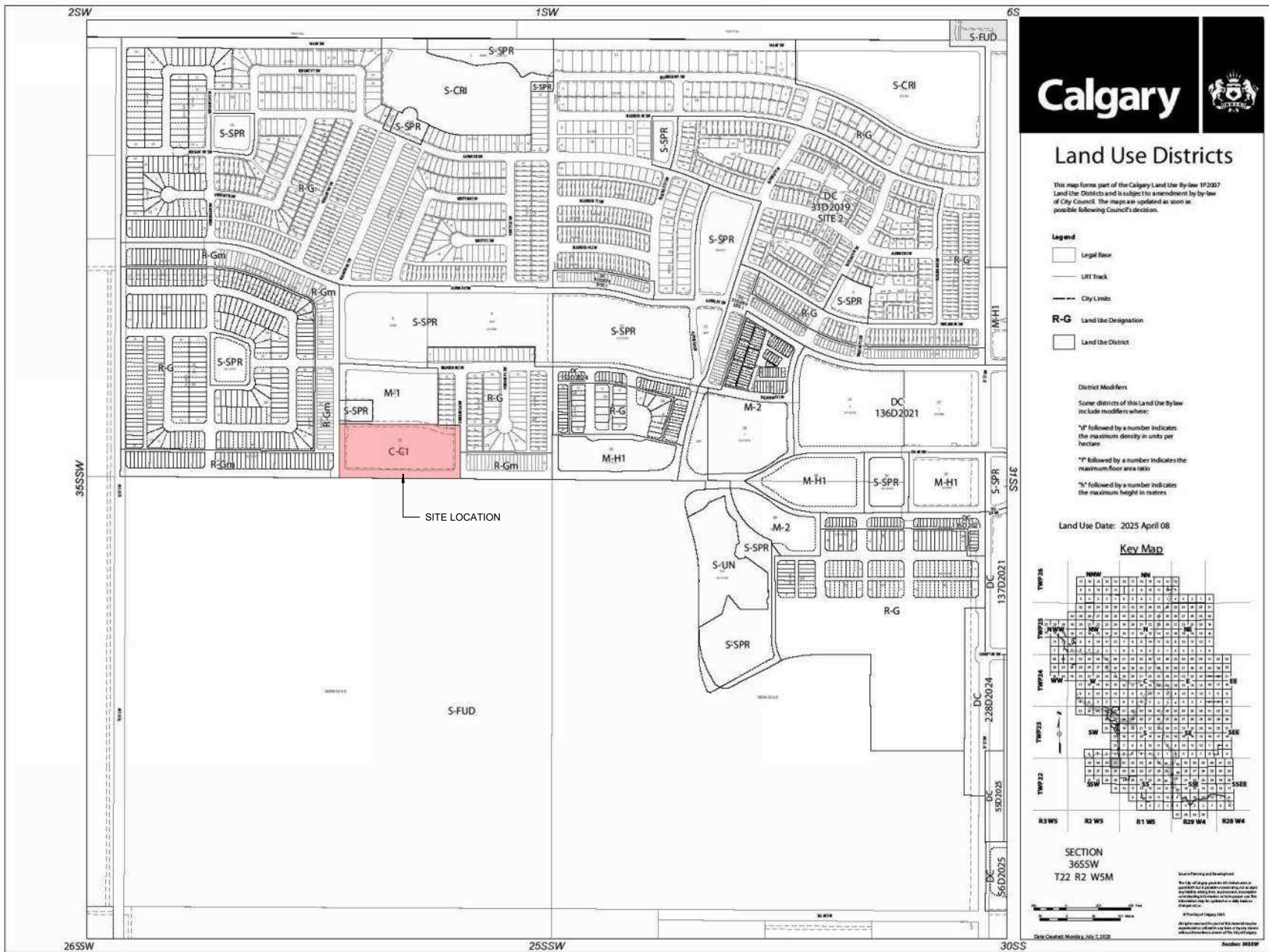




1
DP010
AERIAL VIEW
NTS



2
DP010
LAND USE BYLAW MAP
NTS

LEGAL ADDRESS: 4730 154 AV SW, CALGARY, ALBERTA
MUNICIPAL ADDRESS: C-C1 - COMMERCIAL, COMMUNITY 1
ZONING: C-C1 - COMMERCIAL, COMMUNITY 1
PROJECT DESCRIPTION: SIX NEW COMMERCIAL PAD BUILDINGS ON A 4.35 ACRE SITE (1.76 HECTARES)
ALL BUILDINGS ARE ONE STOREY. BUILDING 1 IS A DAYCARE WITH OUTDOOR PLAY AREA, BUILDING 2 TO 6 WILL BE RETAIL & CONSUMER SERVICE, HEALTH CARE SERVICE, AND RESTAURANTS.
PROPOSED BUILDING USES: RETAIL, RESTAURANT, CHILD CARE SERVICE, AND HEALTH CARE SERVICE.
MAX FLOOR AREA RATIO: 1.0
PROPOSED FLOOR AREA RATIO: 0.264
MINIMUM SETBACK DIMENSIONS: FRONT 3.0m, REAR 3.0m, SIDE 3.0m
MAX BUILDING HEIGHT: 10m
PROPOSED MAX BUILDING HEIGHT: 7.8m
SITE AREA: 17,603.83m² (189,486 ft²) (4.35 ACRES)
TOTAL SITE AREA: 17,603.83m² (189,486 ft²) (4.35 ACRES)
GROSS FLOOR AREA:
BLDG 1 GROSS FLOOR AREA: 1863.80 m² 20061.8 ft²
BLDG 2 GROSS FLOOR AREA: 443.90 m² 4778.1 ft²
BLDG 3 GROSS FLOOR AREA: 873.29 m² 9389.7 ft²
BLDG 4 GROSS FLOOR AREA: 241.37 m² 2588.1 ft²
BLDG 5 GROSS FLOOR AREA: 532.39 m² 5735.9 ft²
BLDG 6 GROSS FLOOR AREA: 688.18 m² 7407.5 ft²
TOTAL GROSS FLOOR AREA: 4643.35 m² 49981.1 ft²

NOTE: ALL BUILDINGS ON SITE ARE NON-SPRINKLERED NO FIRE ALARM REQUIRED, ONLY BUILDING 1 DAYCARE HAS A SPRINKLER SYSTEM AND FIRE ALARM IS REQUIRED.

BYLAW PARKING REQUIREMENT AS PER 121.1:

RETAIL & CONSUMER SERVICE: 4100m² GROSS USABLE FLOOR AREA
CHILD CARE SERVICE: 175 CHILDREN
HEALTH CARE SERVICE: 4100m² GROSS USABLE FLOOR AREA
RESTAURANT - LICENSED: 2800m² GROSS USABLE AREA
RESTAURANT - FOOD SERVICE ONLY: 2800m² GROSS USABLE AREA
NOTE: ALL RESTAURANTS ON SITE TO BE MAX OF 50% PUBLIC AREA

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-07425 22 07 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

LAND USE BYLAW PARKING CALCULATIONS

BUILDING NAME & GROSS FLOOR AREA	USE & GROSS USABLE AREA	REQUIRED STALL CALCULATIONS	REQUIRED STALLS
BLDG 1 GROSS FLOOR AREA 1,867.35 APPROX. 200 STUDENTS	CHILD CARE SERVICE - 348 STUDENTS	1/10 STUDENTS	36
		STAFF	5
BLDG 2 GROSS FLOOR AREA 444.62 m ²	UNIT 1 - RESTAURANT LICENSED - 208.5m ² PUBLIC AREA 208.5/2=104.27	PUBLIC AREA 104.27 /10x2.85 = 29.7	29.7
BLDG 3 GROSS FLOOR AREA 873.29m ²	UNIT 2 - RESTAURANT LICENSED - 222.7m ² PUBLIC AREA 222.7/50%=111.38	PUBLIC AREA 111.38/10x2.85 = 31.7	31.7
BLDG 4 GROSS FLOOR AREA 241.37m ²	SUPERMARKET- 858.9m ²	858.9/26/100x4 =34.3	34.3
BLDG 5 GROSS FLOOR AREA 532.39m ²	CRU - RETAIL - 234.9	234.9/100x4 =9.4	9.4
	CRU1 - RETAIL AND CONSUMER SERVICE - 92.7	92.7/100x4 =3.7	3.7
	CRU2 - RETAIL AND CONSUMER SERVICE - 137.2	137.2/100x4 = 5.4	5.4
BLDG 6 GROSS FLOOR AREA 688.18m ²	UNIT 3- RESTAURANT LICENSED - 150.17m ² PUBLIC AREA 150.17X50%=75	PUBLIC AREA 75/10x2.85 = 21.3	21.3
	UNIT 4- RESTAURANT LICENSED - 133.7m ² PUBLIC AREA 133.7X50%=66.8	PUBLIC AREA 66.8/10x2.85 = 19	19.0
	UNIT 1 - HEALTH CARE SERVICES- 153m ²	153/100x4 =6.1	6.1
	UNIT 2 - HEALTH CARE SERVICES- 178.7m ²	178.7/100x4=7.1	7.1
	UNIT 3 - HEALTH CARE SERVICES- 178.7m ²	178.7/100x4=7.1	7.1
	UNIT 4 - HEALTH CARE SERVICES- 162.6m ²	162.6/100x4=6.5	6.5
TOTAL REQUIRED STALLS		243	
TOTAL PROVIDED STALLS		178 (RELAXATION OF 65 STALLS REQUIRED)	
BARRIER FREE STALLS PROVIDED		10	

LAND USE BYLAW PARKING CALCULATIONS

REQUIRED 1 STALL/ 250m ² CLASS 2 BICYCLE STALLS (4647.7/250=18.5)	20 BICYCLE STALLS PROVIDED "CLASS 2"
--	--------------------------------------

LAND USE BYLAW LOADING STALL CALCULATIONS

BYLAW - DIVISION 6 - 123(5) (a) :1 LOADING STALLS PER 9300m ² OF GROSS FLOOR AREA ON A PARCEL MIN. WIDTH OF 3.1m AND MIN. DEPTH OF 9.2m; TOTAL GROSS FLOOR AREA ON SITE= 4,488.4m ² REQUIRED 1 LOADING STALL	PROVIDED 2 LOADING STALLS
--	---------------------------

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No.	Date	Description
1	2025.12.05	ISSUED FOR DEVELOPMENT PERMIT
2	2026.03.08	ISSUED FOR DTR
3	2026.06.09	ISSUED FOR DR2
4	2026.07.15	ISSUED FOR DR2 (REVISED)

SEAL

NOT FOR CONSTRUCTION

CLIENT NAME:



PROJECT:

Vermilion Hill
Commercial

NW 1/4 36-22-02-W5M

CONSULTANTS:

SHEET TITLE:

PROJECT INFO

DATE: JUNE 2026
SCALE: 1:1
DRAWN BY: TPEG
PROJECT No: 25.10.03

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Vancouver, BC
Canada V6C 2G8

DRAWING No:

DP010



12 NIGHT RENDERING
DP020 NTS



8 PEDESTRIAN SITE ENTRANCE RENDERING
DP020 NTS



4 BUILDING 2 RENDERING
DP020 NTS



11 NW SITE CORNER RENDERING
DP020 NTS



7 BUILDING 6 RENDERING
DP020 NTS



3 BUILDING 1 RENDERING
DP020 NTS



10 SOUTH SITE ENTRANCE RENDERING
DP020 NTS



6 BUILDING 5 RENDERING
DP020 NTS



2 SW OVERHEAD PROJECT RENDERING
DP020 NTS



9 SE SITE CORNER RENDERING
DP020 NTS



5 BUILDING 3/4 RENDERING
DP020 NTS



1 NE OVERHEAD PROJECT RENDERING
DP020 NTS

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1	2025.12.05	ISSUED FOR DEVELOPMENT PERMIT
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3	2026.06.09	ISSUED FOR DR2
4	2026.07.15	ISSUED FOR DR2 (REVISED)

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP0205-07425 22.07.2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

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CLIENT NAME:



PROJECT:

Vermilion Hill
Commercial

NW 1/4 36-22-02-W5M

CONSULTANTS:

SHEET TITLE:

PROJECT
RENDERINGS

DATE: JUNE 2026

SCALE:

DRAWN BY: TPIEG

PROJECT No: 25.10.03

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1 403.225.8448
2 403.225.8449
3 251.101.101 Ave NE
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Canada T2C 1W7
☐ VANCOUVER
1 604.687.3395
2 604.687.3396
3 180.386 Burrard St.
Vancouver, BC
Canada V6C 2B8

DRAWING No:

DP020

2026-07-15 3:49:38 PM

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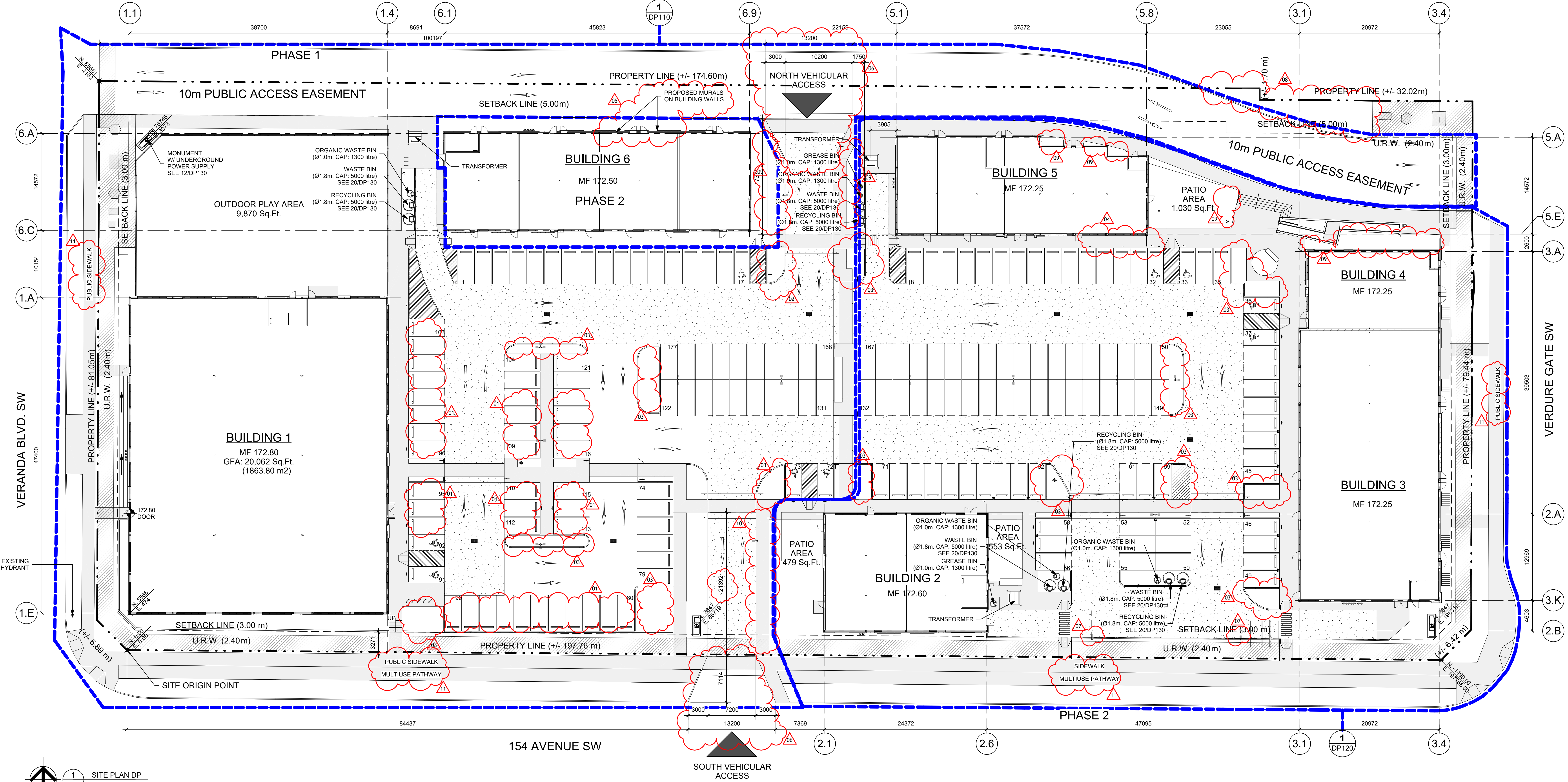
DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS
DP No. DP2025-07425
Date Received 22/07/2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

Gross Leasable Area (Including wall thickness)			Net Leasable Area (Not including wall thickness)		
	Sq. M.	Sq. Ft.		Sq. Ft.	Sq. M.
Building 1			Building 1		
Daycare (Boma Standard)	19758 m²	1835.6 m²	Daycare	19294 ft²	1792.5 m²
Mechanical Room	266 m²	24.7 m²	Mechanical Room (Boma Standard)	228 ft²	21.2 m²
	20024 m²	1860.3 m²		19522 ft²	1813.7 m²
Building 2			Building 2		
Unit 1 (Boma Standard)	2380 m²	221.1 m²	Unit 1	2228 ft²	207.0 m²
Unit 2 (Boma Standard)	2174 m²	202.0 m²	Unit 2	2027 ft²	188.3 m²
Mechanical Room	204 m²	18.9 m²	Mechanical Room (Boma Standard)	177 ft²	16.5 m²
	4758 m²	442.1 m²	Unit 1 patio (West)	497 ft²	46.2 m²
Building 3&4			Unit 2 Patio (East)	535 ft²	49.7 m²
Supermarket (Boma Standard)	9252 m²	859.5 m²		5465 ft²	507.7 m²
Mechanical Room	162 m²	15.1 m²	Building 3&4		
CRU (Boma Standard)	2555 m²	237.3 m²	Supermarket	8882 ft²	825.2 m²
Water Room	50 m²	4.6 m²	Mechanical Room (Boma Standard)	126 ft²	11.7 m²
	12019 m²	1116.6 m²	CRU	2383 ft²	221.4 m²
Building 5			Water Room (Boma Standard)	31 ft²	2.9 m²
Unit 1 (Boma Standard)	991 m²	92.0 m²		11422 ft²	1061.2 m²
Unit 2 (Boma Standard)	1474 m²	136.9 m²	Building 5		
Unit 3 (Boma Standard)	3092 m²	284.5 m²	Unit 1	887 ft²	82.4 m²
Mechanical Room	137 m²	12.7 m²	Unit 2	1382 ft²	128.4 m²
Water Room	71 m²	6.6 m²	Unit 3	2869 ft²	266.6 m²
	5734 m²	532.7 m²	Mechanical Room (Boma Standard)	116 ft²	10.7 m²
Building 6			Water Room	47 ft²	4.3 m²
Unit 1 (Boma Standard)	1639 m²	152.3 m²	Unit 3 Patio	954 ft²	88.6 m²
Unit 2 (Boma Standard)	1924 m²	178.7 m²		6254 ft²	581.0 m²
Unit 3 (Boma Standard)	1528 m²	142.1 m²	Building 6		
Unit 4 (Boma Standard)	1749 m²	162.5 m²	Unit 1	1527 ft²	141.9 m²
Mechanical Room	171 m²	15.9 m²	Unit 2	1815 ft²	168.6 m²
	7411 m²	688.5 m²	Unit 3	1815 ft²	168.6 m²
			Unit 4	1615 ft²	150.1 m²
			Mechanical Room (Boma Standard)	139 ft²	12.9 m²
				6912 ft²	642.1 m²

SITE LEGEND	
[Symbol]	PHASE 1
[Symbol]	PHASE 2
[Symbol]	PHASE CALLOUT
[Symbol]	PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	UTILITY RIGHT OF WAY
[Symbol]	NEW PROTECTION BOLLARD
[Symbol]	NEW CONCRETE PAVING, BROOM BRUSH FINISH. CUT PATTERN TO MATCH & ALIGN WITH ADJACENT CITY SIDEWALKS. INSTALL INSULATION UNDER SIDEWALKS AS REQUIRED BY THE CITY OF CALGARY STANDARDS.
[Symbol]	HEAVY DUTY ASPHALT DESIGN TO SUPPORT 38,556 kg / 85,000 lbs
[Symbol]	DROP OFF/UP PARKING

- GENERAL SITE NOTES
- ALL EXISTING LIGHT STANDARDS & POWER POLES TO REMAIN U.N.O.
 - NO CHANGES TO SITE DRAINAGE. ALL EXISTING MANHOLES AND CATCH BASINS TO REMAIN. REFER TO CIVIL.
 - REFER TO LANDSCAPE DRAWINGS FOR TREE & SHRUB INFORMATION.
 - ALL EXISTING CURBS (T.O.C.S.O.C.) TO REMAIN AS IS UNLESS NOTED OTHERWISE.
 - ALL EXISTING TRAFFIC AND PEDESTRIAN SIGNS TO REMAIN ALL EXISTING PEDESTRIAN CROSSWALKS TO REMAIN.
 - CHANGES TO SIDEWALK & OTHER AREAS OUTSIDE OF THE PROPERTY LINE FOR CITY OF CALGARY MAIN STREET IMPROVEMENT PLAN ARE INCLUDED FOR REFERENCE ONLY. THESE ITEMS INCLUDING, BUT NOT LIMITED TO: NEW SIDEWALKS, PLANTER, TREE GRATES, ETC. ARE NOT IN PROJECT SCOPE.
 - ALL SITE GRADES TO BE COORDINATED WITH MAIN STREET IMPROVEMENT SIDEWALK GRADES.
 - CITY MAIN STREET IMPROVEMENT TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE WILL BE REPAIRED OR RECONSTRUCTED AS PART OF THIS REDEVELOPMENT PROJECT.
 - GC TO COORDINATE ANY CONCRETE WORK TAKING PLACE OUTSIDE OF THE PROPERTY LINE WITH THE CITY OF CALGARY.
 - ALL PARKING STALL SURFACE MATERIAL TO BE ASPHALT U.N.O. REFER TO CIVIL / GEOTECHNICAL.
 - ALL NORTH (N) AND EAST (E) ARBITRARY COORDINATES ARE BASED ON THE SITE ORIGIN POINT (N. 0.00 / E. 0.00) AND MUST BE COORDINATED WITH CIVIL DRAWINGS.



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1	2025.12.05 ISSUED FOR DEVELOPMENT PERMIT
2	2026.03.08 ISSUED FOR DTR
3	2026.06.09 ISSUED FOR DR2
4	2026.07.15 ISSUED FOR DR2 (REVISED)

NOT FOR CONSTRUCTION

CLIENT NAME:
Trico Communities

PROJECT:
Vermilion Hill Commercial

NW 1/4 36-22-02-W5M

SHEET TITLE:
SITE PLAN

DATE: JUNE 2026
SCALE: As Indicated
DRAWN BY: TPEG
PROJECT No: 25.10.03

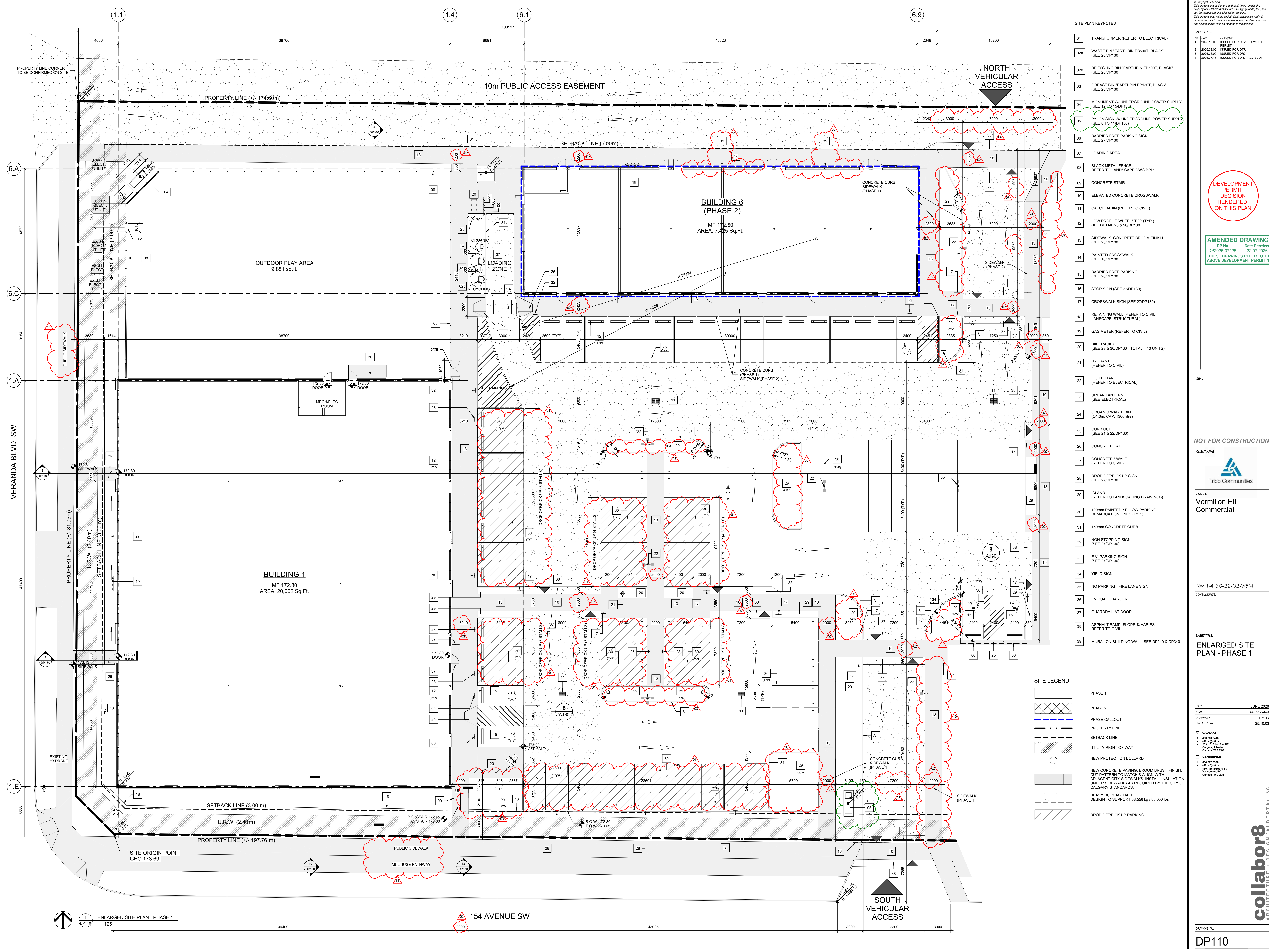
CALGARY
1 403.235.8448
• offered@collabor8.ca
• 301, 100 10th Ave NE
Calgary, Alberta
Canada T2E 1W7

VANCOUVER
1 604.687.3395
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Vancouver, BC
Canada V6C 2B8

DRAWING No:
DP100

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4	2026.07.15	ISSUED FOR DR2 (REVISED)

DEVELOPMENT
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DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No. Date Received
DP2025-07425 22.07.2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

NOT FOR CONSTRUCTION

CLIENT NAME:
Trico Communities

PROJECT:
Vermilion Hill
Commercial

NW 1/4 36-22-02-W5M

CONSULTANTS:

SHEET TITLE:
ENLARGED SITE
PLAN - PHASE 1

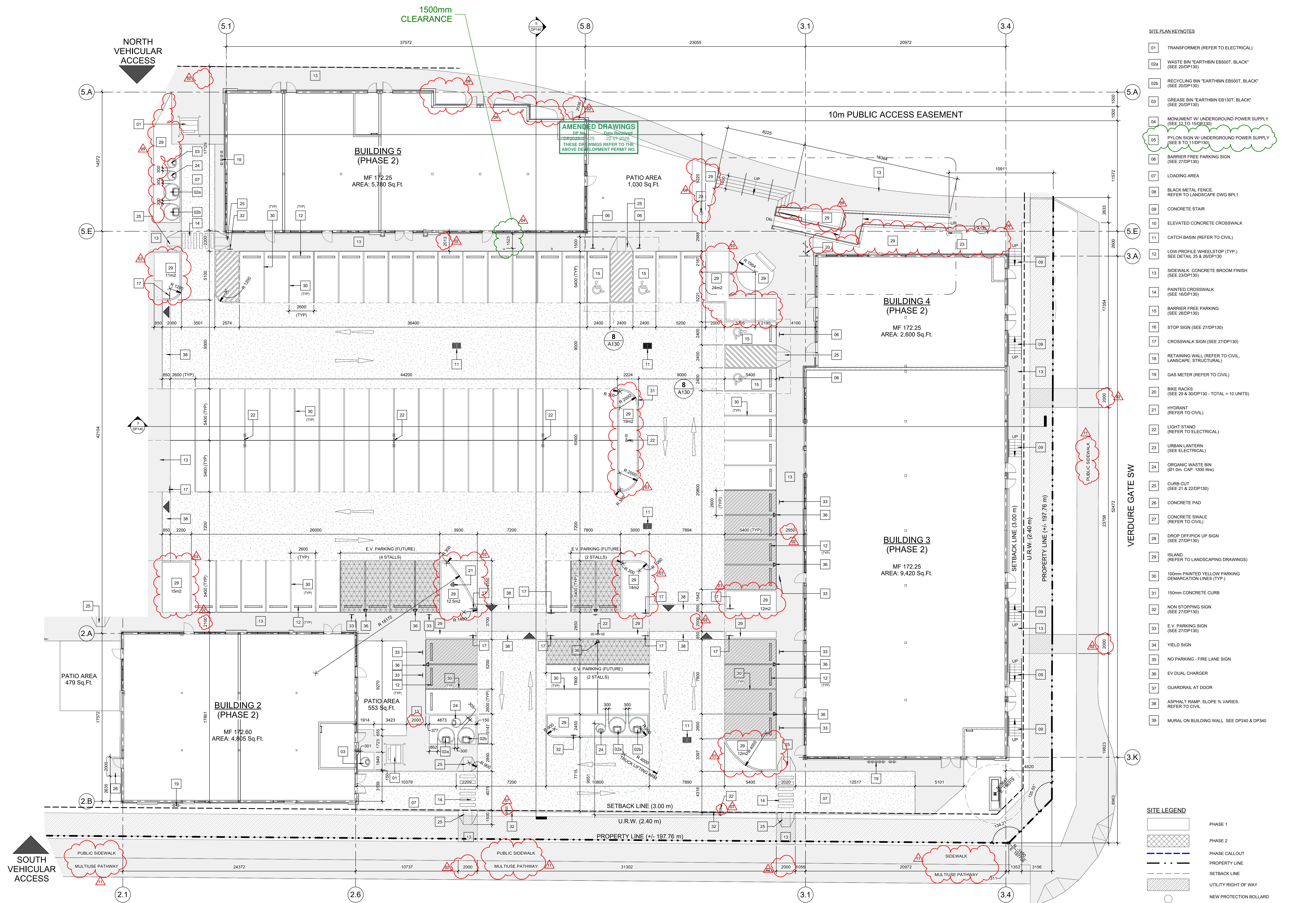
DATE: JUNE 2026
SCALE: As indicated
DRAWN BY: TPEG
PROJECT No: 25.10.03

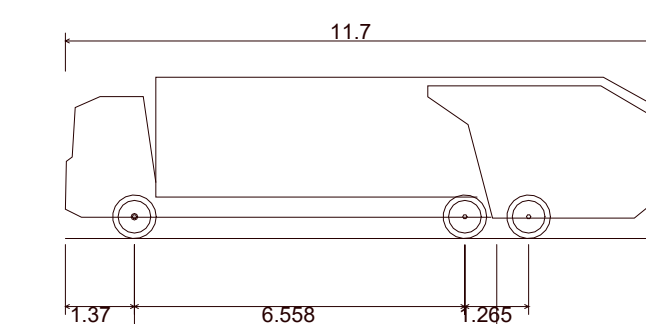
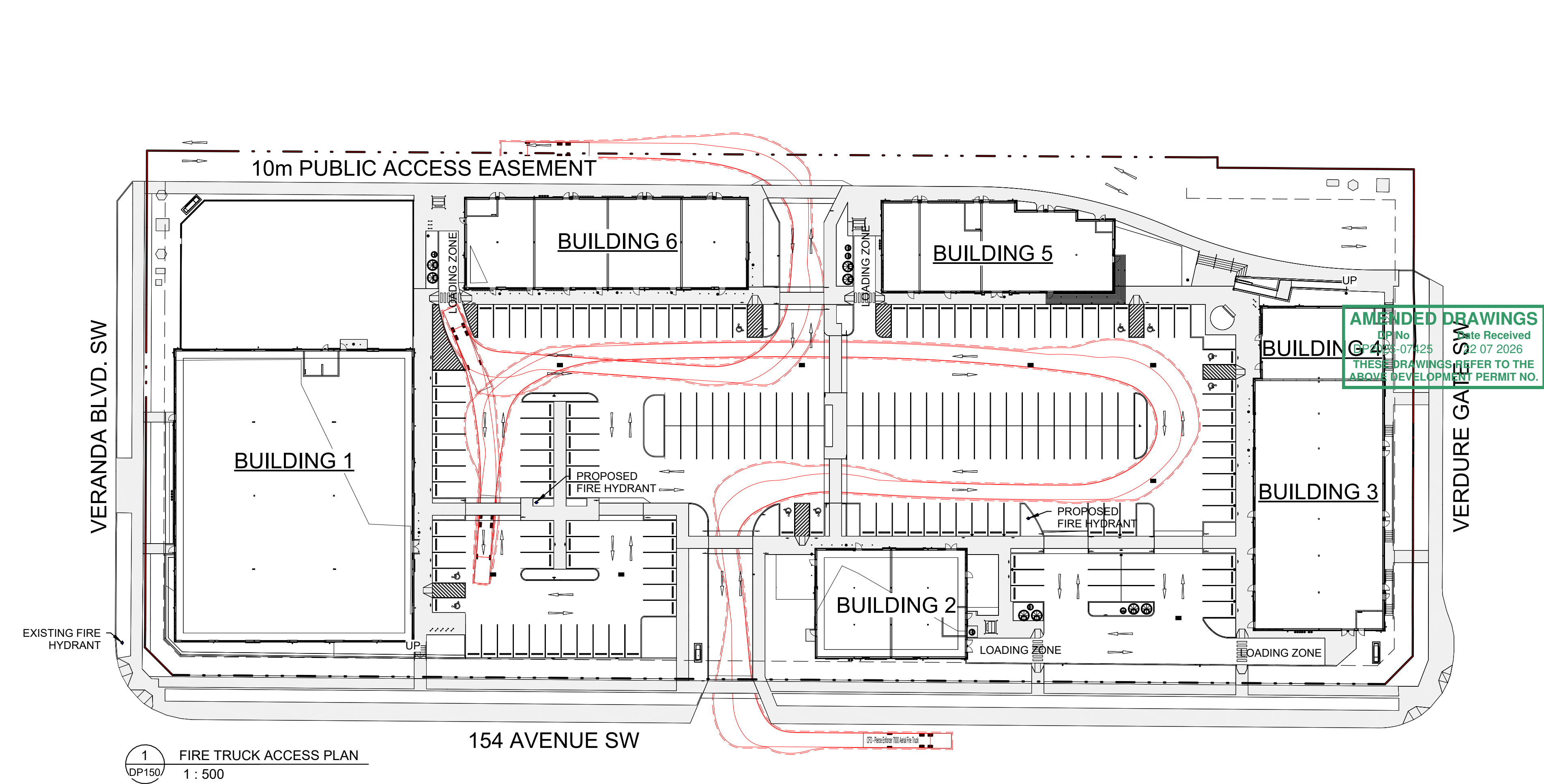
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Vancouver, BC
Canada V6C 2G8

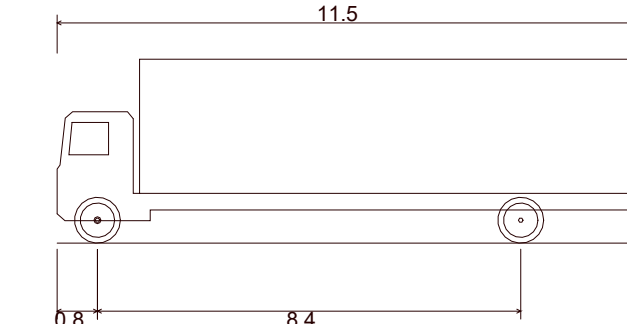
collabor8
ARCHITECTURE + DESIGN (ALBERTA) INC.

DRAWING No:
DP110

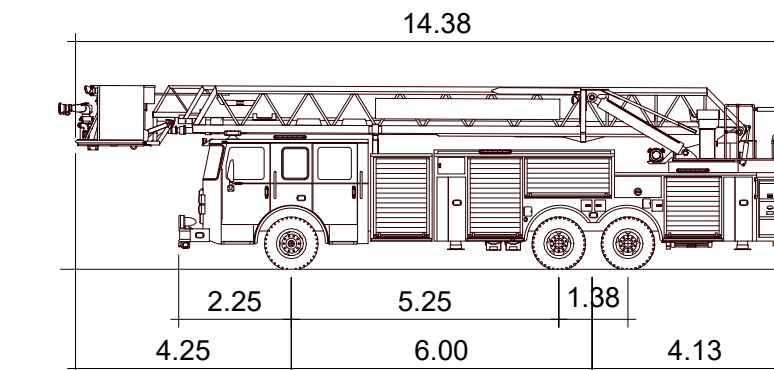




Molok Refuse Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Wall to Wall Turning Radius

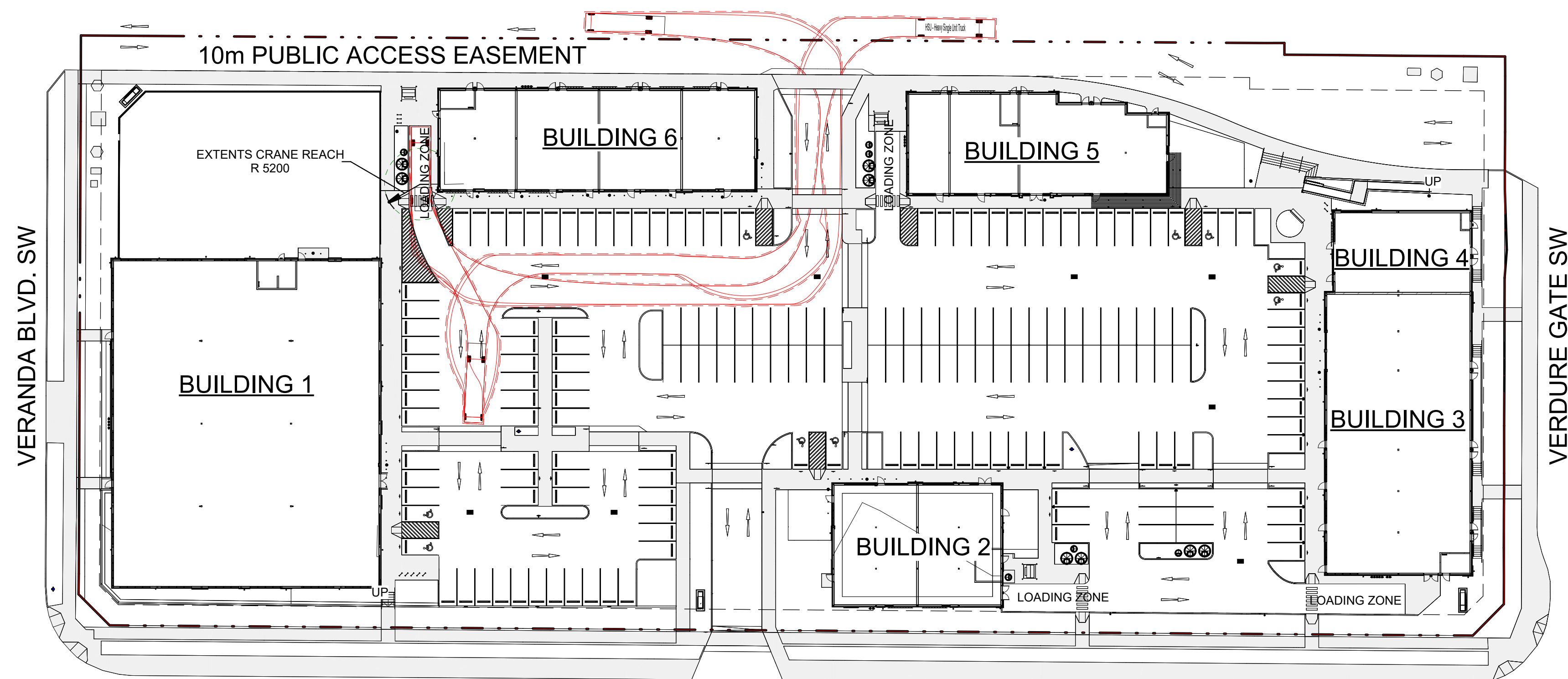


HSU - Heavy Single Unit Truck
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Curb to Curb Turning Radius

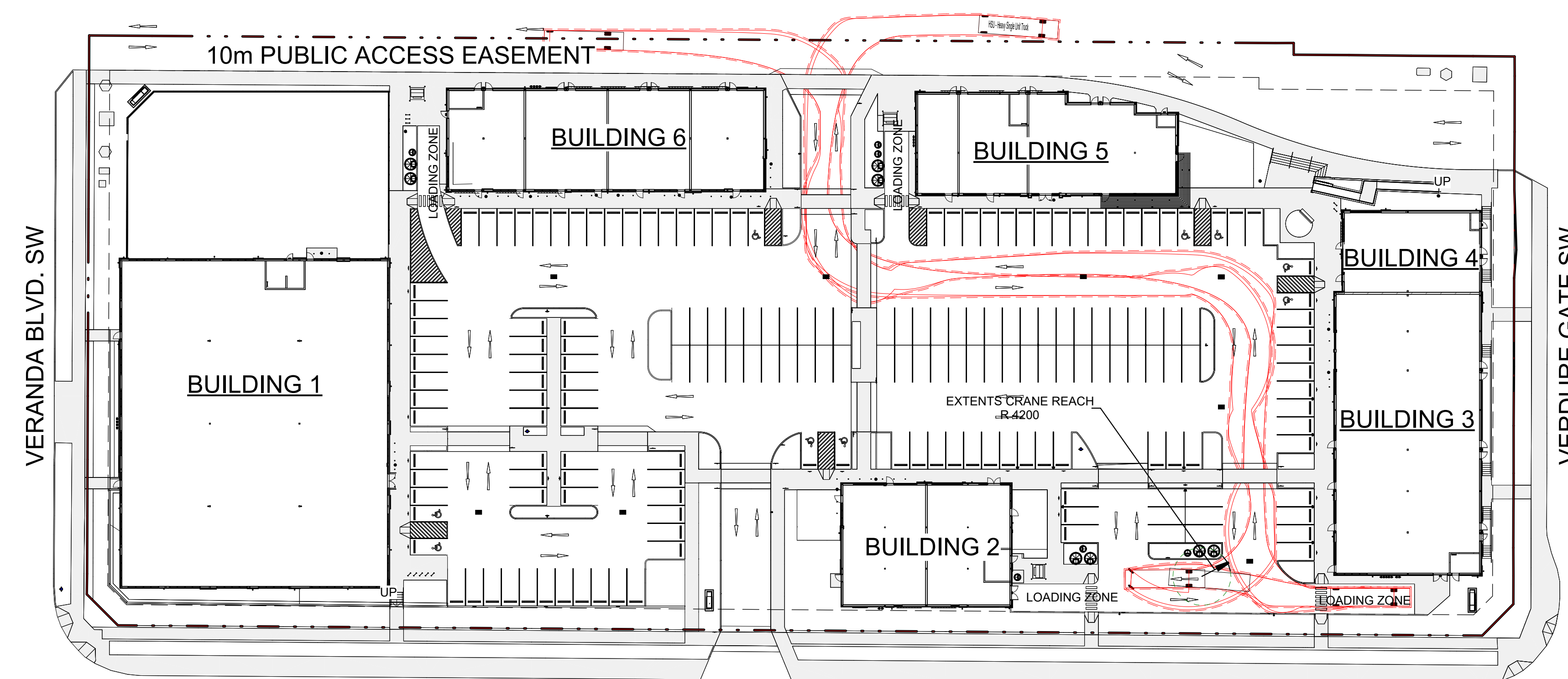


CFD - PIERCE ENFORCER 7000 AERIAL FIRE TRUCK
OVERALL LENGTH
OVERALL WIDTH
OVERALL BODY HEIGHT
MIN BODY GROUND CLEARANCE
TRACK WIDTH
LOCK-TO-LOCK TIME
MAC STEERING ANGLE (VIRTUAL)

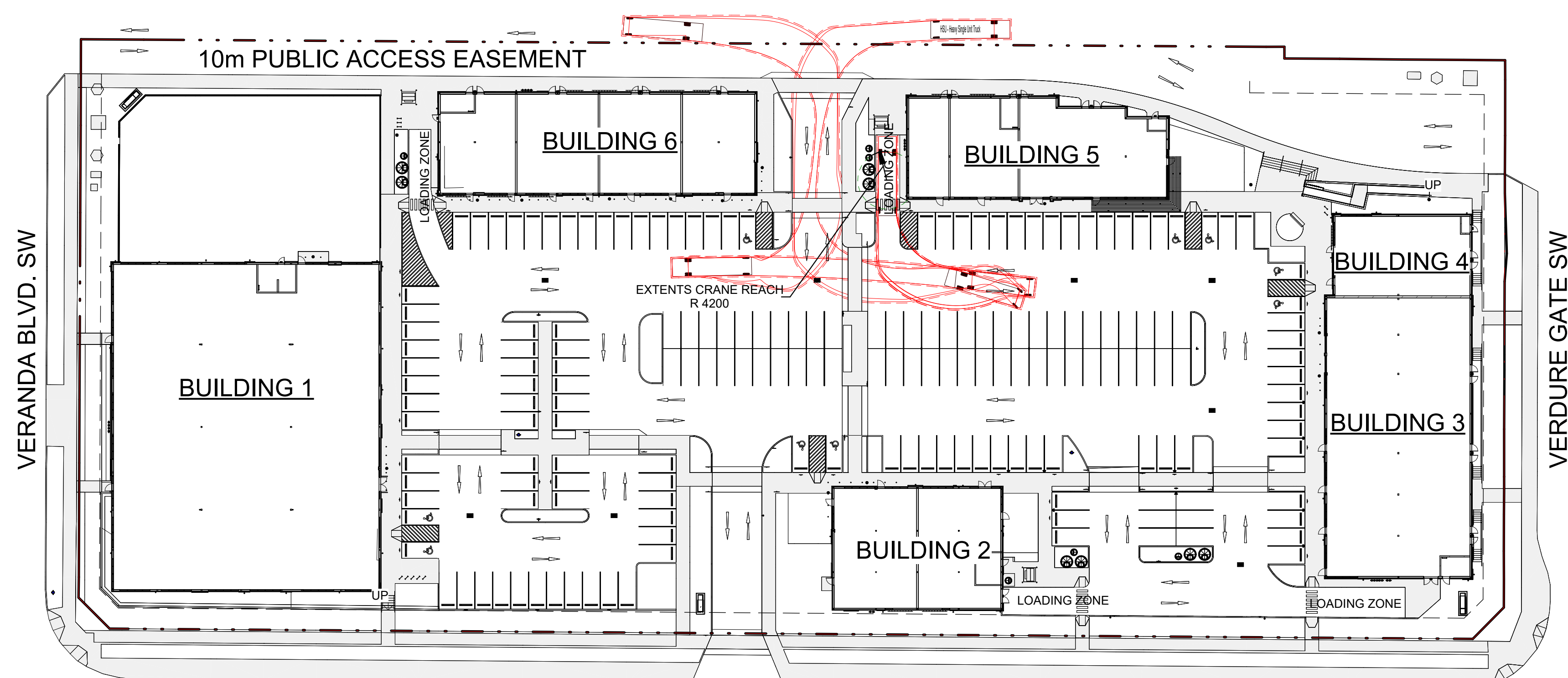
1 FIRE TRUCK ACCESS PLAN
1 : 500



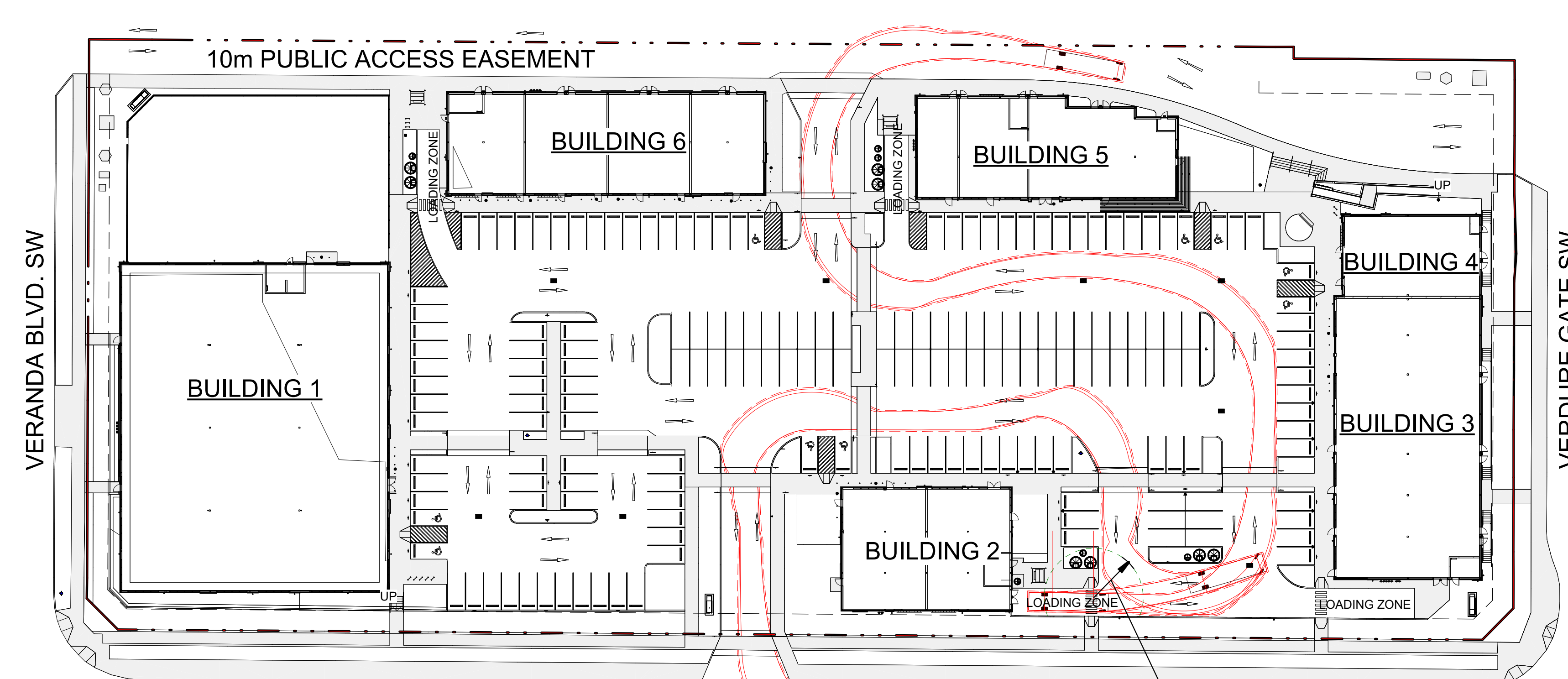
2 LOADING/WASTE TRUCK ACCESS PLAN 1
1 : 500



4 LOADING/WASTE TRUCK ACCESS PLAN 3
1 : 500



3 LOADING/WASTE TRUCK ACCESS PLAN 2
1 : 500



5 LOADING/WASTE TRUCK ACCESS PLAN 4
1 : 500

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3	2026.06.09	ISSUED FOR DR2
4	2026.07.15	ISSUED FOR DR2 (REVISED)

SEAL

NOT FOR CONSTRUCTION

CLIENT NAME:



PROJECT:

Vermilion Hill Commercial

NW 1/4 36-22-02-W5M

CONSULTANTS:

SHEET TITLE:

TRUCK ACCESS PLANS

DATE	JUNE 2026
SCALE	As indicated
DRAWN BY	TPI/EG
PROJECT No.	25.10.03

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☐ VANCOUVER

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- 188, 385 Burrard St.
- Vancouver, BC
- Canada V6C 2B8

DRAWING No:

DP150

AMENDED DRAWINGS

DP No Date Received
DP2025-07425 22 07 2026
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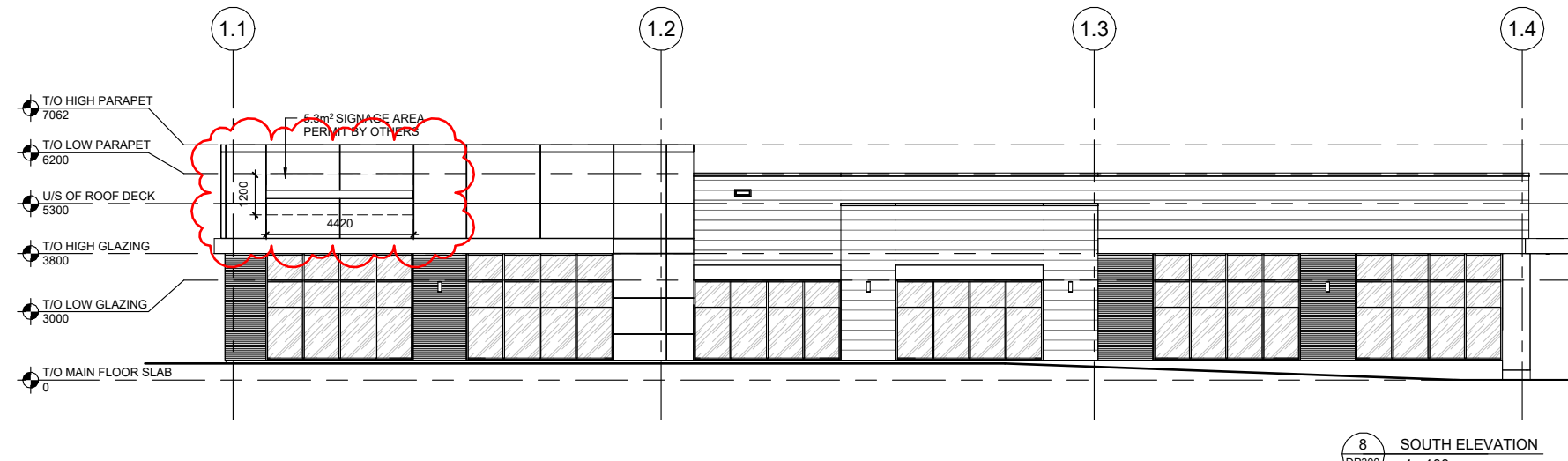
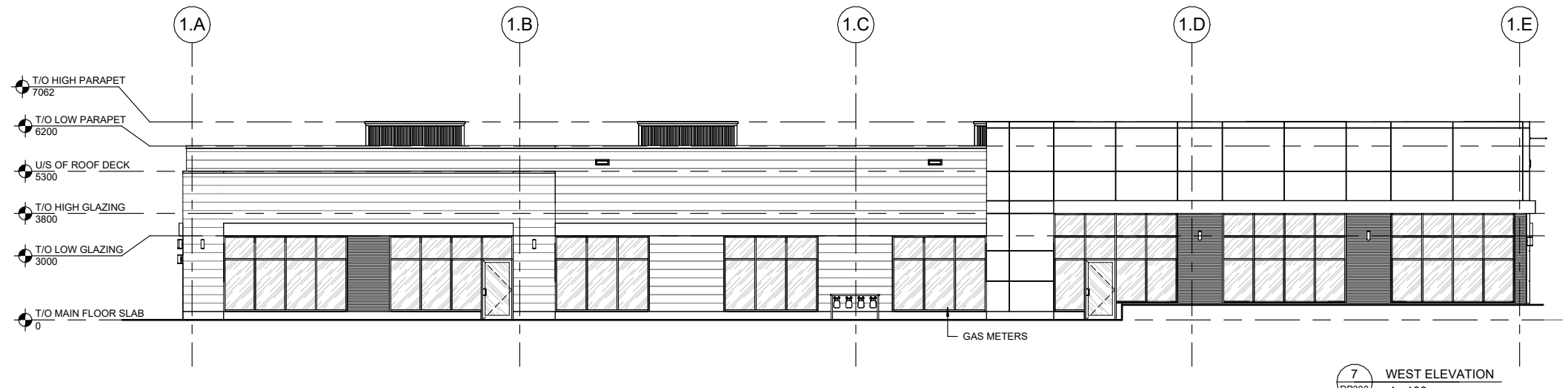
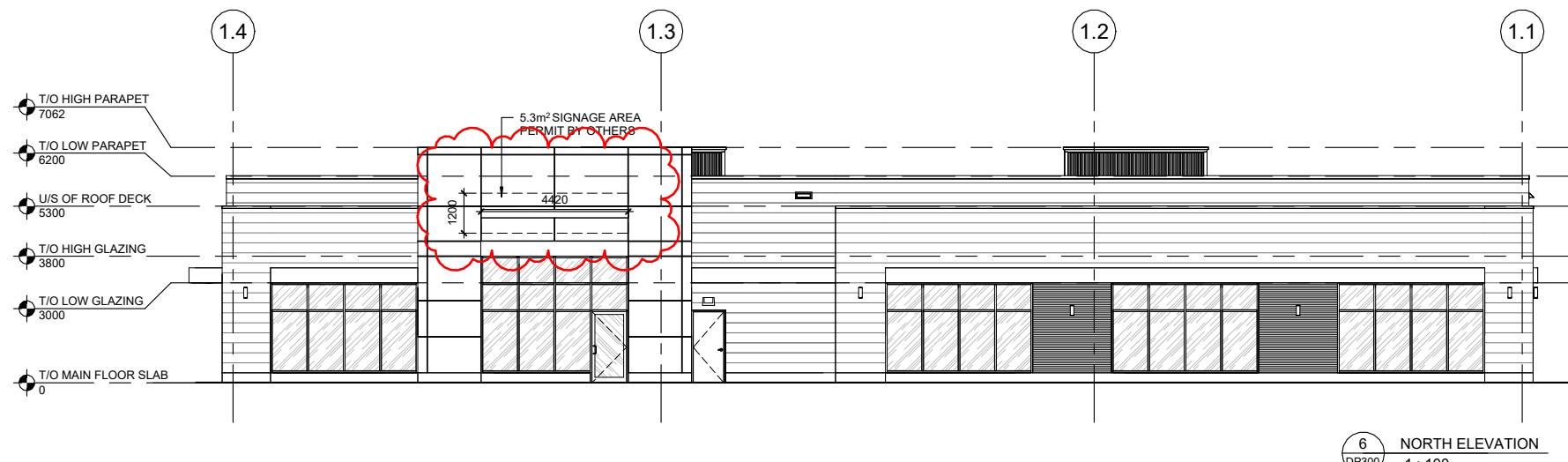
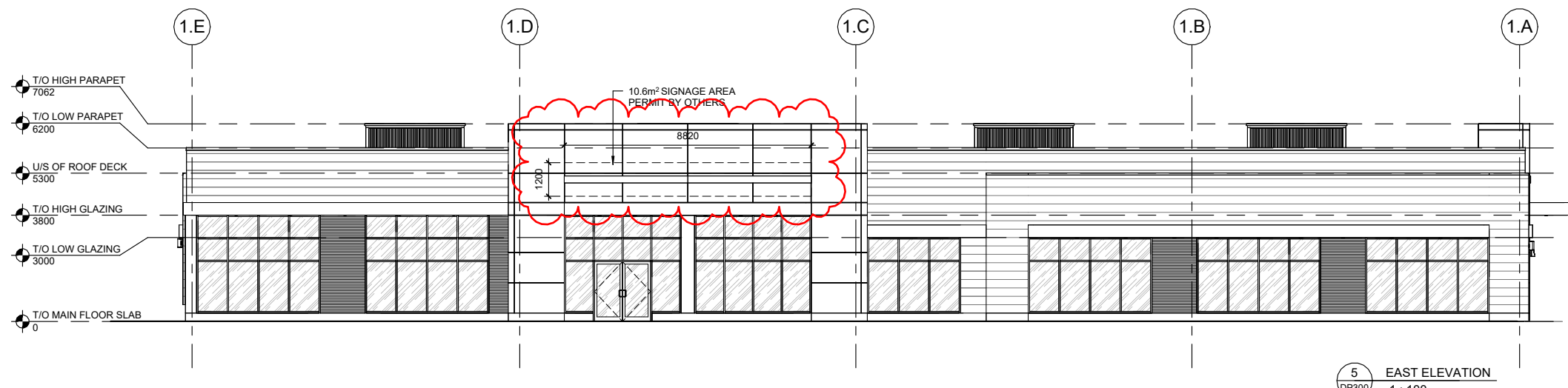
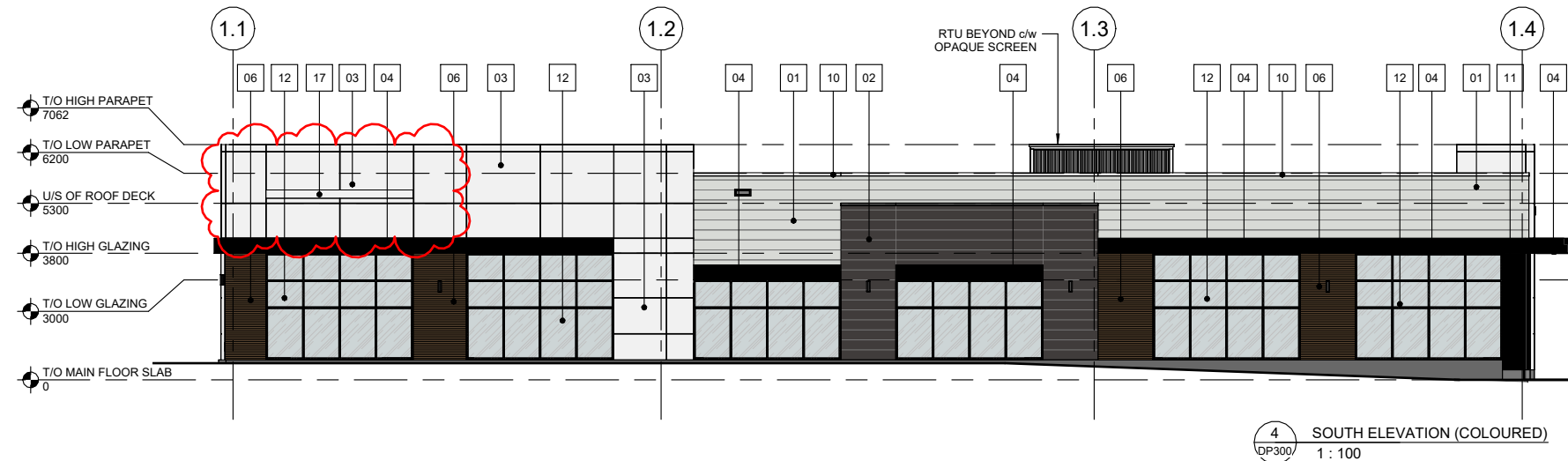
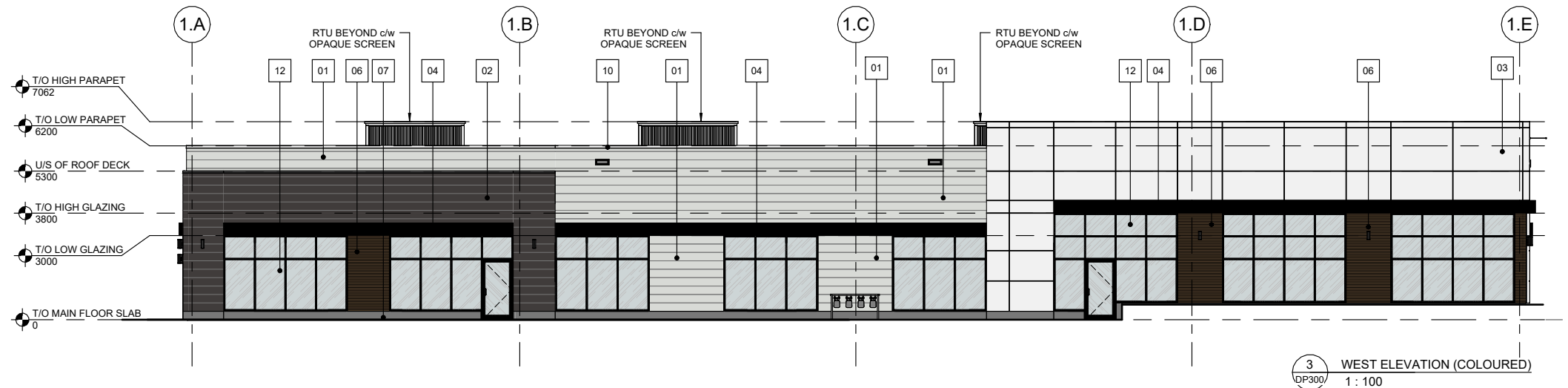
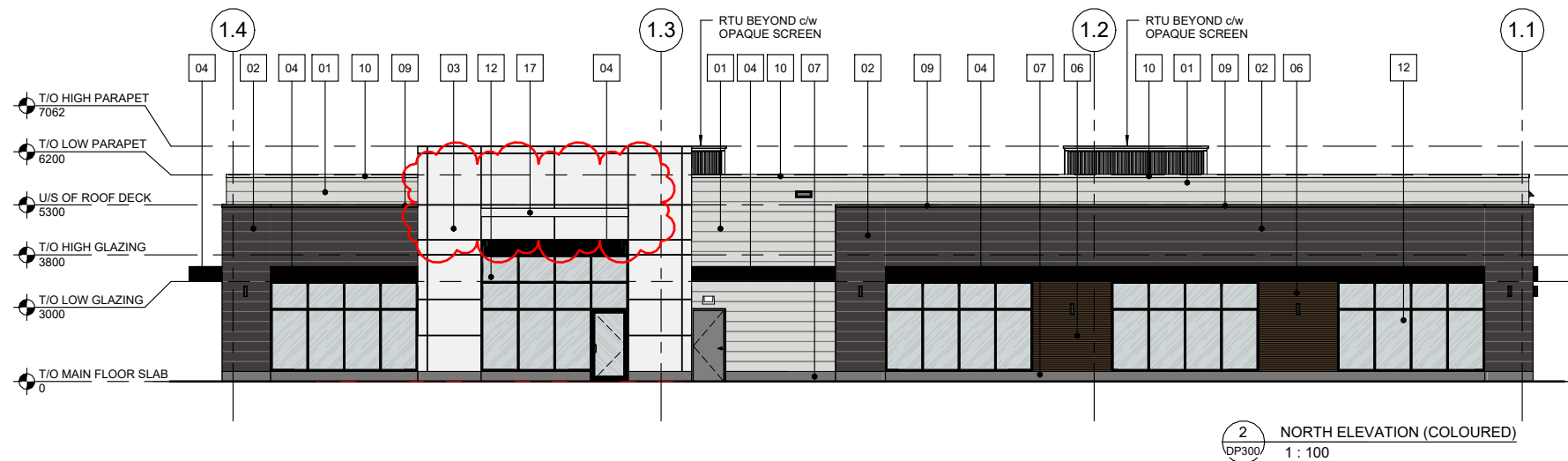
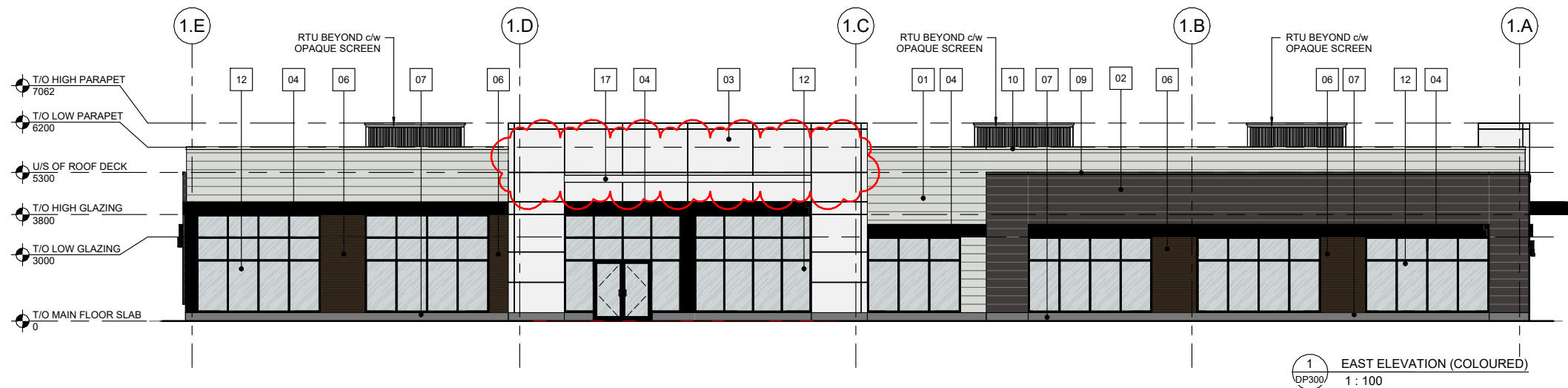
DEVELOPMENT
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DECISION
RENDERED
ON THIS PLAN

MATERIAL LEGEND

- | | |
|----|---|
| 01 | CERACLAD FH7272A ELEMENTS "ASHLAR SLATE" |
| 02 | CERACLAD FH7272A ELEMENTS "BLACKEN STEEL" |
| 03 | ACM 4mm ALPOLIC "BNT WHITE STOCK" WITH REVEALS |
| 04 | ACM 4mm ALPOLIC "TOB BLACK" WITH REVEALS |
| 05 | ACM 4mm ALPOLIC "MATTE SLATE BLACK" WITH REVEALS |
| 06 | LONGBOARD LINK & LOCK "LIGHT NATIONAL WALNUT" WITH BLACK BACKGROUND |
| 07 | PRE-CAST CONCRETE BASE |
| 08 | CONCRETE FACED INSULATED PANELS |
| 09 | CAP FLASHING VICWEST CHARCOAL 16072 |
| 10 | CAP FLASHING VICWEST CAMBRIDGE WHITE 16161 |
| 11 | FLASHING BRAKESHAPE VICWEST BLACK 16068 |
| 12 | STOREFRONT GLAZING SYSTEM, BLACK ALUMINUM WITH CLEAR GLASS |
| 13 | SOLID DOOR, SHERWIN WILLIAMS SW 7005 PURE WHITE |
| 14 | STEEL CANOPY SW 6993 BLACK OF NIGHT |
| 16 | N/A |
| 17 | TENANT SIGN MOUNTING PLATE. |

NOTE:

PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL.



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ISSUED FOR:		
No.	Date	Description
1	2025.12.05	ISSUED FOR DEVELOPMENT PERMIT
2	2026.03.08	ISSUED FOR DTR
3	2026.06.09	ISSUED FOR DR2
4	2026.07.15	ISSUED FOR DR2 (REVISED)

SEAL

NOT FOR CONSTRUCTION

CLIENT NAME:



PROJECT:

Vermilion Hill
Commercial
Building 1

NW 1/4 36-22-02-W5M

CONSULTANTS:

SHEET TITLE:

BUILDING 1
ELEVATIONS

DATE: MARCH 2026

SCALE: As indicated

DRAWN BY: TPI/EG

PROJECT No: 25.10.03

- ☒ CALGARY
- 403.232.8448
 - offices@collabor8.ca
 - 101, 105, 109, 110 Ave NE
 - Calgary, Alberta
 - Canada T2C 1P7
- ☐ VANCOUVER
- 604.687.3390
 - offices@collabor8.ca
 - 180, 380 Burrard St.
 - Vancouver, BC
 - Canada V6C 2B8

DRAWING No:

DP300

ISSUED FOR:		
No.	Date	Description
1	2025.12.05	ISSUED FOR DEVELOPMENT PERMIT
2	2026.03.06	ISSUED FOR DTR
3	2026.06.09	ISSUED FOR DR2
4	2026.07.15	ISSUED FOR DR2 (REVISED)

MATERIAL LEGEND

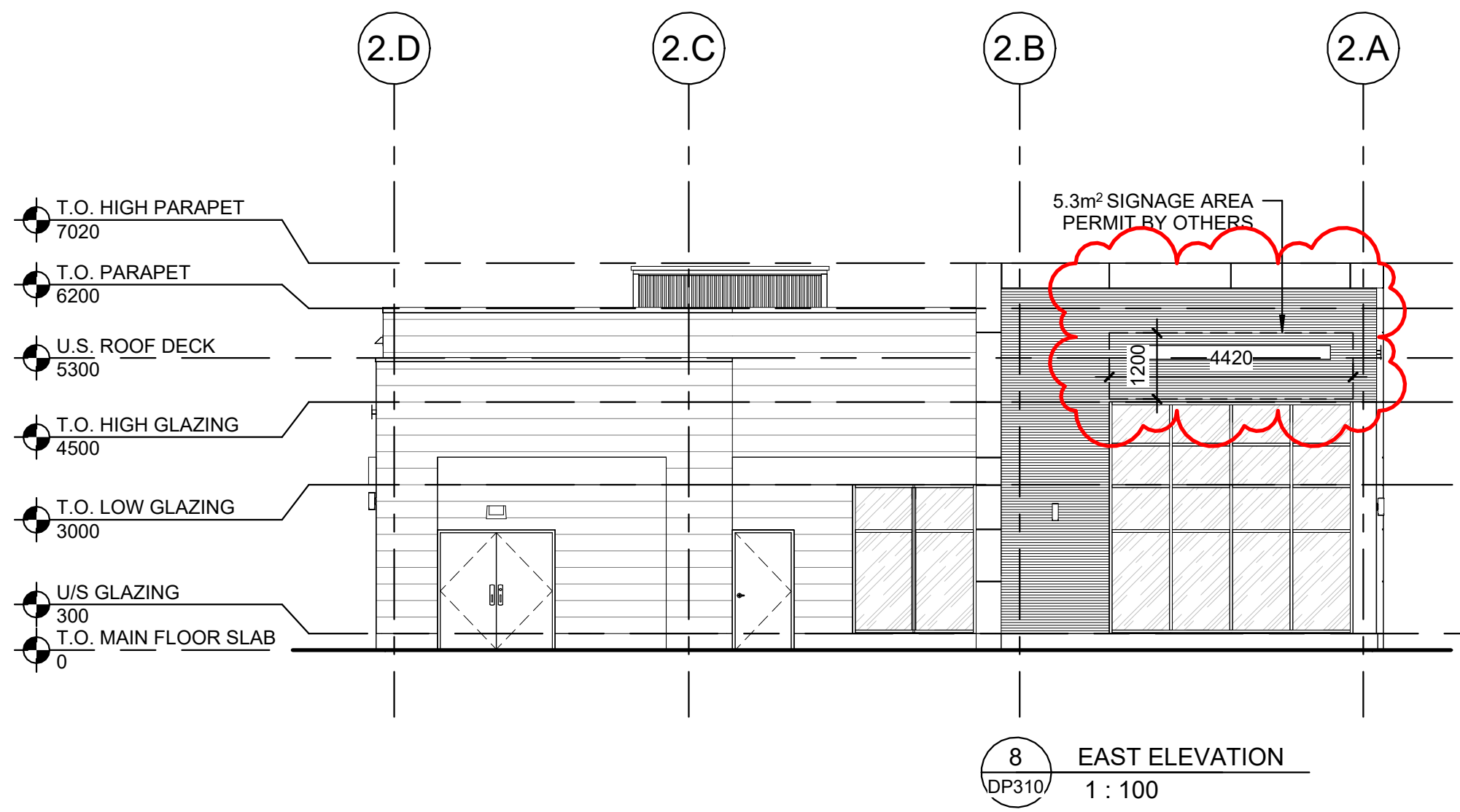
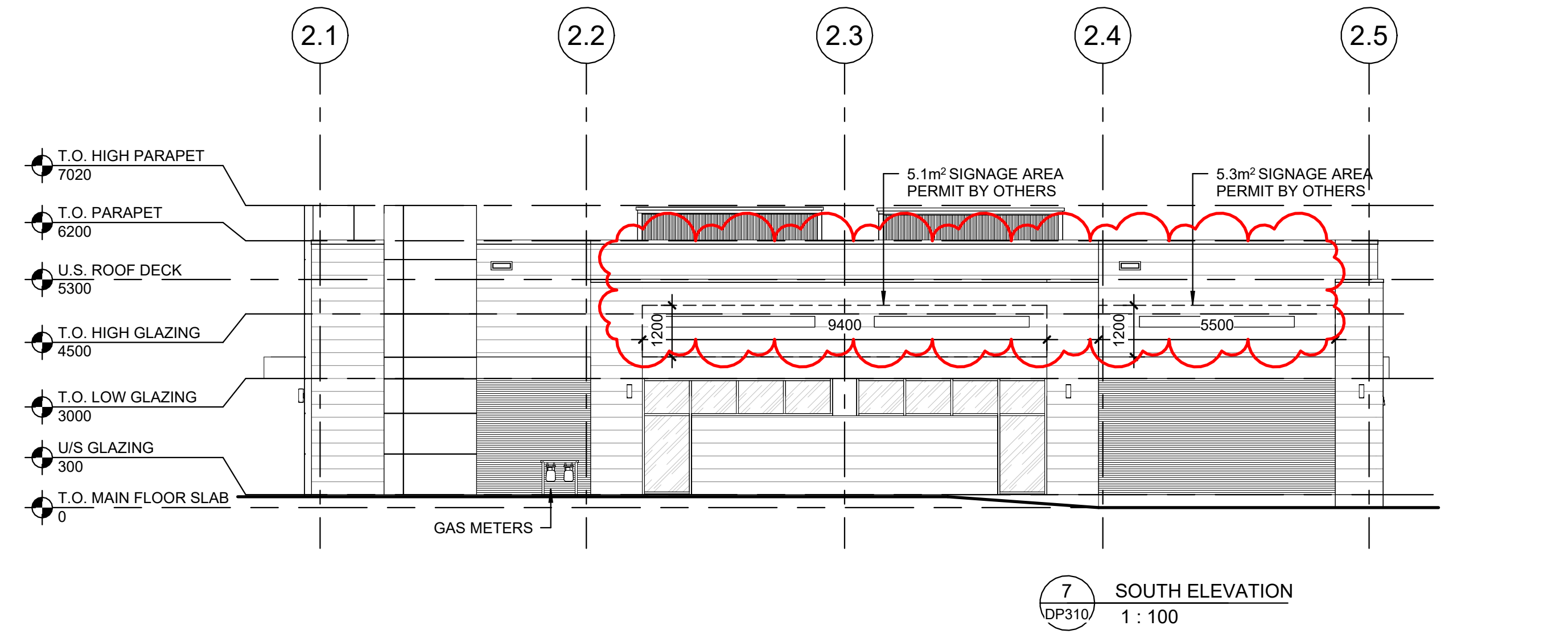
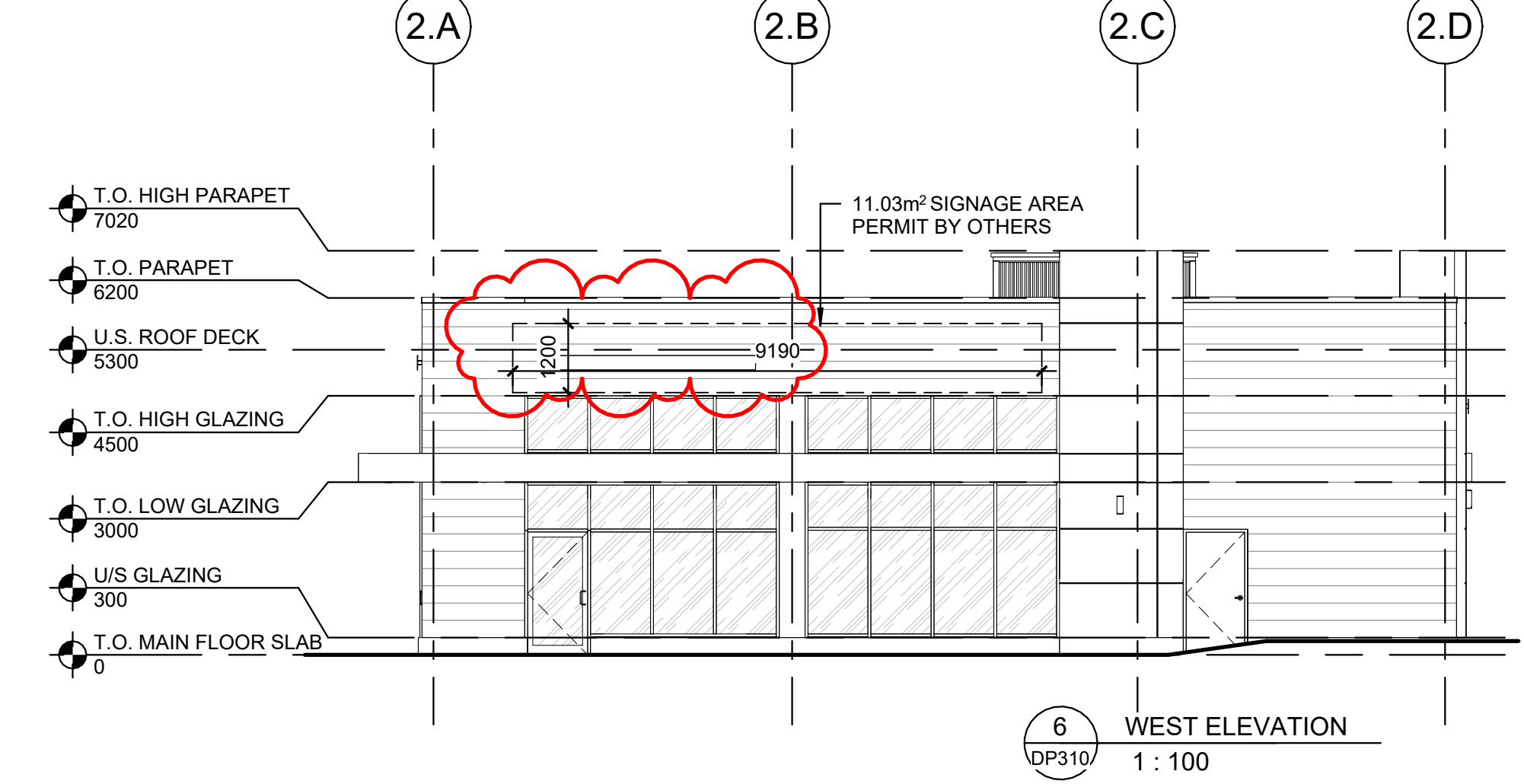
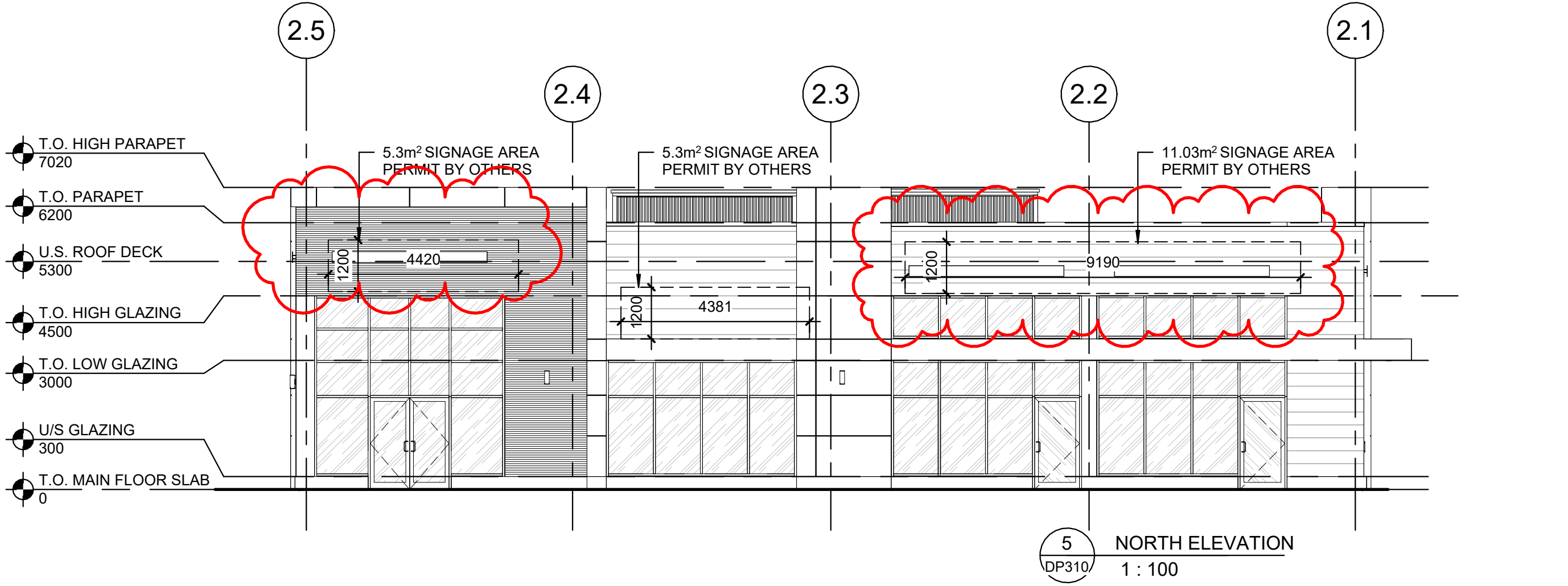
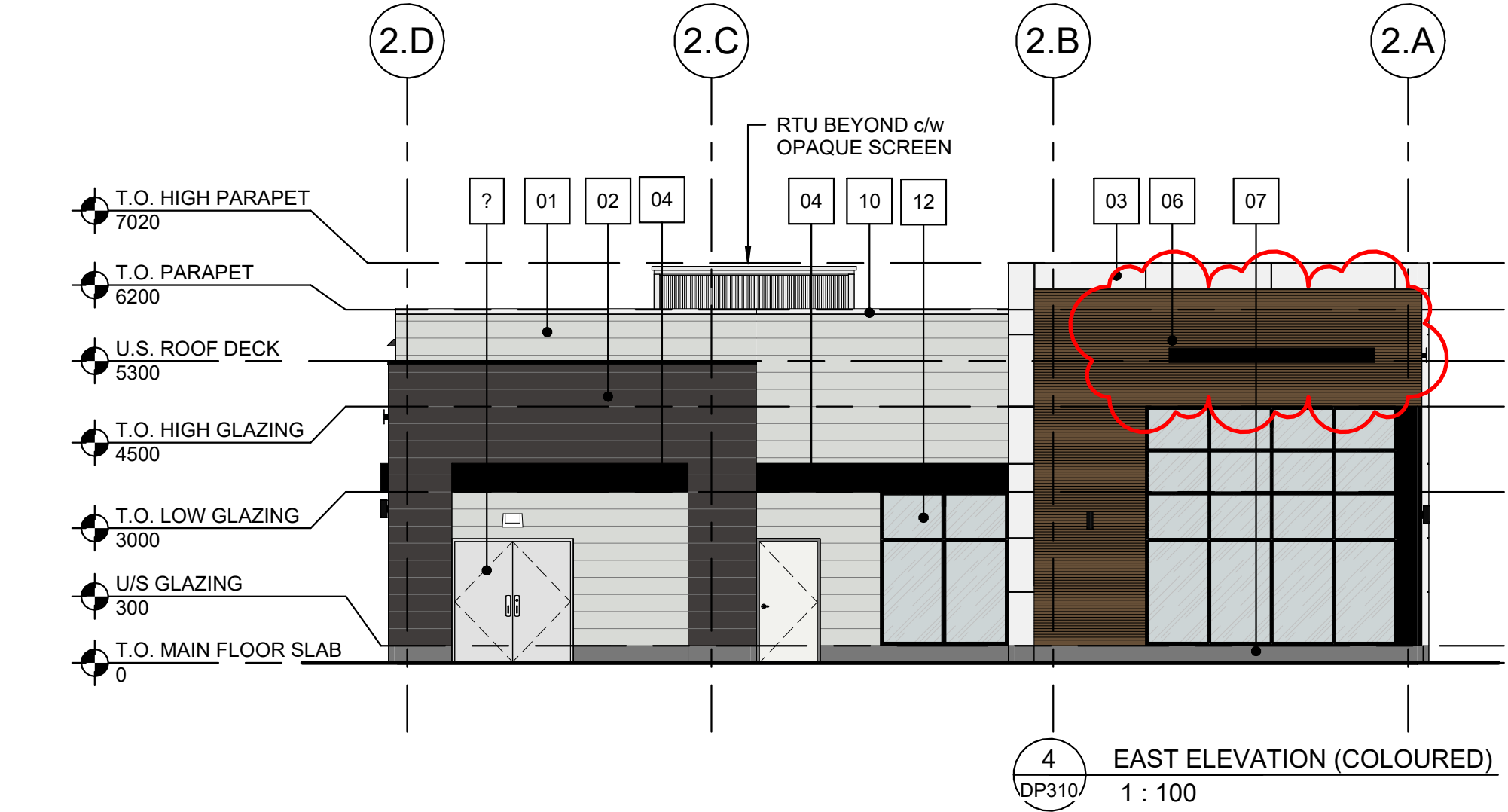
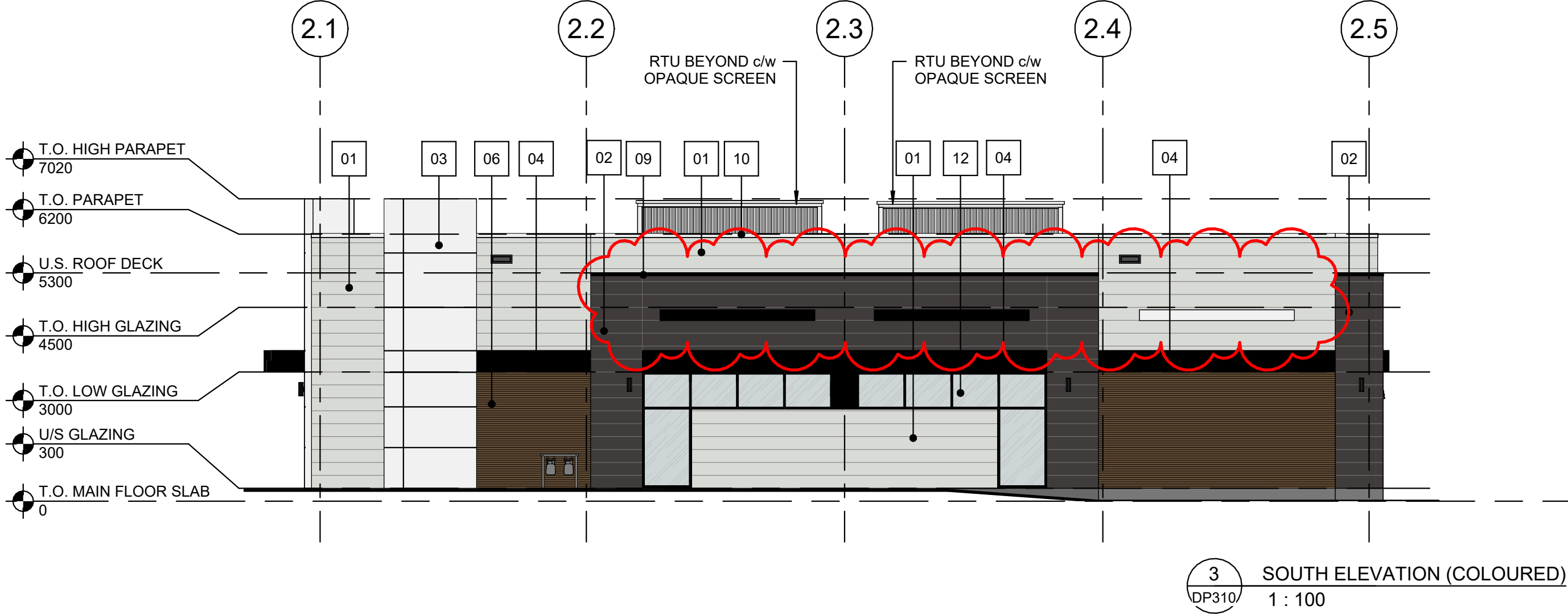
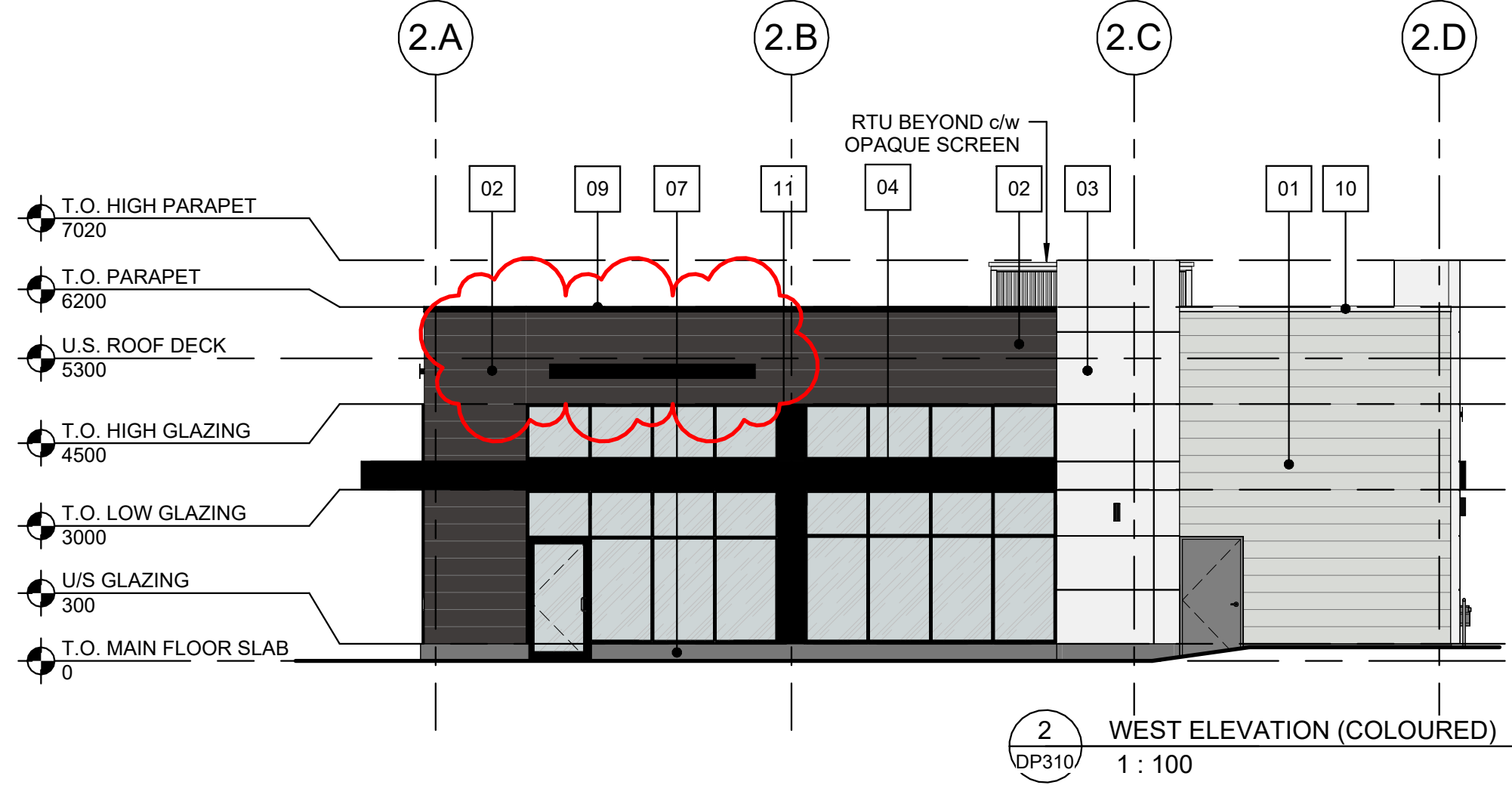
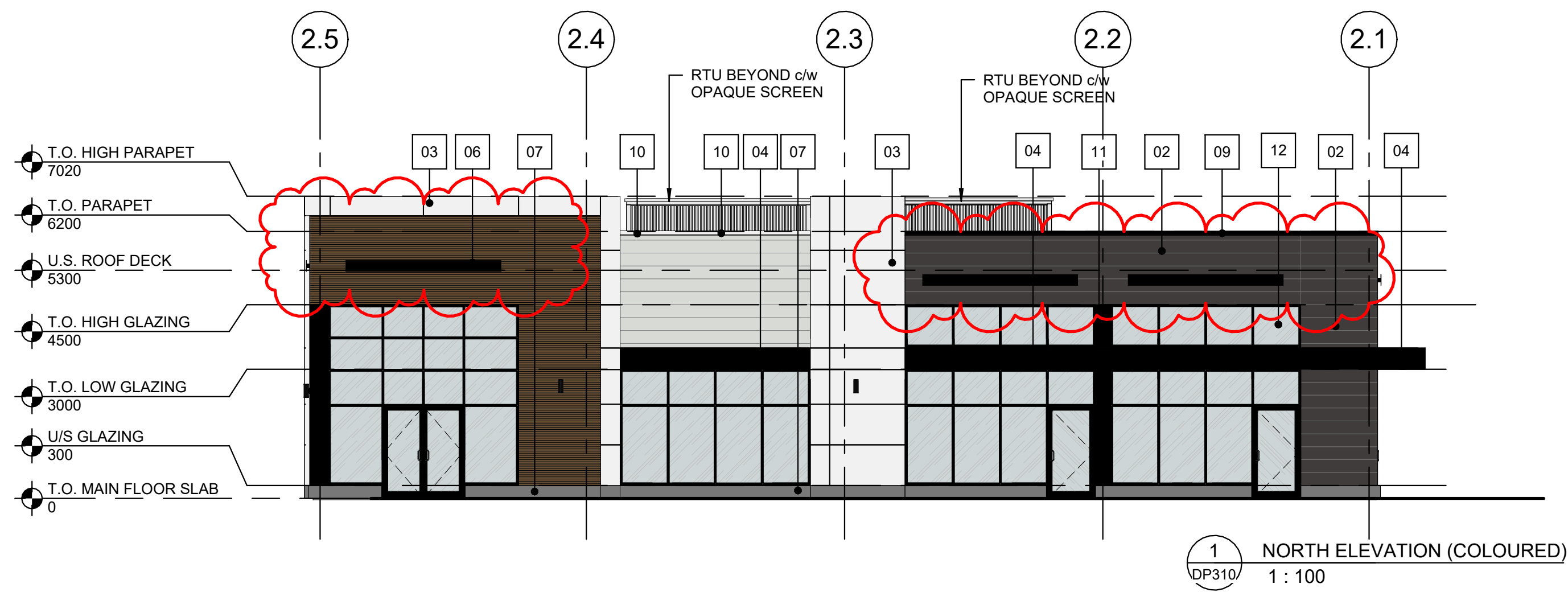
01	CERACLAD FH7272A ELEMENTS "ASHLAR SLATE"	10	CAP FLASHING VICWEST CAMBRIDGE WHITE 16161
02	CERACLAD FH7275A ELEMENTS "BLACKEN STEEL"	11	FLASHING BRAKESHAPE VICWEST BLACK 16068
03	ACM 4mm ALPOLIC "BNT WHITE STOCK" WITH REVEALS	12	STOREFRONT GLAZING SYSTEM, BLACK ALUMINUM WITH CLEAR GLASS
04	ACM 4mm ALPOLIC "TOB BLACK" WITH REVEALS	13	SOLID DOOR, SHERWIN WILLIAMS SW 7005 PURE WHITE
05	ACM 4mm ALPOLIC "MATTE SLATE BLACK" WITH REVEALS	14	STEEL CANOPY SW 6993 BLACK OF NIGHT
06	LONGBOARD LINK & LOCK "LIGHT NATIONAL WALNUT" WITH BLACK BACKGROUND	15	SCUPPER, REFER TO TYPICAL DETAILS
07	PRE-CAST CONCRETE BASE	16	N/A
08	CONCRETE FACED INSULATED PANELS	17	TENANT SIGN MOUNTING PLATE, REFER TO TYPICAL DETAILS & STRUCTURAL. PRIME & PAINT WHITE OR BLACK, REFER TO ELEVATIONS FOR COLOUR.
09	CAP FLASHING VICWEST CHARCOAL 16072		

NOTE:

PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL.

AMENDED DRAWINGS
DP No. DP2025-07425
Date Received 22.07.2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



SEAL

NOT FOR CONSTRUCTION

CLIENT NAME:



PROJECT:

Vermilion Hill
Commercial
Building 2

NW 1/4 36-22-02-W5M

CONSULTANTS:

SHEET TITLE:

BUILDING 2
ELEVATIONS

DATE: MAR 2026
SCALE: As indicated
DRAWN BY: TPIEG
PROJECT No: 25.10.03

CALGARY

400.233.8448
100.100.100 Ave NE
Calgary, Alberta
Canada T2C 1W7

VANCOUVER

604.687.2300
100.100.100 Ave NE
Vancouver, BC
Canada V6C 2B8

DRAWING No:

DP310

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

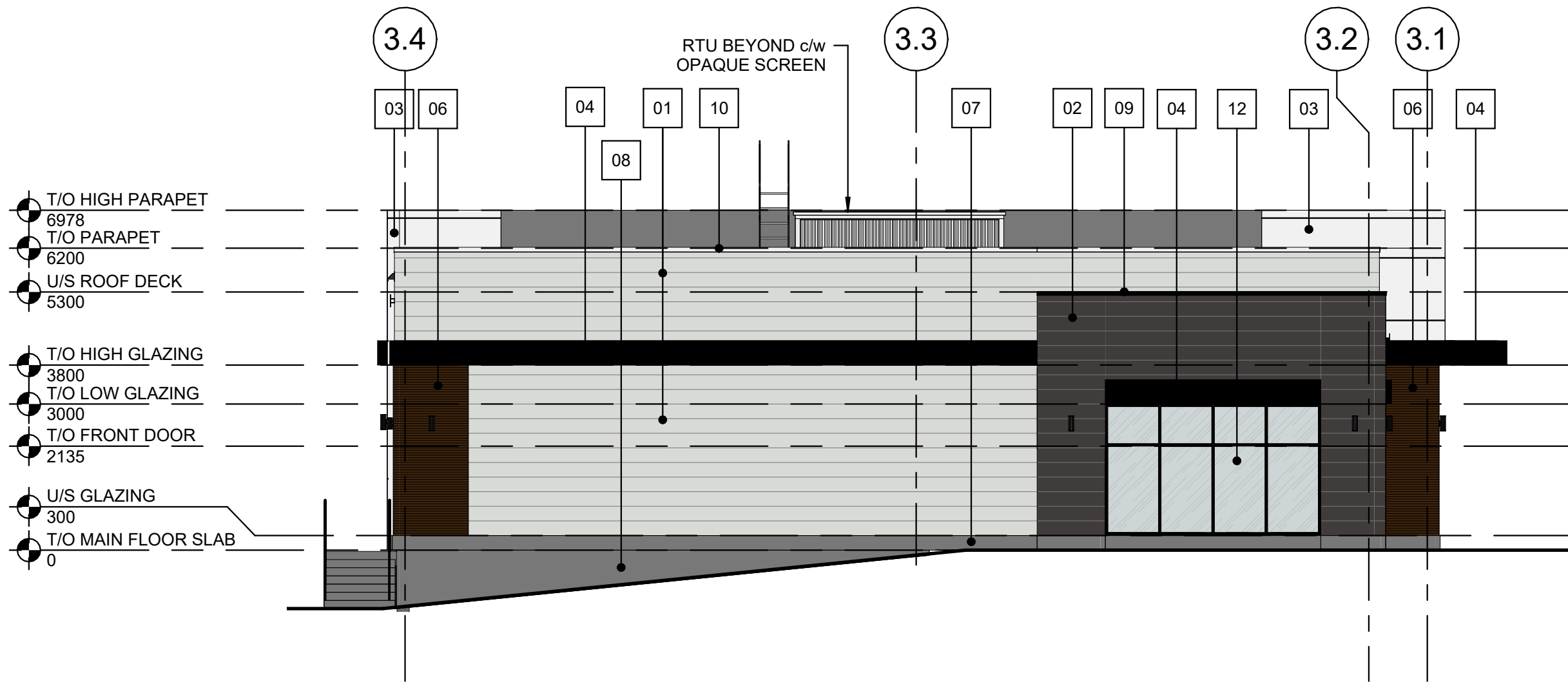
AMENDED DRAWINGS
DP No. DP2025-07425
Date Received 22.07.2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

MATERIAL LEGEND

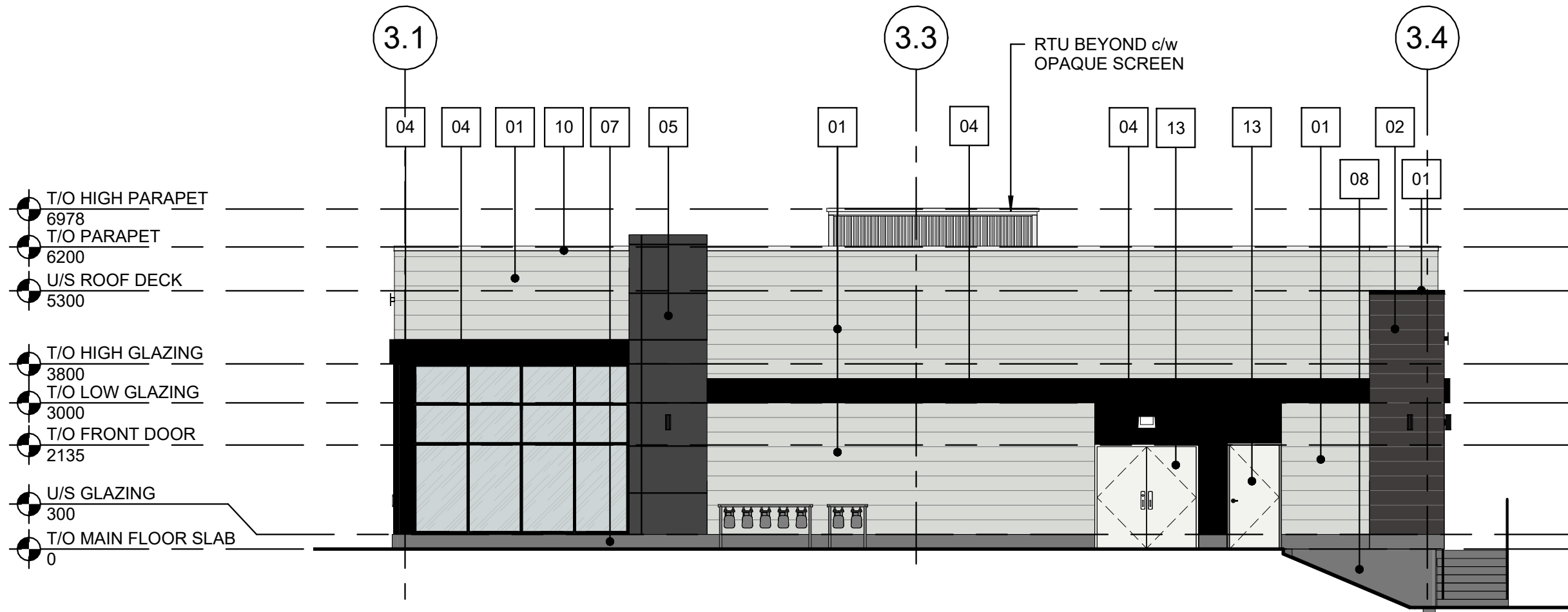
- | | |
|----|--|
| 01 | CERACLAD FH7272A ELEMENTS "ASHLAR SLATE" |
| 02 | CERACLAD FH7275A ELEMENTS "BLACKEN STEEL" |
| 03 | ACM 4mm ALPOLIC "BNT WHITE STOCK" WITH REVEALS |
| 04 | ACM 4mm ALPOLIC "TOB BLACK" WITH REVEALS |
| 05 | ACM 4mm ALPOLIC "MATTE SLATE BLACK" WITH REVEALS |
| 06 | LONGBOARD LINK & LOCK "LIGHT NATIONAL WALNUT" WITH BLACK BACKGROUND |
| 07 | PRE-CAST CONCRETE BASE |
| 08 | CONCRETE FACED INSULATED PANELS |
| 09 | CAP FLASHING VICWEST CHARCOAL 16072 |
| 10 | CAP FLASHING VICWEST CAMBRIDGE WHITE 16161 |
| 11 | FLASHING BRAKESHAPE VICWEST BLACK 16068 |
| 12 | STOREFRONT GLAZING SYSTEM, BLACK ALUMINUM WITH CLEAR GLASS |
| 13 | SOLID DOOR, SHERWIN WILLIAMS SW 7005 PURE WHITE |
| 14 | STEEL CANOPY SW 6993 BLACK OF NIGHT |
| 15 | SCUPPER: REFER TO TYPICAL DETAILS |
| 16 | N/A |
| 17 | TENANT SIGN MOUNTING PLATE: REFER TO TYPICAL DETAILS & STRUCTURAL. PRIME & PAINT WHITE OR BLACK, REFER TO ELEVATIONS FOR COLOUR. |

NOTE:

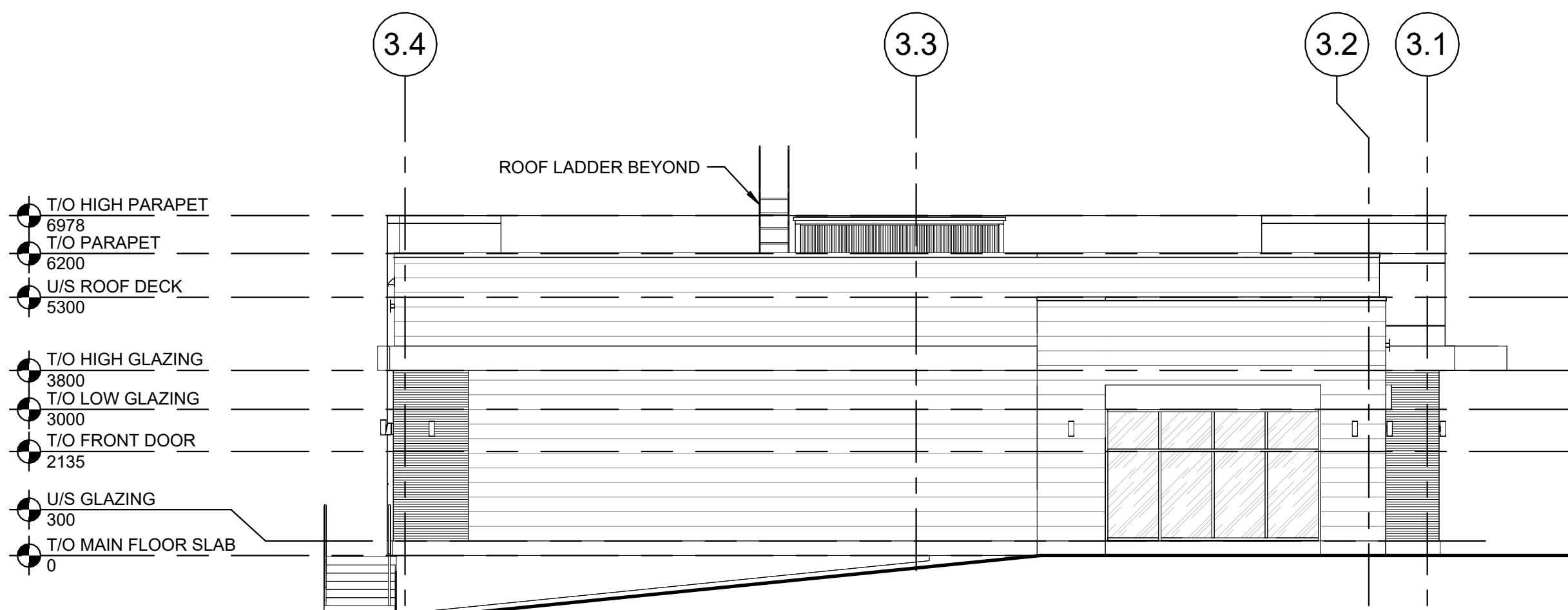
PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL.



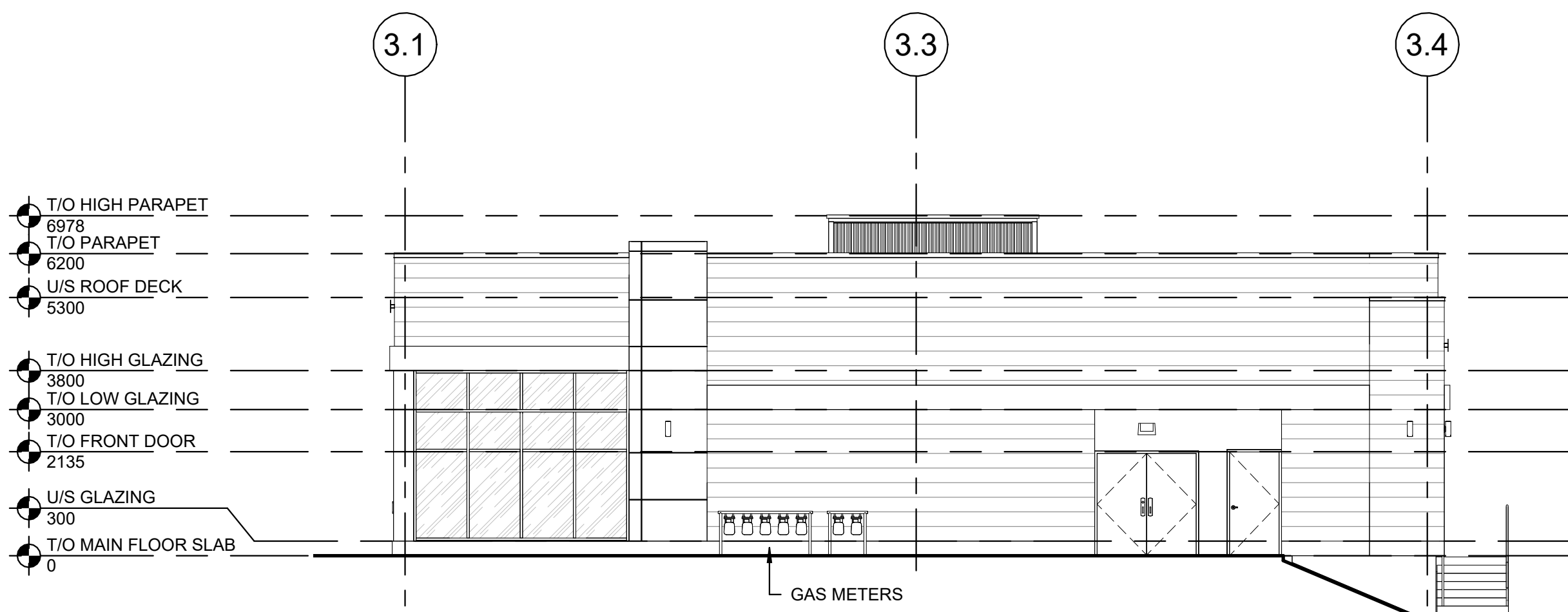
1 NORTH ELEVATION - COLOUR
1 : 100



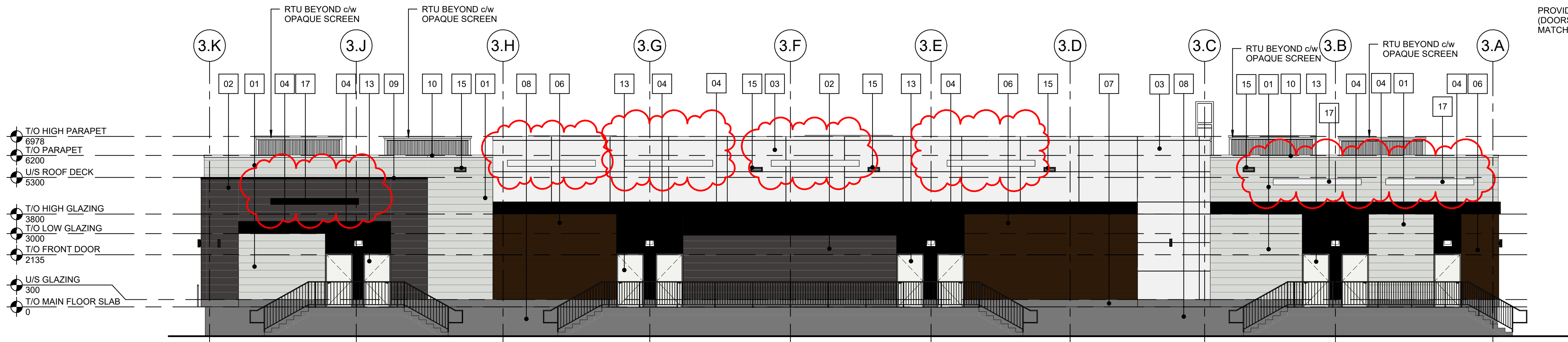
3 SOUTH ELEVATION - COLOUR
1 : 100



5 NORTH ELEVATION
1 : 100



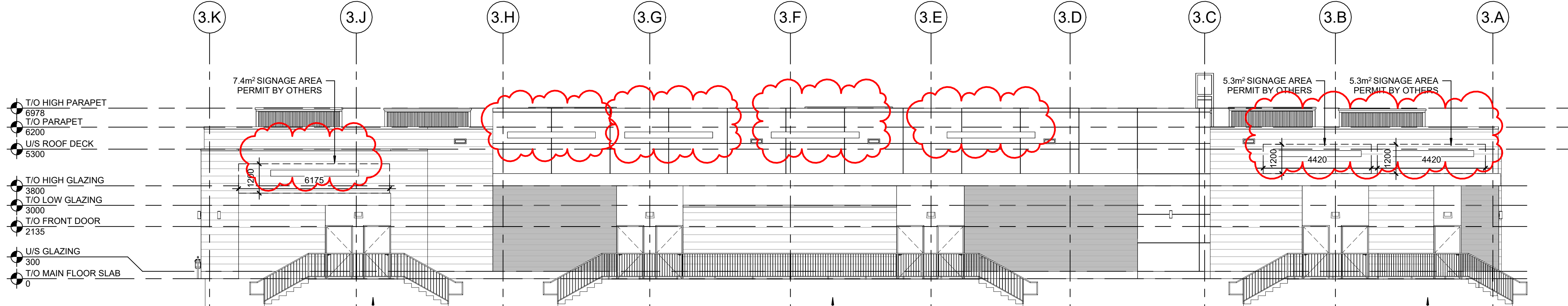
7 SOUTH ELEVATION
1 : 100



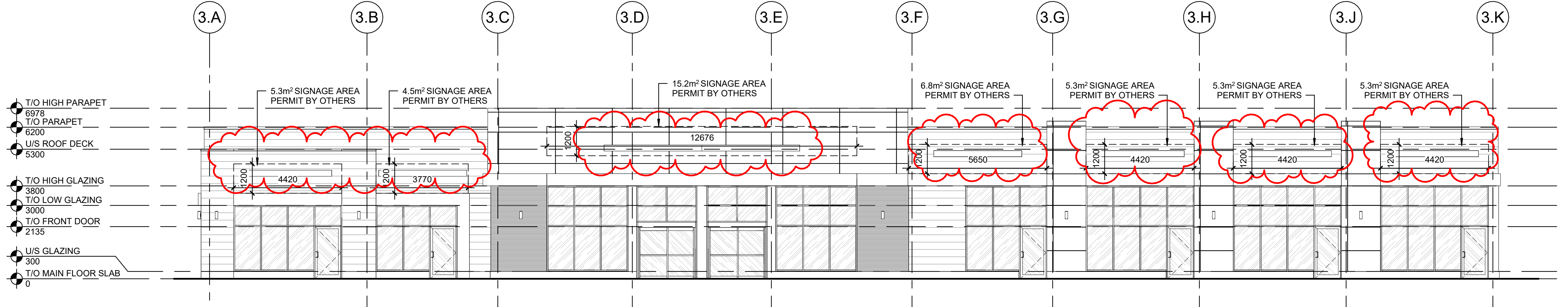
2 EAST ELEVATION - COLOUR
1 : 100



4 WEST ELEVATION - COLOUR
1 : 100



6 EAST ELEVATION
1 : 100



8 WEST ELEVATION
1 : 100

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ISSUED FOR:
No. Date Description
1 2025.12.05 ISSUED FOR DEVELOPMENT PERMIT
2 2026.03.06 ISSUED FOR DTR
3 2026.07.15 ISSUED FOR DR2 (REVISED)

SEAL

NOT FOR CONSTRUCTION

CLIENT NAME:



PROJECT:

Vermilion Hill
Commercial
Building 3 & 4

NW 1/4 36-22-02-W5M

CONSULTANTS:

SHEET TITLE:

BUILDING 3 & 4
ELEVATIONS

DATE: MARCH 2026

SCALE: As indicated

DRAWN BY: TPI/EG

PROJECT No: 25.10.03

CALGARY
• 403.233.8448
• 100, 101 & 102 Ave NE
• Calgary, Alberta
• Canada T2C 1S5
VANCOUVER
• 604.687.2300
• 1000-10 Ave
• 100, 101 & 102 Ave NE
• Vancouver, BC
• Canada V6C 2B8

DRAWING No:

DP320

2026-07-13 1:26:13 PM

C:\Users\Efren\Documents\25.10.03 Vermilion Hill - Building 3 & 4_EGonzalezTEWR5.rvt

collabor8

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ARCHITECTURE + DESIGN (ALBERTA) INC.

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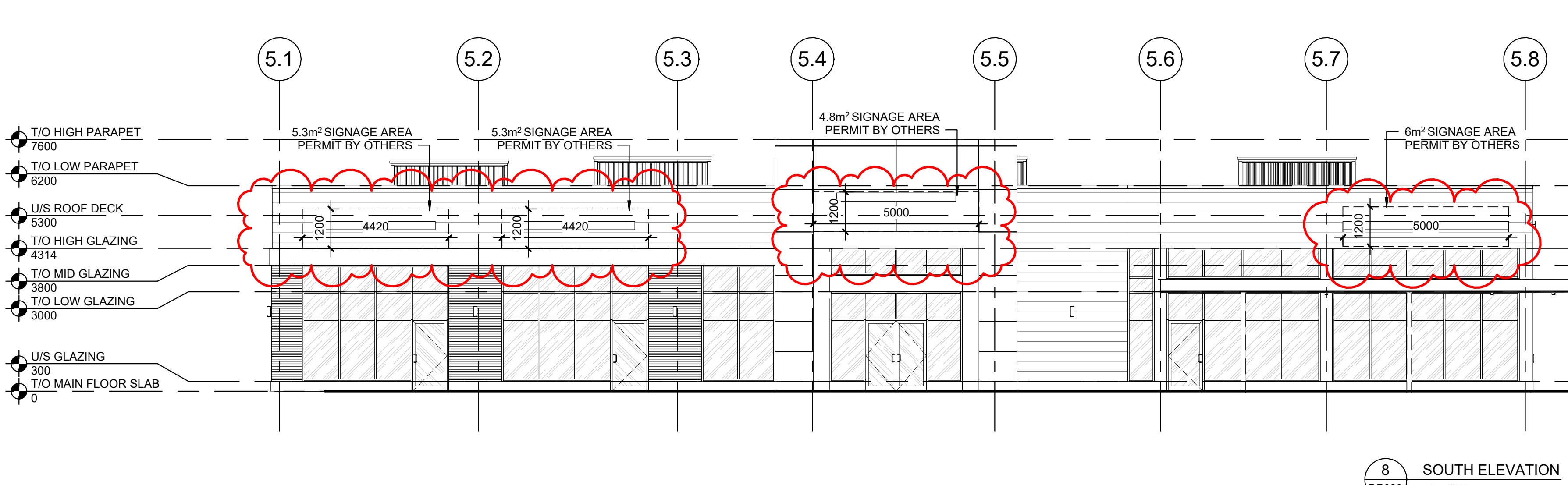
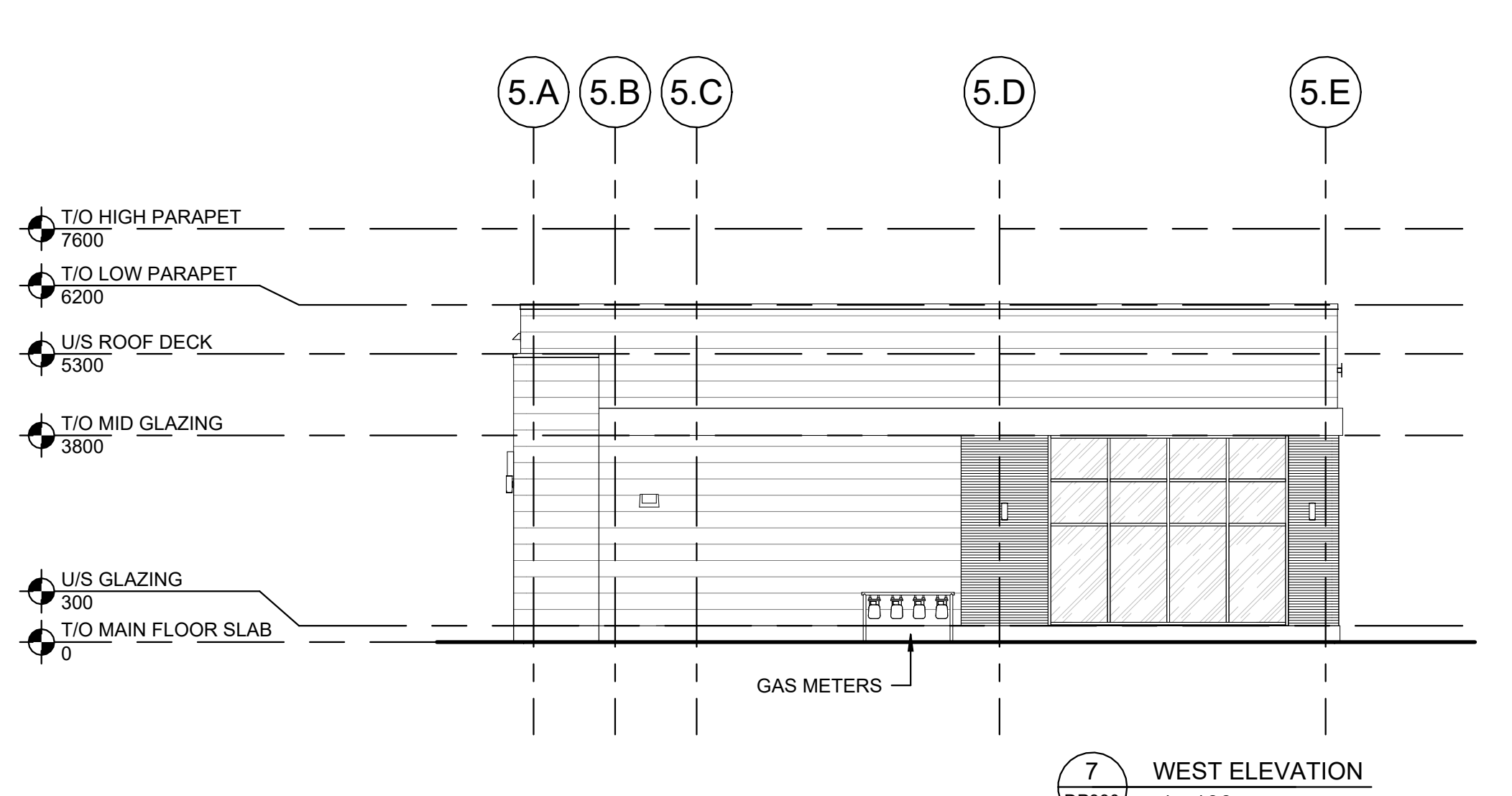
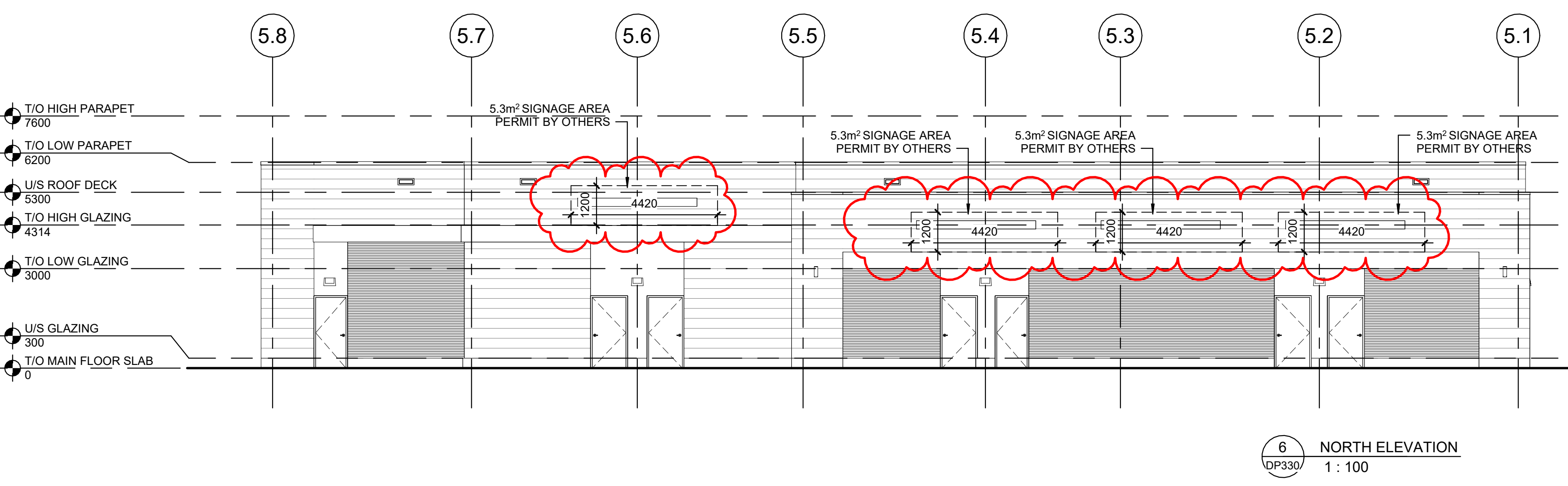
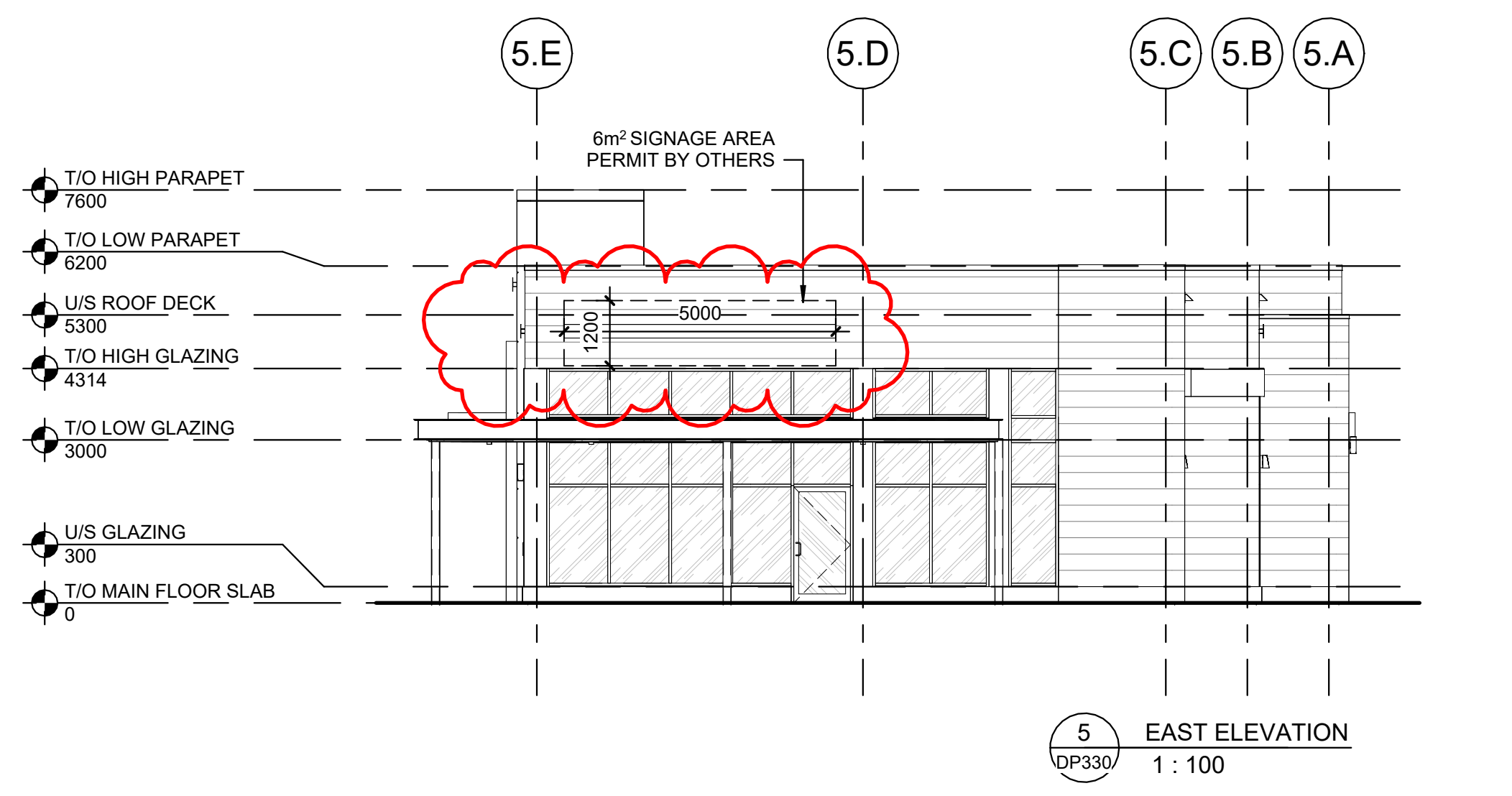
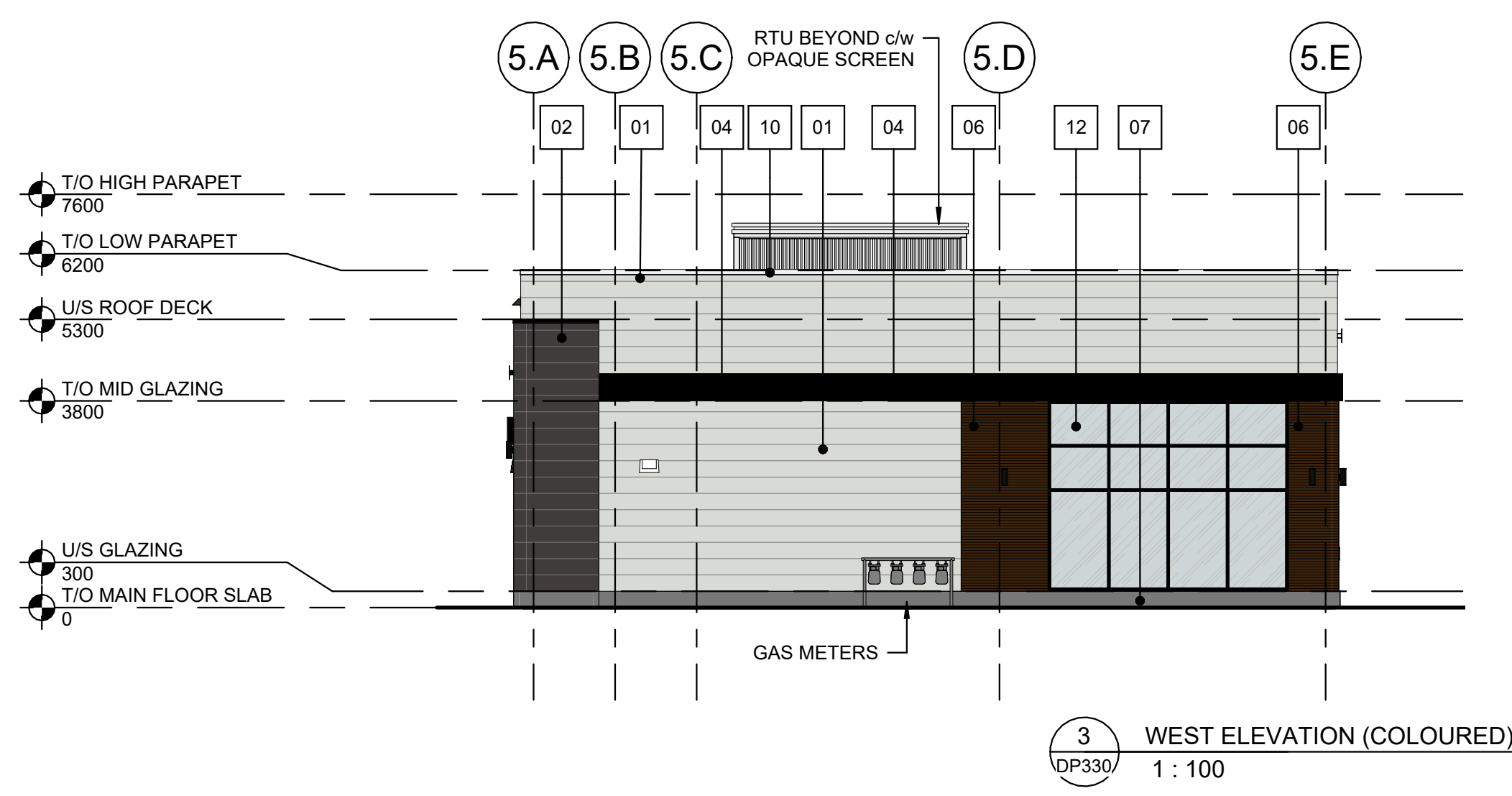
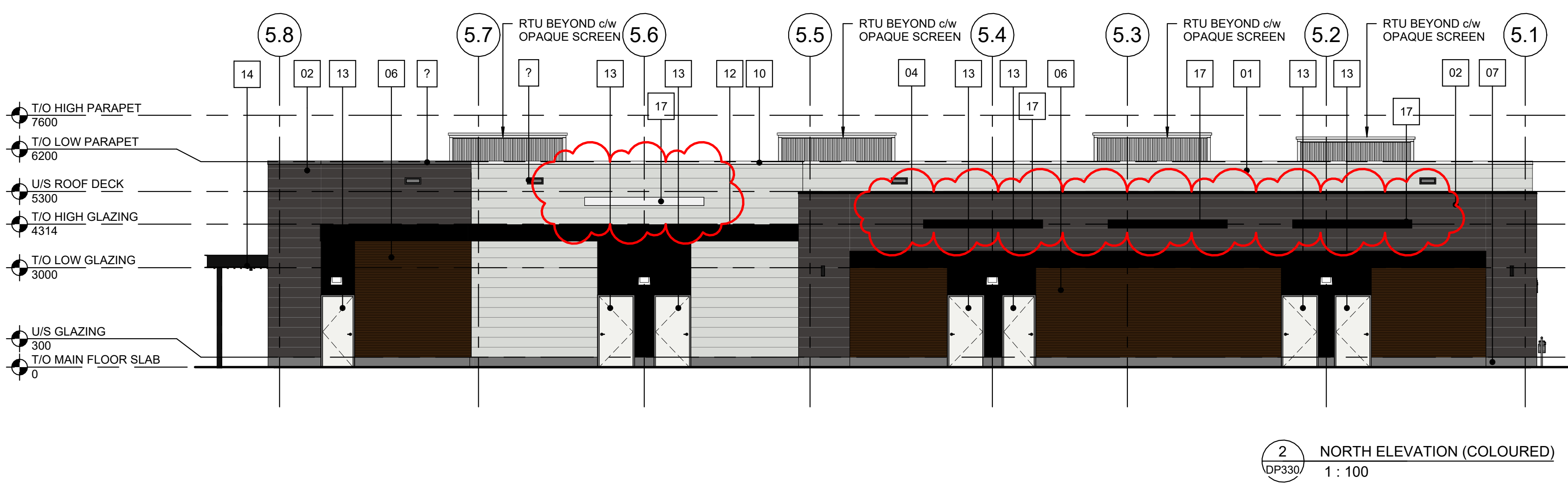
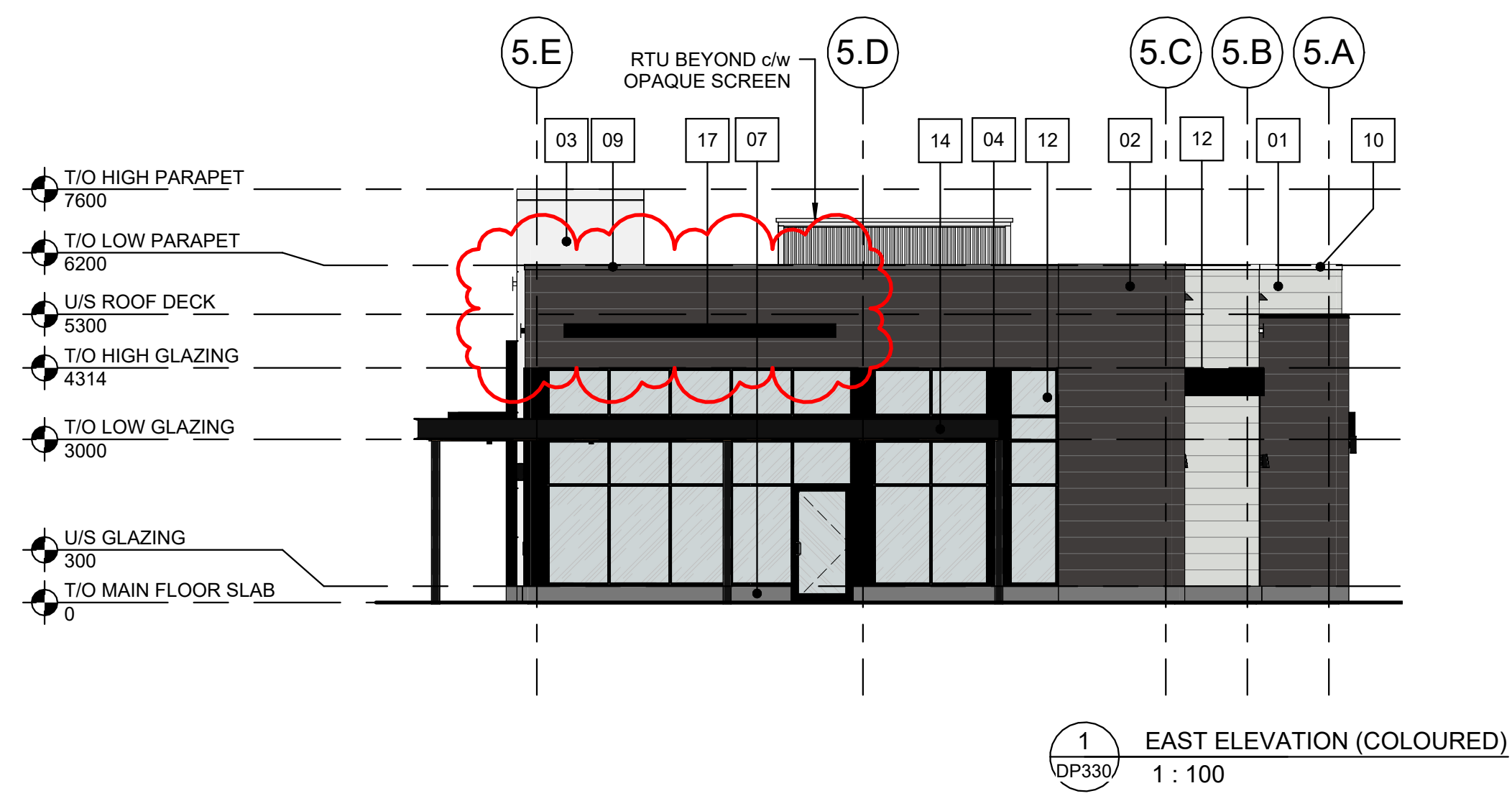
ARCHITECTURE + DESIGN (ALBERTA) INC.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No. Date Received
DP02025-07425 23.07.2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

MATERIAL LEGEND			
01	CERACLAD FHT272A ELEMENTS "ASHLAR SLATE"	10	CAP FLASHING VICWEST CAMBRIDGE WHITE 16161
02	CERACLAD FHT275A ELEMENTS "BLACKEN STEEL"	11	FLASHING BRAKESHAPE VICWEST BLACK 16068
03	ACM 4mm ALPOLIC "BNT WHITE STOCK" WITH REVEALS	12	STOREFRONT GLAZING SYSTEM, BLACK ALUMINUM WITH CLEAR GLASS
04	ACM 4mm ALPOLIC "TOB BLACK" WITH REVEALS	13	SOLID DOOR, SHERWIN WILLIAMS SW 7005 PURE WHITE
05	ACM 4mm ALPOLIC "MATTE SLATE BLACK" WITH REVEALS	14	STEEL CANOPY SW 6993 BLACK OF NIGHT
06	LONGBOARD LINK & LOCK "LIGHT NATIONAL WALNUT" WITH BLACK BACKGROUND	15	SCUPPER. REFER TO TYPICAL DETAILS
07	PRE-CAST CONCRETE BASE	16	N/A
08	CONCRETE FACED INSULATED PANELS	17	TENANT SIGN MOUNTING PLATE. REFER TO TYPICAL DETAILS & STRUCTURAL. PRIME & PAINT WHITE OR BLACK. REFER TO ELEVATIONS FOR COLOUR.
09	CAP FLASHING VICWEST CHARCOAL 16072		

NOTE:
PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL.



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ISSUED FOR:		
No.	Date	Description
1	2026.12.05	ISSUED FOR DEVELOPMENT PERMIT
2	2026.03.06	ISSUED FOR DTR
3	2026.06.09	ISSUED FOR DR2
4	2026.07.15	ISSUED FOR DR2 (REVISED)

SEAL

NOT FOR CONSTRUCTION

CLIENT NAME:



PROJECT:
Vermilion Hill
Commercial
Building 5

NW 1/4 36-22-02-W5M

CONSULTANTS:

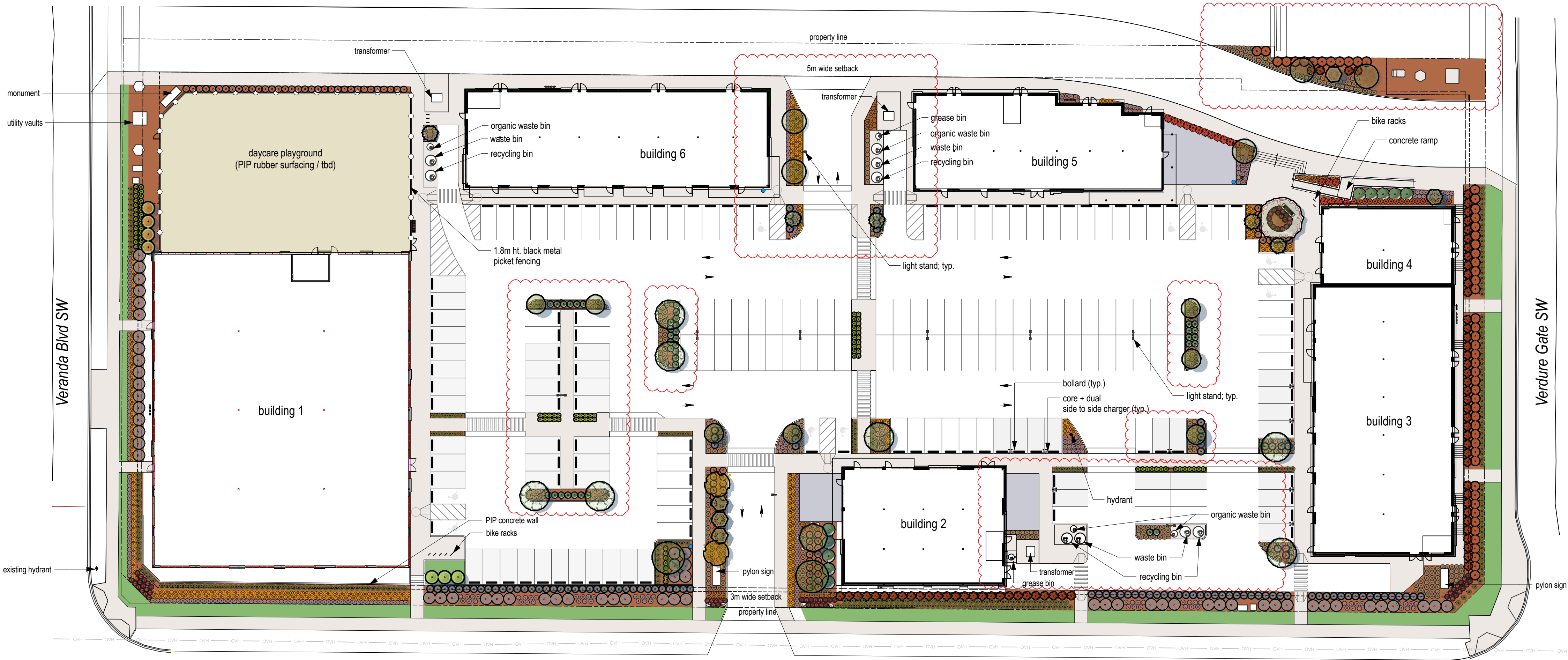
SHEET TITLE:
BUILDING 5
ELEVATIONS

DATE: MARCH 2026
SCALE: As indicated
DRAWN BY: TPI/EG
PROJECT No: 25.10.03

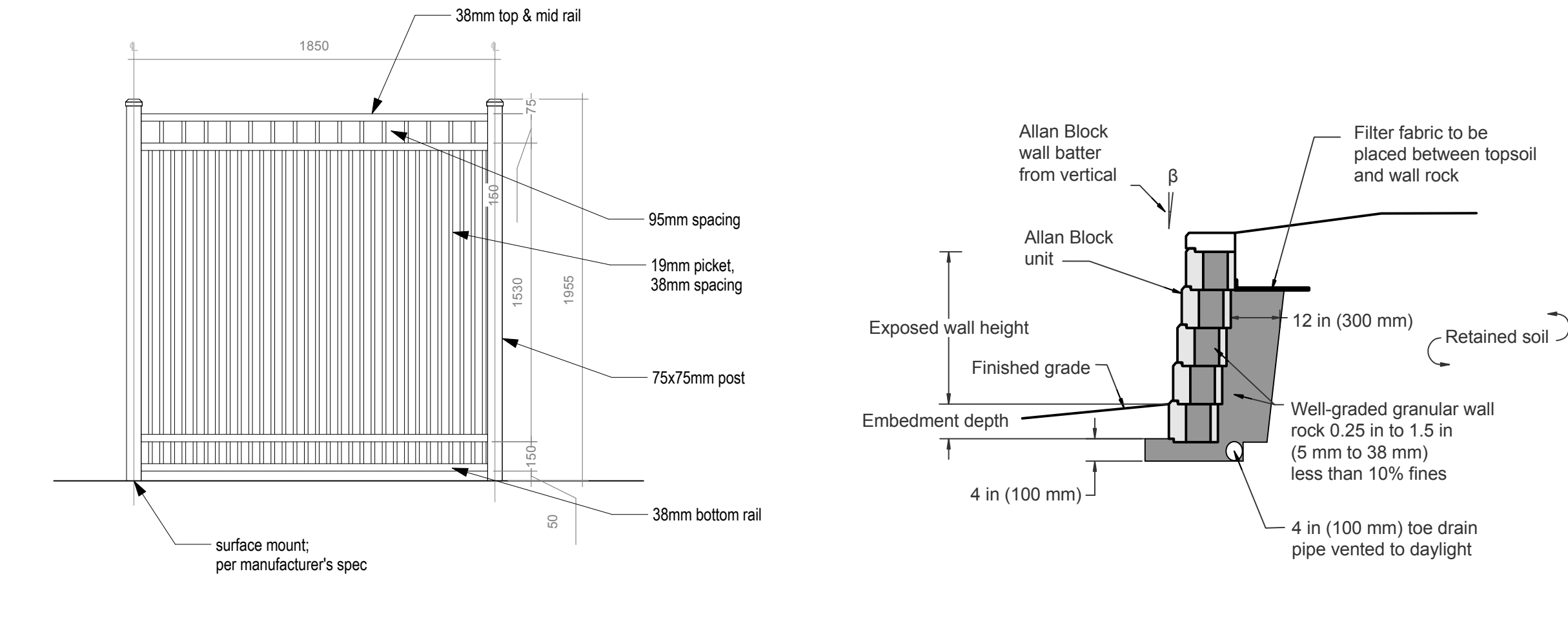
☒ CALGARY
• 400.333.8448
• 101.101.101 Ave NE
Calgary, Alberta
Canada T2C 1P7
☐ VANCOUVER
• 604.697.2300
• 604.697.2300
• 100.100.100 Street St.
Vancouver, BC
Canada V6C 2B8

DRAWING No:

DP330



1 landscape plan
1:400



2 1.8m ht. black metal fence
1:25

3 allan block wall
nts

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No DP2025-07425 Date Received 22 07 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

- legend
- 20mm ø clear crush aggregate (natural) at 150mm depth
 - 20mm ø washed round rock (natural tan/grey mix) at 75mm depth
 - standard broomed concrete with saw-cut control joints (natural/dark grey colour)
 - planting bed 450mm depth topsoil + 100mm depth bark mulch
 - low water fescue sod on 300mm depth topsoil
 - bench
 - trash receptacle
 - bike rack, 2 stalls
 - decorative boulders

- trees
- bur oak
Quercus macrocarpa
Qty: 2
50mm caliper
balled and
burlapped
 - bakeri blue spruce
Picea pungens 'Bakeri'
Qty: 5
2m height
balled and
burlapped
 - lodgepole pine
Pinus contorta 'var. latifolia'
Qty: 5
3m height
balled and
burlapped
 - mayday
Prunus padus 'var. commutata'
Qty: 1
75mm caliper
balled and
burlapped
 - prairie spire green ash
Fraxinus pennsylvanica 'Rugby'
Qty: 7
50mm caliper
balled and
burlapped
 - showy mountain ash
Sorbus discora
Qty: 5
75mm caliper
balled and
burlapped
 - spring snow flowering crabapple
Malus 'Spring Snow'
Qty: 7
75mm caliper
balled and
burlapped
 - trembling aspen
Populus tremuloides
Qty: 2
75mm caliper
balled and
burlapped
 - true north linden
Tilia americana 'Duros'
Qty: 1
75mm caliper
balled and
burlapped
 - guardian columnar aspen
Populus 'Jefguard'
Qty: 7
50mm caliper
balled and
burlapped

- shrubs
- mordensnow potentilla
Potentilla fruticosa 'Morden Snow/le'
Qty: 48
#5 container
Multiple values
 - arctic fire dogwood
Cornus stolonifera 'Yarrow'
Qty: 19
#5 container
600mm min
height + spread
 - snowberry
Symphoricarpos albus
Qty: 53
#5 container
600mm min
height + spread
 - dwarf mugo pine
Pinus mugo var. pumilo
Qty: 107
#5 container
600mm min
height or spread
 - dwarf korean lilac
Syringa meyeri 'Palatin'
Qty: 74
#5 container
600mm min
height or spread
 - western sandcherry
Prunus pumila 'besseyi'
Qty: 90
#5 container
600mm min
height or spread
 - red osier dogwood
Cornus sericea
Qty: 70
#5 container
600mm min
height + spread
 - wood's rose
Rosa woodsii
Qty: 19
#5 container
600 mm min
height + spread
 - shrubby cinquefoil
Dasiphora fruticosa
Qty: 59
#5 container
600mm min
height or spread
 - skandia juniper
Juniperus sabinia 'Skandia'
Qty: 300
#5 container
600mm min
height or spread

- perennials
- blue fescue
Festuca glauca
Qty: 329
#2 container
 - entrapment daylily
Hemerocallis 'Entrapment'
Qty: 65
15 cm pot
 - heavy metal blue switch grass
Panicum virgatum 'Heavy Metal'
Qty: 387
#2 container
 - feather reed grass
Calamagrostis acutiflora
Qty: 90
#2 container
 - yarrow
Achillea millefolium
Qty: 348
15 cm

NOT FOR CONSTRUCTION

- notes
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 - Do not scale drawings.
 - Refer to Civil drawings for all grading information.
 - All walkways are plain concrete unless noted otherwise.
 - All landscape areas to be watered with an automatic underground irrigation system.
Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
 - All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.



EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE
1812 14G STREET SW CALGARY, AB T2T3W6

number	revision	date	by	approved
7	removal of parking island	2026-07-15	pt	
6	enmax revisions	2026-07-06	pt	
5	updated arch base	2026-06-04	pmt	
4	updated arch base	2026-05-12	ik	
3	updated arch base	2026-03-04	bhm	
2	new base w phasing	2026-02-03	bhm	
1	revisions	Y-M-D	by	XXX
number	revision	date	by	approved
14	IFT submission	2026-07-15		
13	IFT submission	2026-07-13		
12	DP resubmission (DR2 response)	2026-07-06		
11	DP resubmission (DR2 response)	2026-06-05		
10	Phase 2 95% BP coordination	2026-05-15		
9	Phase 2 85% BP coordination	2026-04-27		
8	Phase 2 60% BP coordination	2026-03-30		
7	DP resubmission (DTR response)	2026-03-09		
6	Phase 1 IFT	2026-03-06		
5	Phase 1 85% BP coordination	2026-02-04		
4	Phase 1 60% BP coordination	2026-01-16		
3	DP submission	2025-12-09		
2	90% DP coordination	2025-12-02		
issued for			date (y.m.d)	

project
vermilion hill
commercial

drawing
landscape plan

drawn _____ pmt
checked _____ rbg
date _____ 2025-09-30
scale _____ as noted

approved _____ rbg
project number _____ 04120.2
sheet _____ L01

4 furniture palette
nts

700 SERIES

MBE-0720-00020
Legacy # MBE720-W

MATERIALS: Bench seats are made from solid cast aluminum. The seat employs 1 1/2" x 1 1/2" (3.8 cm x 3.8 cm) and 1 1/2" x 4 1/2" (3.8 cm x 11.2 cm) bar rails.

FINISH: The HighGrip Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. Seats (2) are provided in each foot for securing to base.

TO SPECIFY: See MBE-0500-00000
Finish: Powdercoat color

ASSEMBLY: MBE-0500-00000 (2) MBE-0720-00020 (2) MBE-0720-00020 (2) MBE-0720-00020 (2)

MAGLIN

1000 SERIES

MTR-1050-00010
Legacy # MTR1050-W

MATERIALS: The metal components are constructed from formed steel and the sides employ 1 1/2" x 1 1/2" (3.8 cm x 3.8 cm) bar rails.

FINISH: All metal components are protected with a clear coat and powder.

INSTALLATION: The HighGrip Powdercoat System provides a durable finish on all metal surfaces.

TO SPECIFY: See MTR-0500-00000
Finish: Powdercoat color

ASSEMBLY: MTR-0500-00000 (2) MTR-1050-00010 (2) MTR-1050-00010 (2) MTR-1050-00010 (2)

MAGLIN

500 SERIES

MBR-0500-00003
Legacy # MBR0500-S

Sustainability Facts

DESCRIPTION: MBR Series - 500 Series - 1/2" Steel Tube, Surface Mount, 2 Bar Configuration

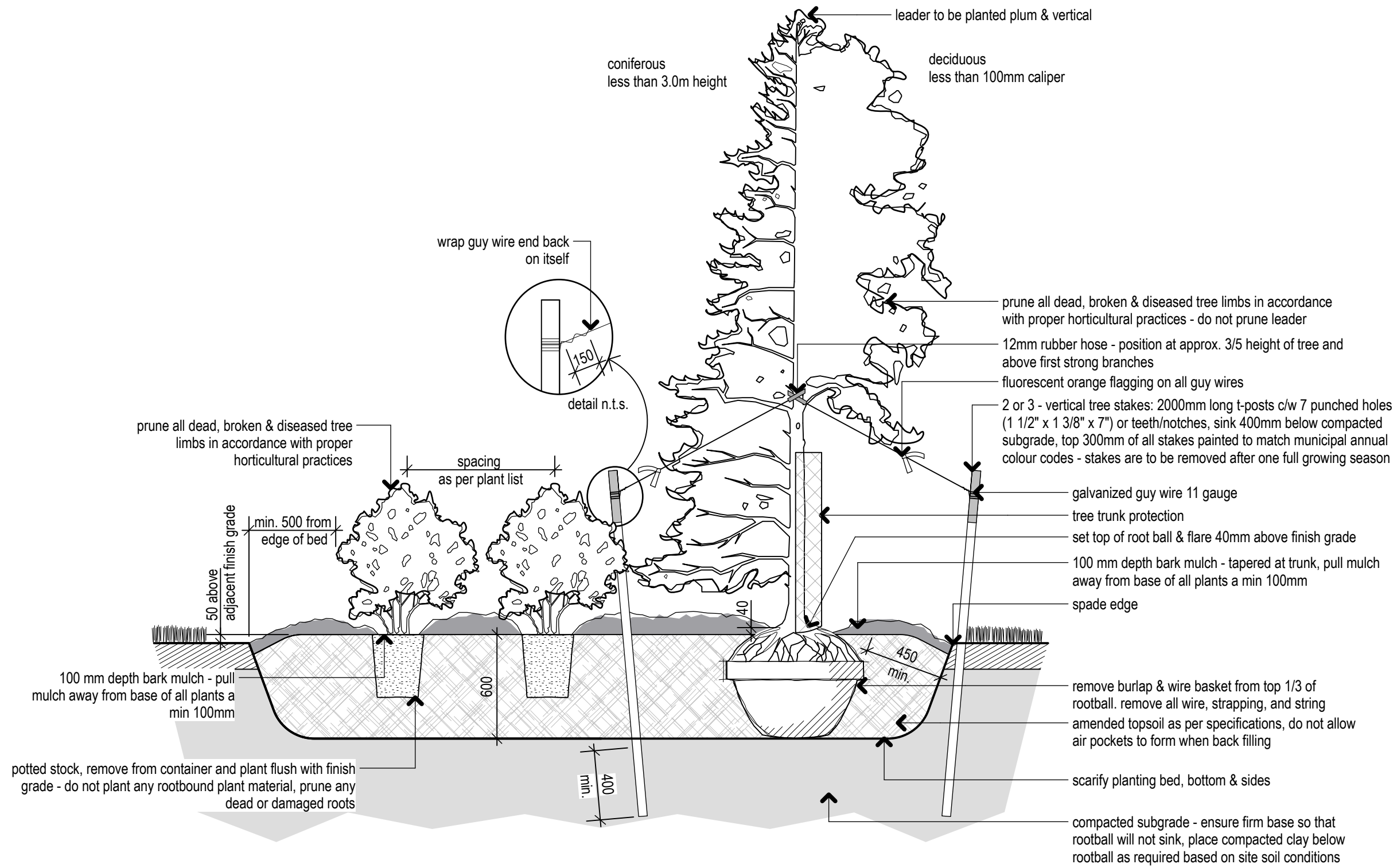
FINISH: All steel components are protected with a clear coat and powder.

INSTALLATION: The HighGrip Powdercoat System provides a durable finish on all metal surfaces.

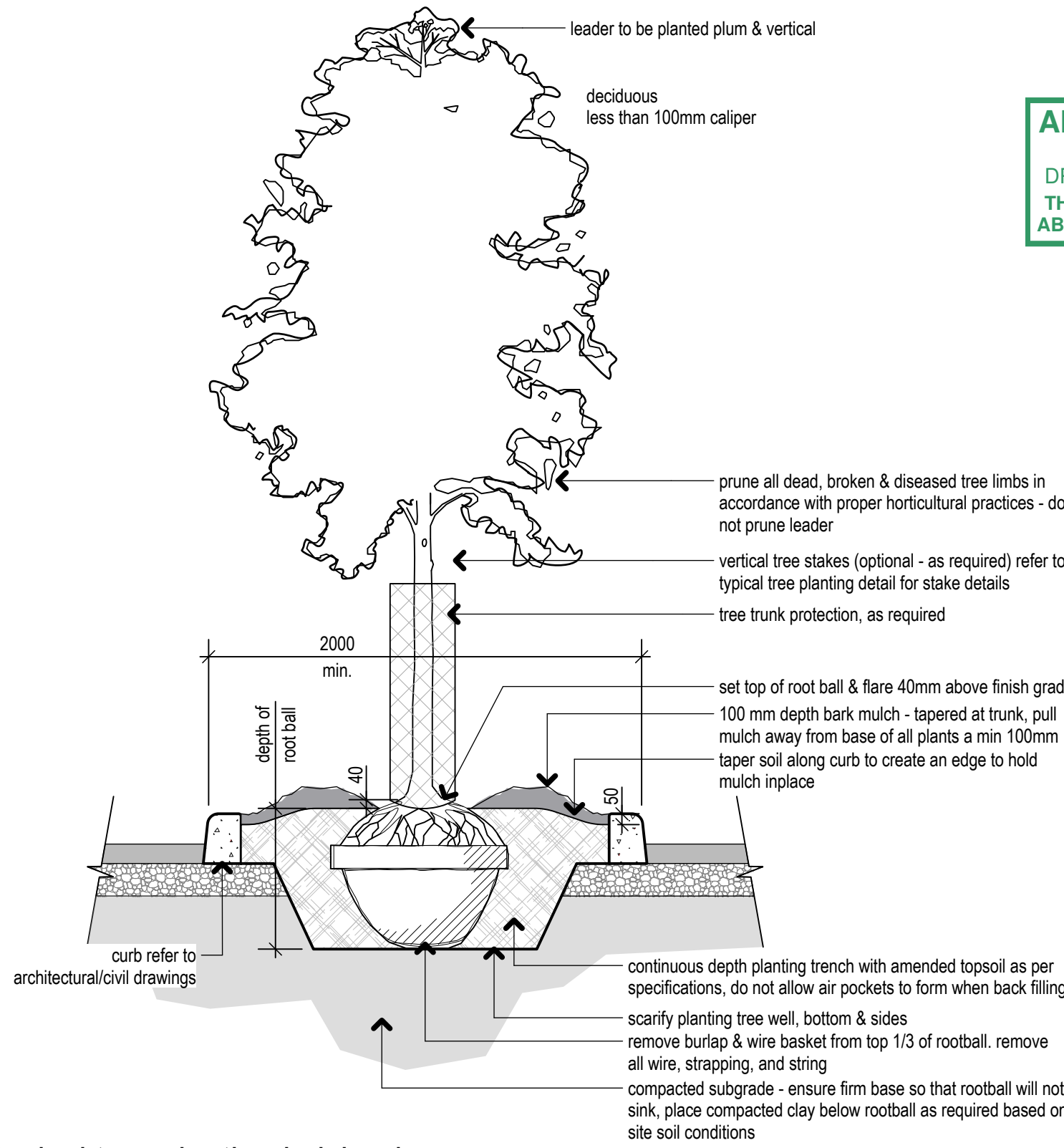
TO SPECIFY: See MBR-0500-00000
Finish: Powdercoat color

ASSEMBLY: MBR-0500-00000 (2) MBR-0500-00003 (2) MBR-0500-00003 (2)

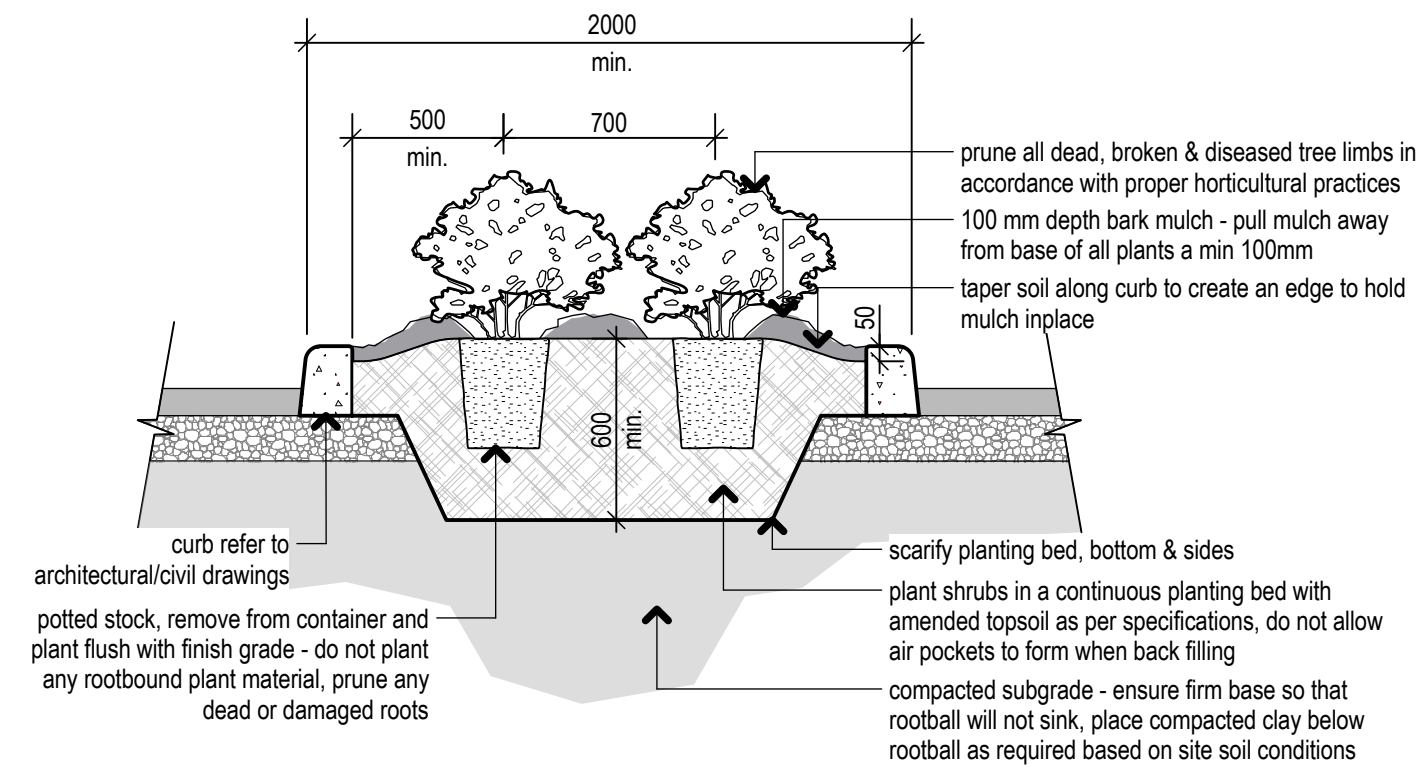
MAGLIN



1 typical planting
Scale: 1:25



2 typical tree planting in island
Scale: 1:25



3 typical shrub planting in island
Scale: 1:25

AMENDED DRAWINGS
DP No DP2025-07425
Date Received 22 07 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

notes

1. This drawing is copyright © 818 studio ltd., and shall not be reproduced, revised, transmitted and / or utilized by any third party outside of the Owner without written permission from 818 studio ltd.
2. Do not scale drawings.
3. Refer to Civil drawings for all grading information.
4. All walkways are plain concrete unless noted otherwise.
5. All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
6. All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.

for review and coordination only



EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE
1812 140 STREET SW CALGARY, AB T2T3W6

number	revision	date	by	approved
6	enmax revisions	2026-07-06	pt	
5	updated arch base	2026-06-04	pmt	
4	updated arch base	2026-05-12	ik	
3	updated arch base	2026-03-04	bhm	
2	new base w phasing	2026-02-03	bhm	
1	revisions	14-M-D	by	XXX
13	IFT submission	2026-07-13		
12	DP resubmission (DR2 response)	2026-07-06		
11	DP resubmission (DR2 response)	2026-06-05		
10	Phase 2 95% BP coordination	2026-05-15		
9	Phase 2 85% BP coordination	2026-04-27		
8	Phase 2 60% BP coordination	2026-03-30		
7	DP resubmission (DTR response)	2026-03-09		
6	Phase 1 IFT	2026-03-06		
5	Phase 1 85% BP coordination	2026-02-04		
4	Phase 1 60% BP coordination	2026-01-16		
3	DP submission	2025-12-09		
2	90% DP coordination	2025-12-02		
1	70% DP coordination	2025.11.19		

issued for

date (y.m.d)

project

vermillion hill
commercial

drawing

landscape details

drawn	approved
checked	project number
date	sheet
scale	
as noted	

L02