# DP2025-07446

TREE PLANTING

DRAWN BY	E.O.	CHECKED BY	C.S.	DESIGN BY	R.B.	DATE	JUNE 2026	PROJECT NO.	SCALE	1:250	SHEET NO.	LDP2
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LEGAL DESCRIPTION:
MCDUGALL RESERVE, BLOCK 2, PLAN 4301 R

MUNICIPAL ADDRESS:
736 MCDUGALL CT NE, CALGARY, AB T2E 2W6

ZONING:
DC

SITE AREA: 13,132 sq.m.

MINIMUM LANDSCAPE AREA REQUIRED (40.0% OF SITE AREA)
= 5,252 sq.m.

HARD LANDSCAPE AREA AT GRADE (RETAINING WALLS, PATIO AREAS, HARD SURFACES)
= 1038 sq.m. (17.98%)

SOFT LANDSCAPE AREA AT GRADE
= 4734 sq.m. (82.02%)

TOTAL LANDSCAPE AREA PROVIDED
= 5772 sq.m.

MINIMUM NUMBER OF TREES REQUIRED (1 TREE/45 sq.m.)
= 117

MINIMUM NUMBER OF SHRUBS REQUIRED (2 SHRUBS/45 sq.m.)
= 234

PROPOSED/EXISTING DECIDUOUS TREES (QTY.)
= 52

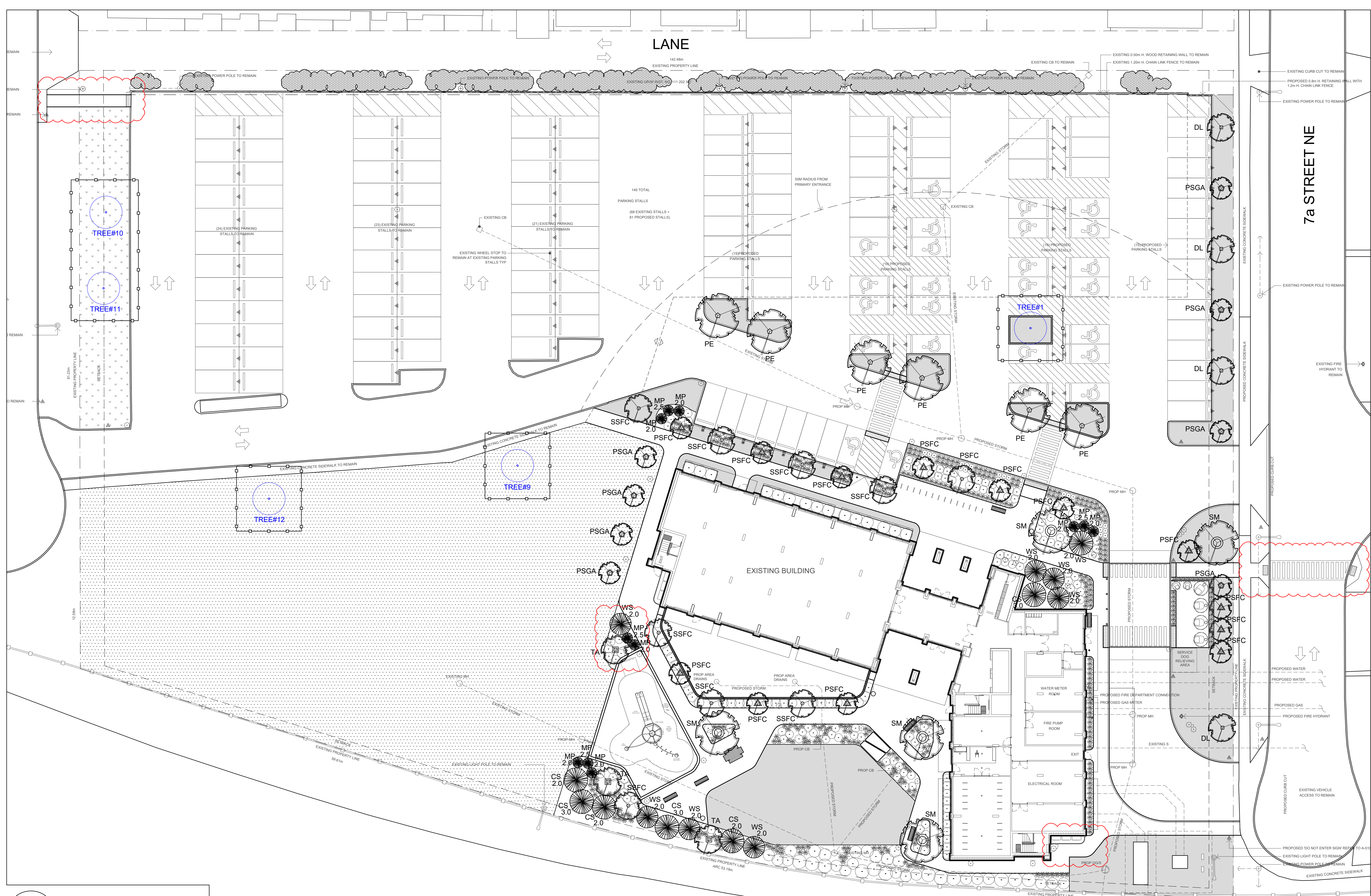
PROPOSED/EXISTING CONIFEROUS TREES (QTY.)
= 26

PROPOSED SHRUBS (QTY.)
= 232

PROPOSED ORNAMENTAL GRASSES/PERENNIALS (QTY.)
= 364

TREE LEGEND:

MP	MOUNTAIN PINE
WS	WHITE SPRUCE
CS	COLORADO SPRUCE
PE	PATMORE ELM
TA	TREMBLING ASPEN
SM	SENSATION MAPLE
PSGA	PRAIRIE SPIRE GREEN ASH
DL	DROPMORE LINDEN
SSFC	SPRING SNOW FLOWERING CRAB
PSFC	PINK SPIRE FLOWERING CRAB
TREE#	EXISTING TREES TO BE RETAINED
[Symbol]	TREE PROTECTION FENCING
[Symbol]	EXISTING SHRUB PLANTING TO BE RETAINED



1 TREE PLANTING
L4 PLAN 1:250

PLANT SCHEDULE

QTY.	ABBREV.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	PLANTING SIZE	CONDITION	ZONE
08	WS	PICEA GLAUCA	WHITE SPRUCE	20.0m HT.	5.0m SPR.	2.0m HT.	B&B	Z2
03	CS	PICEA PUNGENS	COLORADO SPRUCE	20.0m HT.	5.0m SPR.	3.0m HT.	B&B	Z2
03	CS	PICEA PUNGENS	COLORADO SPRUCE	20.0m HT.	5.0m SPR.	2.0m HT.	B&B	Z2
06	MP	PINUS UNCINATA	MOUNTAIN PINE	4.0m HT.	2.0m SPR.	2.0m HT.	B&B	Z2
05	MP	PINUS UNCINATA	MOUNTAIN PINE	4.0m HT.	2.0m SPR.	2.5m HT.	B&B	Z2
05	SM	ACER NEGUNDO 'SENSATION'	SENSATION MAPLE	10.0m HT.	4.0m SPR.	85mm CAL.	B&B	Z2
08	PSGA	FRAXINUS PENNSYLVANICA 'RUGBY'	PRAIRIE SPIRE GREEN ASH	15.0m HT.	4.0m SPR.	85mm CAL.	B&B	Z2
14	PSFC	MALUS X 'PINK SPIRE'	PINK SPIRES FLOWERING CRAB	5.0m HT.	4.0m SPR.	85mm CAL.	B&B	Z2
08	SSFC	MALUS 'SPRING SNOW'	SPRING SNOW FLOWERING CRAB	8.0m HT.	5.0m SPR.	85mm CAL.	B&B	Z3
03	TA	POPULUS TREMBULOIDES	TREMBLING ASPEN	10.0m HT.	5.0m SPR.	85mm CAL.	B&B	Z2
04	DL	TILIA FLAVESCENS 'DROPMORE'	DROPMORE LINDEN	12.0m HT.	5.0m SPR.	85mm CAL.	B&B	Z3
06	PE	ULMUS AMERICANA 'PATMORE'	PATMORE ELM	15.0m HT.	8.0m SPR.	85mm CAL.	B&B	Z3

LEGEND

[Symbol]	PROPOSED 300mm DEPTH LOAM AND KENTUCKY BLUE GRASS SOD	[Symbol]	OVERSEED EXISTING SOD AREA AS REQUIRED TO REPAIR THIN OR DAMAGED TURF	[Symbol]	EXISTING GRASS TO BE RETAINED
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NOTES

- CONTRACTOR TO ENSURE ALL UTILITY INSTALLATIONS HAVE BEEN COMPLETED PRIOR TO PLANTING. ALL UTILITIES MUST BE LOCATED IN THE FIELD PRIOR TO ANY EXCAVATION.
- CONTRACTOR TO ENSURE STANDARD SEPARATIONS ARE MAINTAINED BETWEEN TREES AND UTILITIES.
- ALL WORK SHALL COMPLY WITH THE CITY OF CALGARY DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION (CURRENT EDITION), AND CITY OF CALGARY LAND USE BYLAWS, CURRENT EDITION.
- SITE GRADING BY OTHERS. CONTRACTOR TO ENSURE THE GRADES ARE FOLLOWED AND POSITIVE DRAINAGE IS AWAY FROM THE FOUNDATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ANY AREAS WHERE POSITIVE OVERLAND CANNOT BE ACHIEVED AND NOTIFY THE PROJECT MANAGER.
- NO PERMANENT IRRIGATION SYSTEM TO BE PROVIDED. CONTRACTOR SHALL PROVIDE TEMPORARY WATERING AS REQUIRED TO ENSURE SUCCESSFUL PLANT ESTABLISHMENT DURING THE WARRANTY/MAINTENANCE PERIOD.
- PROPOSED TREES TO HAVE MINIMUM 1.2m DEPTH GROWING MEDIUM. PROPOSED SHRUBS TO HAVE MINIMUM 0.6m DEPTH GROWING MEDIUM. PROPOSED GRASSES TO HAVE MINIMUM 0.45m DEPTH GROWING MEDIUM.

EXISTING TREES TO BE RETAINED:

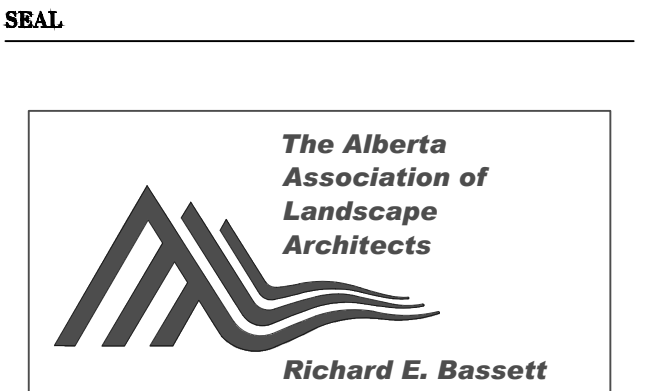
TREE #	TYPE	SPECIES	TRUNK DIAMETER (m)	TREE HEIGHT (m)	CANOPY DIAMETER (m)
1	DECIDUOUS	ELM	0.44	11.5	5.9
9	CONIFEROUS	SPRUCE	0.60	17.5	4.7
10	DECIDUOUS	ASH	0.12	5.5	1.0
11	DECIDUOUS	ELM	0.34	4.6	1.0
12	DECIDUOUS	ELM	0.34	8.9	8.8



BASSETT ASSOCIATES

LANDSCAPE ARCHITECTURE INC.

#603, 550 - 11th AVENUE S.W.
CALGARY, ALBERTA T2R 1M7
PHONE 403 286-8118



CONSULTANTS

NO.	DATE	DESCRIPTION
05/26/06/25	DR 2 RESPONSE	
04/26/03/12	DR 1 RESPONSE	
03/25/12/18	ISSUED FOR DEVELOPMENT PERMIT	
02/25/11/28	ISSUED FOR 90% DD	
01/25/11/03	ISSUED FOR CLIENT REVIEW	

PROJECT

BRIDGELAND PLACE
736 MCDougall Ct NE
CALGARY, ALBERTA

LOT MCDougall Reserve
BLOCK 2
PLAN 4301 R

PHASE

DEVELOPMENT PERMIT
APPLICATION
DP# DP2025-07446

SHRUB PLANTING

DRAWN BY	E.O.	SHEET NO.
CHECKED BY	C.S.	
DESIGN BY	R.B.	LDP3
DATE	JUNE 2026	
PROJECT NO.		
SCALE	1:250	

LEGAL DESCRIPTION:
MCDougall Reserve, Block 2, Plan 4301 R

MUNICIPAL ADDRESS:
736 MCDougall Ct NE, Calgary, AB T2E 2W6

ZONING:
DC

SITE AREA: 13,132 sq.m.

MINIMUM LANDSCAPE AREA REQUIRED (40.0% OF SITE AREA) = 5,252 sq.m.

HARD LANDSCAPE AREA AT GRADE (RETAINING WALLS, PATIO AREAS, HARD SURFACES) = 1038 sq.m. (17.98%)

SOFT LANDSCAPE AREA AT GRADE = 4734 sq.m. (82.02%)

TOTAL LANDSCAPE AREA PROVIDED = 5772 sq.m.

MINIMUM NUMBER OF TREES REQUIRED (1 TREE/45 sq.m.) = 117

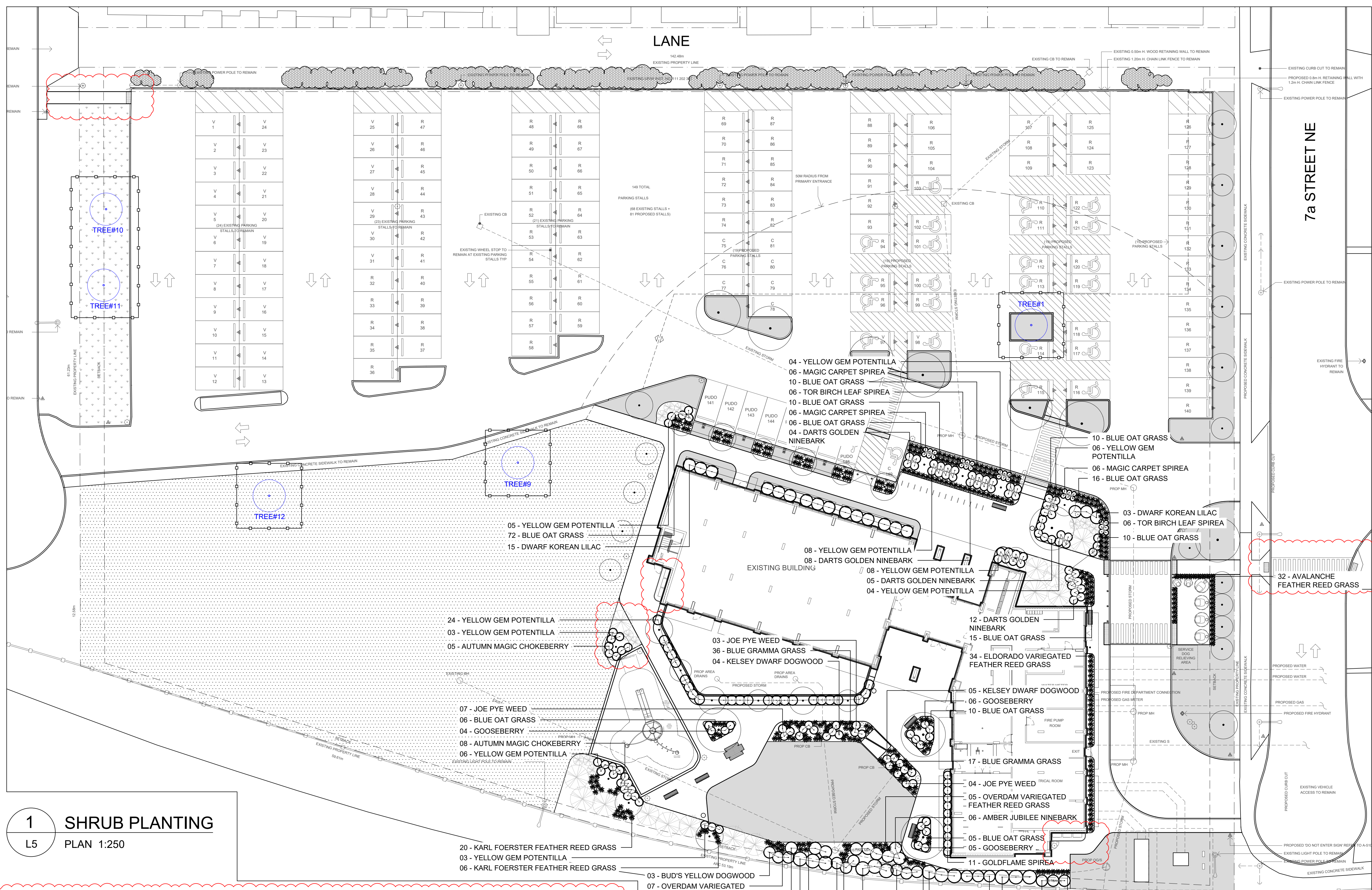
MINIMUM NUMBER OF SHRUBS REQUIRED (2 SHRUBS/45 sq.m.) = 234

PROPOSED/EXISTING DECIDUOUS TREES (QTY.) = 52

PROPOSED/EXISTING CONIFEROUS TREES (QTY.) = 26

PROPOSED SHRUBS (QTY.) = 232

PROPOSED ORNAMENTAL GRASSES/PERENNIALS (QTY.) = 364



1 SHRUB PLANTING

L5 PLAN 1:250

QTY.	ABBREV.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	MATURE SPREAD	PLANTING SIZE	CONDITION	ZONE
SHRUBS:								
12		AMELANCHIER ALNIFOLIA	SASKATOON	3.0m HT.	2.0m SPR.	600mm HT.	#5 CONT.	Z2
13		ARJUNIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC CHOKEBERRY	1.5m HT.	1.0m SPR.	600mm HT.	#5 CONT.	Z3
15		CORNUS ALBA 'BUDS YELLOW'	BUD'S YELLOW DOGWOOD	2.0m HT.	2.0m SPR.	600mm HT.	#5 CONT.	Z2
09		CORNUS SERICEA 'KELSEY'	KELSEY DWARF DOGWOOD	1.0m HT.	1.0m SPR.	600mm HT.	#5 CONT.	Z2
29		PHYSOCARPUS OPUULIFOLIUS 'DART'S GOLD'	DART'S GOLDEN NINEBARK	1.5m HT.	1.0m SPR.	600mm HT.	#5 CONT.	Z2
09		PHYSOCARPUS OPUULIFOLIUS 'JEFAM'	AMBER JUBILEE NINEBARK	2.0m HT.	1.5m SPR.	600mm HT.	#5 CONT.	Z2
71		POTENTILLA FRUTICOSA 'YELLOW GEM'	YELLOW GEM POTENTILLA	1.0m HT.	1.0m SPR.	600mm HT.	#5 CONT.	Z3
15		RIBES HIRTELLUM 'FARREN'	GOOSEBERRY	1.0m HT.	1.0m SPR.	600mm HT.	#5 CONT.	Z3
12		SPIRAEA BETULIFOLIA 'TOR'	TOR BIRCH LEAF SPIREA	0.75m HT.	0.75m SPR.	600mm HT.	#5 CONT.	Z3
11		SPIRAEA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	0.75m HT.	1.0m SPR.	600mm HT.	#5 CONT.	Z3
18		SPIRAEA X BUMALDA 'WALBUMA'	MAGIC CARPET SPIREA	0.25m HT.	0.5m SPR.	200mm HT.	#3 CONT.	Z3
18		SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	1.5m HT.	1.5m SPR.	600mm HT.	#5 CONT.	Z3
PERENNIALS								
14		EUPATORIUM PURPUREUM	JOE PYE WEED	1.25m HT.	1.0m SPR.		GAL. CONT.	Z3
GRASSES:								
53		BOULETELOUA GRACILIS	BLUE GRAMMA GRASS	0.5m HT.	0.6m SPR.		GAL. CONT.	Z3
32		CALAMAGROSTIS ACUTIFLORA 'AVALANCHE'	AVALANCHE FEATHER REED GRASS	1.2m HT.	0.6m SPR.		GAL. CONT.	Z3
26		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1.5m HT.	0.8m SPR.		GAL. CONT.	Z3
34		CALAMAGROSTIS ACUTIFLORA 'ELDORADO'	ELDORADO VARIEGATED FEATHER REED GRASS	0.6m HT.	0.6m SPR.		GAL. CONT.	Z2
28		CALAMAGROSTIS ACUTIFLORA 'OVERDAM'	OVERDAM VARIEGATED FEATHER REED GRASS	0.5m HT.	0.6m SPR.		GAL. CONT.	Z3
177		HELICOTRICHON SEMPERVIRENS	BLUE OAT GRASS	0.9m HT.	0.6m SPR.		GAL. CONT.	Z3

LEGEND	DESCRIPTION
[Pattern]	PROPOSED 300mm DEPTH LOAM AND MANDERLEY LESS WATER NATURAL GRASS SOD
[Pattern]	OVERSEED EXISTING SOD AREA AS REQUIRED TO REPAIR THIN OR DAMAGED TURF
[Pattern]	EXISTING GRASS TO BE RETAINED

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