

VERMILION HILL COMMERCIAL

NW 1/4 36-22-02-W5M
ISSUED FOR DEVELOPMENT PERMIT
DECEMBER 2025



PROJECT RENDERING (FOR REFERENCE ONLY)



ARCHITECTURAL
COLLABOR8 ARCHITECTURE + DESIGN INC.
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[P] (403) 233-8448 x28

ARCHITECTURAL:
DP000 COVER SHEET
DP010 PROJECT INFO
DP020 PROJECT RENDERINGS
DP100 SITE PLAN
DP110 ENLARGED SITE PLAN WEST
DP120 ENLARGED SITE PLAN EAST
DP130 SITE DETAILS
DP140 SITE SECTIONS
DP150 TRUCK ACCESS PLANS
DP200 BUILDING 1 FLOOR PLAN, ROOF PLAN
DP210 BUILDING 2 FLOOR PLAN, ROOF PLAN
DP220 BUILDING 3 & 4 FLOOR PLAN, ROOF PLAN
DP230 BUILDING 5 FLOOR PLAN, ROOF PLAN
DP240 BUILDING 6 FLOOR PLAN, ROOF PLAN
DP300 BUILDING 1 ELEVATIONS
DP310 BUILDING 2 ELEVATIONS
DP320 BUILDING 3 & 4 ELEVATIONS
DP330 BUILDING 5 ELEVATIONS
DP340 BUILDING 6 ELEVATIONS



CIVIL
VERITAS DEVELOPMENT SOLUTIONS
UNIT 4, 141 COMMERCIAL DRIVE
CALGARY, AB T3Z 2A7

CONTACT:
JANELLE EDWORTHY
[E] JENELL@VERITASDEVELOPMENT.CA
[P] (587) 358-1208

CIVIL:
1 SITE SERVICING PLAN
2 SITE GRADING PLAN



ELECTRICAL
DESIGNCORE ENGINEERING LTD.
100, 4723 1ST STREET SW
CALGARY, AB T2G 4Y8

CONTACT:
MARTIN WAL
[E] MWAL@DESIGNCORE.CA
[P] (403) 269-2125 x7

ELECTRICAL:
DPE1.0 DP ELECTRICAL COVER SHEET
DPE1.1 DP ELECTRICAL SITE PLAN
DPE1.2 DP SITE LIGHTING POINT-BY-POINT



LANDSCAPE
EIGHT ONE EIGHT STUDIO
#200, 1604 10 AVE SW
CALGARY, AB T5J 0J5

CONTACT:
PRESTON TOY
[E] PRESTON@818STUDIO.CA
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LANDSCAPE:
DPL1 LANDSCAPE PLAN

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DATE DESCRIPTION
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CLIENT NAME:



PROJECT:
Vermilion Hill
Commercial

NW 1/4 36-22-02-W5M

SHEET TITLE:

COVER SHEET

DATE: DEC 2025
SCALE: 1:1
DRAWN BY: TPEG
PROJECT No: 25.10.03

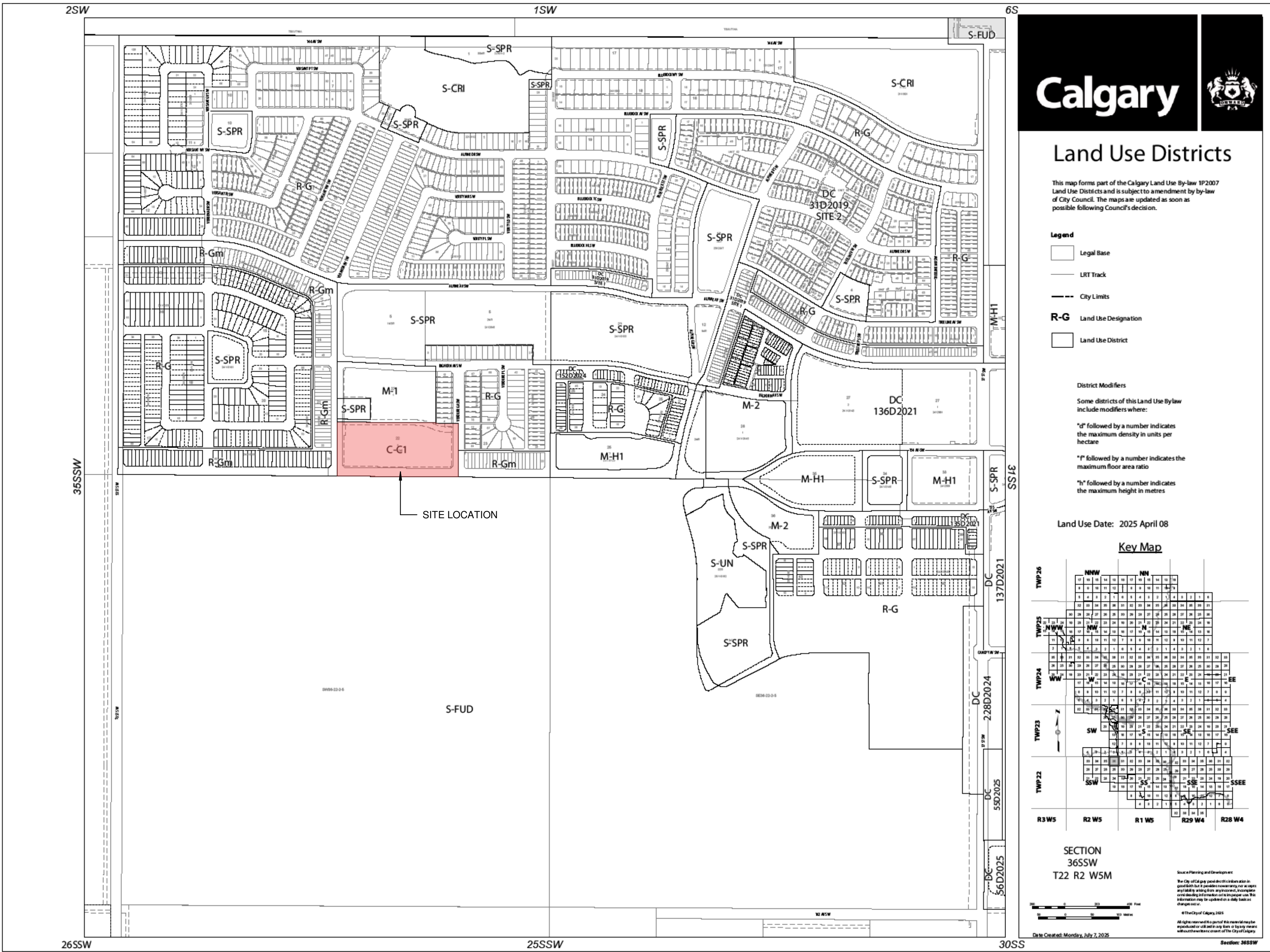
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DRAWING No:

DP000



SITE LOCATION



LEGAL ADDRESS:	NW 1/4 36-02-02-W5M
MUNICIPAL ADDRESS:	
ZONING:	C-G1 - COMMERCIAL COMMUNITY 1
PROJECT DESCRIPTION:	50,000 COMMERCIAL PAD BUILDINGS ON A 4.35 ACRE SITE (1.76 HECTARES)
ALL BUILDINGS ARE ONE STOREY BUILDING 1 IS A DAYCARE WITH OUTDOOR PLAY AREA, BUILDING 2 TO 6 WILL BE RETAIL & CONSUMER SERVICE, HEALTH CARE SERVICE, AND RESTAURANTS.	
PROPOSED BUILDING USES:	RETAIL, RESTAURANT, CHILD CARE SERVICE, AND HEALTH CARE SERVICE.
MAX FLOOR AREA RATIO:	1.0
PROPOSED FLOOR AREA RATIO:	0.284
MINIMUM SETBACK DIMENSIONS:	FRONT 3.0m REAR 3.0m SIDE 3.0m
MAX BUILDING HEIGHT:	10m
PROPOSED MAX BUILDING HEIGHT:	7.8m
SITE AREA:	
TOTAL SITE AREA:	17,603.83m ² (189,486 SF) (4.25 ACRES)
GROSS FLOOR AREA:	
BLDG 1 GROSS FLOOR AREA	1884.93 m ² 20067.5 ft ²
BLDG 2 GROSS FLOOR AREA	444.61 m ² 4765.9 ft ²
BLDG 3 GROSS FLOOR AREA	872.05 m ² 9389.7 ft ²
BLDG 4 GROSS FLOOR AREA	241.37 m ² 2588.1 ft ²
BLDG 5 GROSS FLOOR AREA	522.89 m ² 5735.9 ft ²
BLDG 6 GROSS FLOOR AREA	688.18 m ² 7407.5 ft ²
TOTAL GROSS FLOOR AREA	4644.64 m ² 49964.4 ft ²
NOTE: ALL BUILDINGS ON SITE ARE NON-SPRINKLERED NO FIRE ALARM REQUIRED, ONLY BUILDING 1: DAYCARE HAS A SPRINKLER SYSTEM AND FIRE ALARM IS REQUIRED.	
BYLAW PARKING REQUIREMENT AS PER 121.1:	
RETAIL & CONSUMER SERVICE: 4110m ² GROSS USABLE FLOOR AREA	
CHILD CARE SERVICE: 110 CHILDREN	
HEALTH CARE SERVICE: 4100m ² GROSS USABLE FLOOR AREA	
RESTAURANT: LICENSED 2.8010m ² GROSS USABLE AREA	
RESTAURANT: LICENSED SERVICE ONLY 2.8010m ² GROSS USABLE AREA	
NOTE: ALL RESTAURANTS ON SITE TO BE MAX. OF 50% PUBLIC AREA	

LAND USE BYLAW PARKING CALCULATIONS

BUILDING NAME & GROSS FLOOR AREA	USE & GROSS USABLE AREA	REQUIRED STALL CALCULATIONS	REQUIRED STALLS
BLDG 1 GROSS FLOOR AREA 1,884.93 APPROX. 200 STUDENTS	CHILD CARE SERVICE - 200 STUDENTS	1/10 STUDENTS	20
	STAFF		5
BLDG 2 GROSS FLOOR AREA 444.62 m ²	UNIT 1 - RESTAURANT LICENSED - 208.5m ² PUBLIC AREA 208.52+104.27	PUBLIC AREA 104.27 /104.25 = 29.7	29.7
	UNIT 2 - RESTAURANT LICENSED - 222.7m ² PUBLIC AREA 222.76m ² +111.38	PUBLIC AREA 111.38/104.25 = 31.7	31.7
BLDG 3 GROSS FLOOR AREA 872.05m ²	RETAIL/ GROCERY: 808.5m ²	808.5/2610m ² = 34.3	34.3
BLDG 4 GROSS FLOOR AREA 241.37m ²	CRU - RETAIL - 234.9	234.9/100m ² = 9.4	9.4
	CRU1 - RETAIL AND CONSUMER SERVICE - 92.7	92.7/100m ² = 3.7	3.7
BLDG 5 GROSS FLOOR AREA 522.89m ²	CRU2 - RETAIL AND CONSUMER SERVICE - 137.2	137.2/100m ² = 5.4	5.4
	UNIT 3 - RESTAURANT LICENSED - 150.17m ² PUBLIC AREA 150.17X25m ² =75	PUBLIC AREA 75/104.25 = 21.3	21.3
	UNIT 4 - RESTAURANT LICENSED - 153.7m ² PUBLIC AREA 153.7X25m ² =46.8	PUBLIC AREA 96.8/104.25 = 19.9	19.9
	UNIT 1 - HEALTH CARE SERVICES- 153m ²	153/100m ² = 6.1	6.1
	UNIT 2 - HEALTH CARE SERVICES- 178.7m ²	178.7/100m ² = 7.1	7.1
	UNIT 3 - HEALTH CARE SERVICES- 178.7m ²	178.7/100m ² = 7.1	7.1
	UNIT 4 - HEALTH CARE SERVICES- 162.8m ²	162.8/100m ² = 6.5	6.5
	TOTAL REQUIRED STALLS		207
	TOTAL PROVIDED STALLS		187 (RELAXATION OF 20 STALLS REQUIRED)
	BARRIER FREE STALLS PROVIDED		10

LAND USE BYLAW PARKING CALCULATIONS

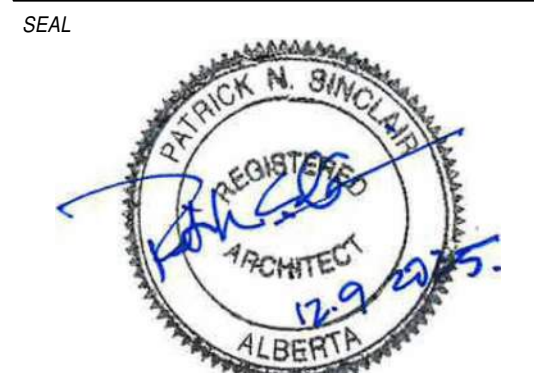
REQUIRED 1 STALL/ 25m ² CLASS 2 BICYCLE STALLS (4947.7/250+19.5)	20 BICYCLE STALLS PROVIDED "CLASS 2"
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LAND USE BYLAW LOADING STALL CALCULATIONS

BYLAW - DIVISION 6 - 12301 (a) 1 LOADING STALLS PER 800m ² OF GROSS FLOOR AREA ON A PARCEL, MIN. WIDTH OF 2.1m AND MIN. DEPTH OF 9.2m. TOTAL GROSS FLOOR AREA ON SITE= 4,484.4m ² REQUIRED 1 LOADING STALL	PROVIDED 2 LOADING STALLS
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PROJECT:
Vermilion Hill Commercial

NW 1/4 36-02-02-W5M

SHEET TITLE:

PROJECT INFO

DATE:	DEC 2025
SCALE:	1:1
DRAWN BY:	TP/EG
PROJECT No:	25.10.03

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DRAWING No:

DP010



12 NIGHT RENDERING
NTS



8 PEDESTRIAN SITE ENTRANCE RENDERING
NTS



4 BUILDING 2 RENDERING
NTS



11 NW SITE CORNER RENDERING
NTS



7 BUILDING 6 RENDERING
NTS



3 BUILDING 1 RENDERING
NTS



10 SOUTH SITE ENTRANCE RENDERING
NTS



6 BUILDING 5 RENDERING
NTS



2 SW OVERHEAD PROJECT RENDERING
NTS



9 SE SITE CORNER RENDERING
NTS



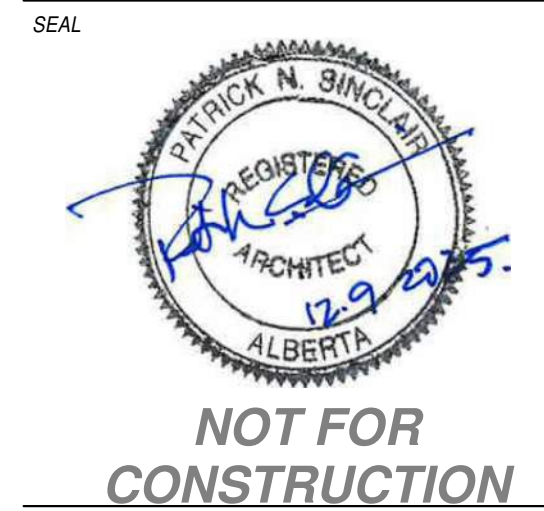
5 BUILDING 3/4 RENDERING
NTS



1 NE OVERHEAD PROJECT RENDERING
NTS

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Vermilion Hill Commercial

NW 1/4 36-22-02-W5M

SHEET TITLE:
PROJECT RENDERINGS

DATE: DEC 2025
SCALE: TPI/EG
PROJECT No: 25.10.03

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DRAWING No:

DP020

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SITE PLAN KEYNOTES

- | # | DATE | DESCRIPTION |
|----|------------|-------------------------------|
| 01 | 2025.12.05 | ISSUED FOR DEVELOPMENT PERMIT |
-
- | | |
|----|---|
| 01 | PROPOSED TRANSFORMER (REFER TO ELECTRICAL) |
| 02 | WASTE & RECYCLING BIN "EARTHBIN EB500T, BLACK" (SEE 14/DP130) |
| 03 | GREASE BIN "EARTHBIN EB130T, BLACK" (SEE 14/DP130) |
| 04 | MONUMENT (SEE 15 TO 18/DP130) |
| 05 | PYLON SIGN (SEE 19 TO 22/DP130) |
| 06 | BARRIER FREE PARKING SIGN (SEE 9/DP130) |
| 07 | LOADING AREA |
| 08 | 1995 mm HIGH GUARDRAIL |
| 09 | RAMP |
| 10 | ELEVATED CROSSWALK WITH PAINTED CROSSING LINES |
| 11 | CATCH BASIN |
| 12 | WHEELSTOP (TYP) (SEE 10-11/DP130) |
| 13 | SIDEWALK, CONCRETE BROOM FINISH |
| 14 | PAINTED CROSSWALK |
| 15 | BARRIER FREE PARKING (SEE 8/DP130) |
| 16 | STOP SIGN |
| 17 | CROSSWALK SIGN |
| 18 | RETAINING WALL |
| 19 | GAS METER (REFER TO CIVIL) |
| 20 | BIKE RACKS (TOTAL= 10 UNITS) |
| 21 | HYDRANT (REFER TO CIVIL) |
| 22 | LIGHT STAND (REFER TO ELECTRICAL) |
| 23 | PEDESTRIAN LIGHT |

NOTE:

PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS
(DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE
MATCHING THE ADJACENT MATERIAL.

SEAL



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CLIENT NAME:



PROJECT:

Vermilion Hill
Commercial

NW 1/4 36-22-02-W5M

SHEET TITLE:

SITE PLAN

DATE: DEC 2025

SCALE: As indicated

DRAWN BY: TPE/G

PROJECT No: 25.10.03

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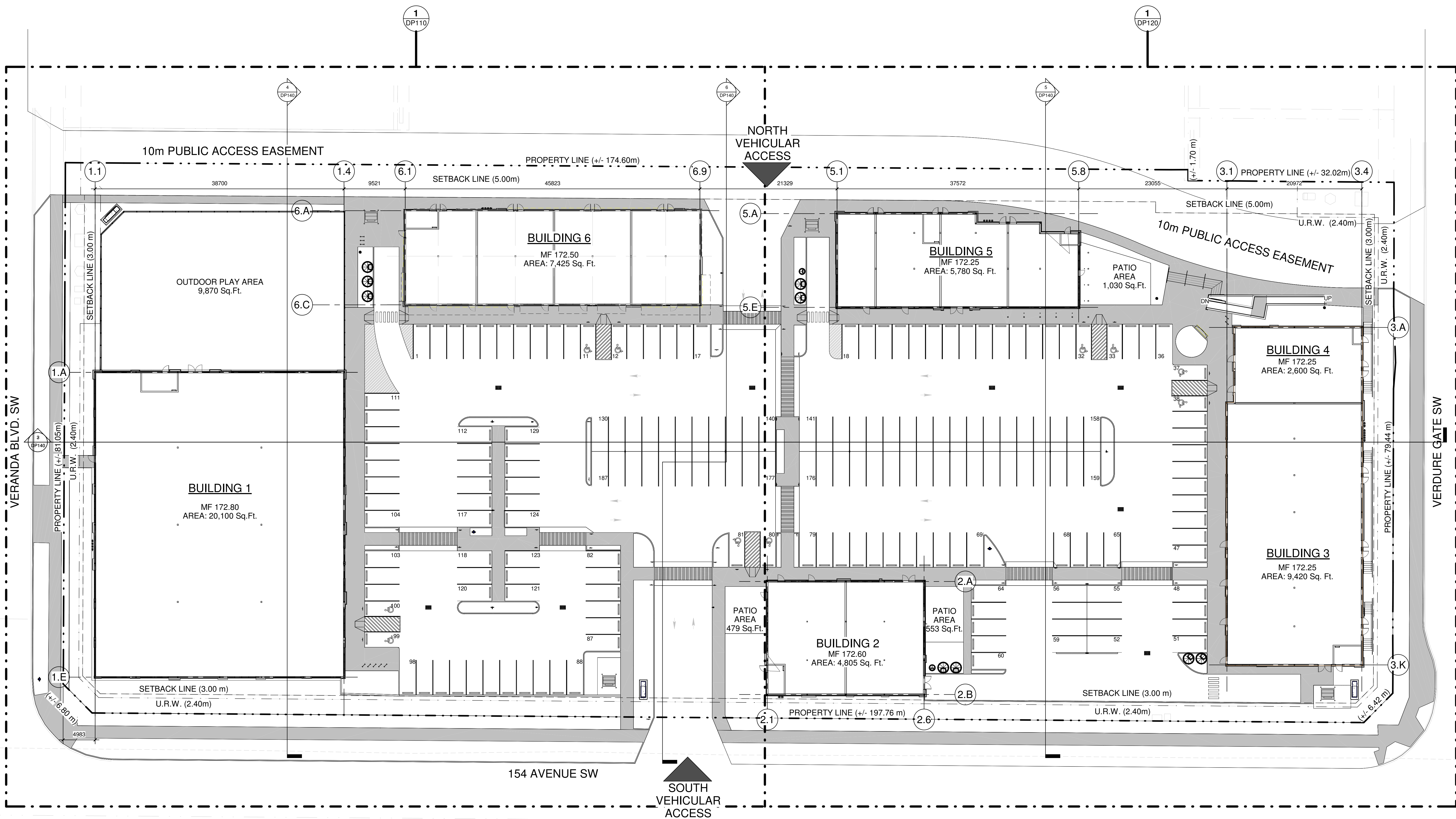
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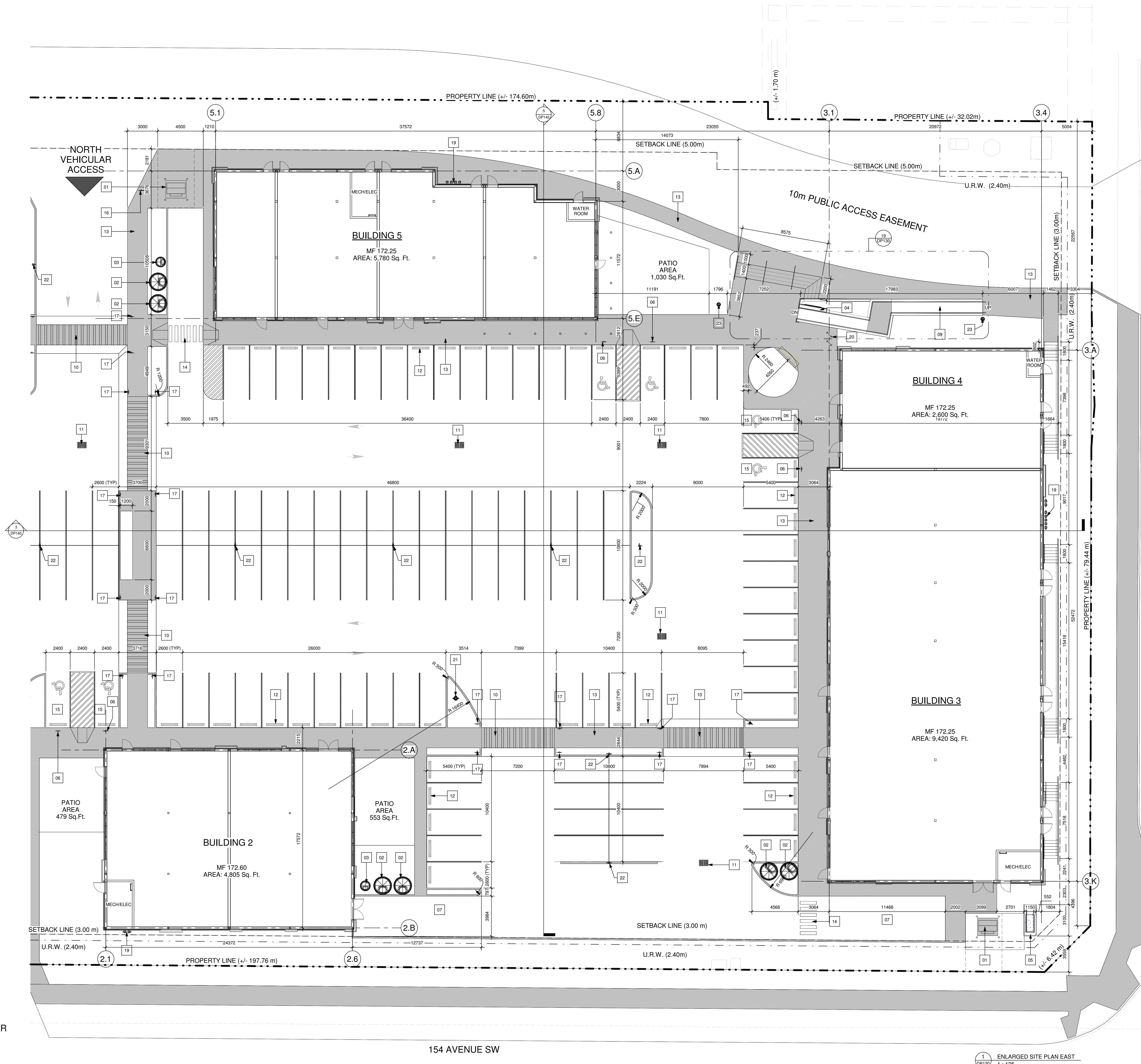
DRAWING No:

DP100

2025-12-10 9:31:25 AM



OVERALL SITE PLAN
1 : 250



- SITE PLAN KEYNOTES**
- 01 PROPOSED TRANSFORMER (REFER TO ELECTRICAL)
 - 02 WASTE & RECYCLING BIN "EARTH BIN EB500T, BLACK" (SEE 14/DP130)
 - 03 GREASE BIN "EARTH BIN EB130T, BLACK" (SEE 14/DP130)
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 - 05 PYLON SIGN (SEE 19 TO 22/DP130)
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 - 20 BIKE RACKS (TOTAL= 10 UNITS)
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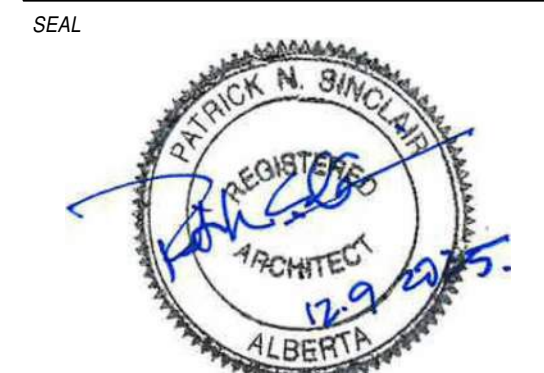
PROJECT:
Vermilion Hill Commercial

SHEET TITLE:
ENLARGED SITE PLAN EAST

DATE: DEC 2025
SCALE: As indicated
DRAWN BY: TPE/G
PROJECT NO: 25.10.03

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CLIENT NAME:



PROJECT:
Vermilion Hill
Commercial

NW 1/4 36-22-02-W5M
SHEET TITLE:

BUILDING 1
ELEVATIONS

DATE: DEC 2025
SCALE: As indicated
DRAWN BY: TPEG
PROJECT No: 25.10.03

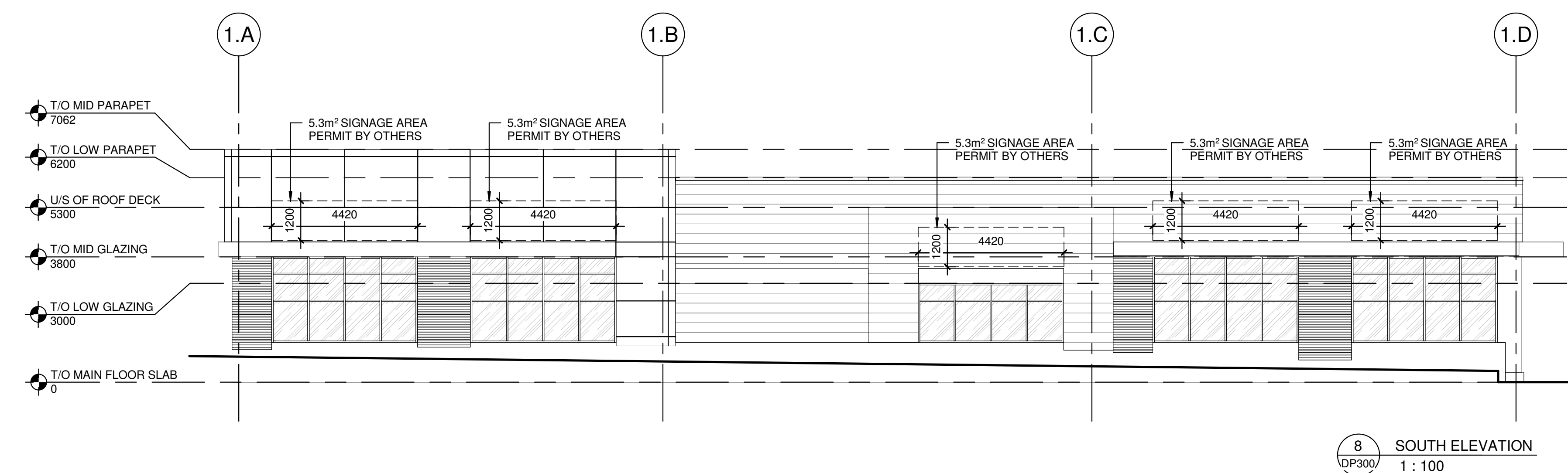
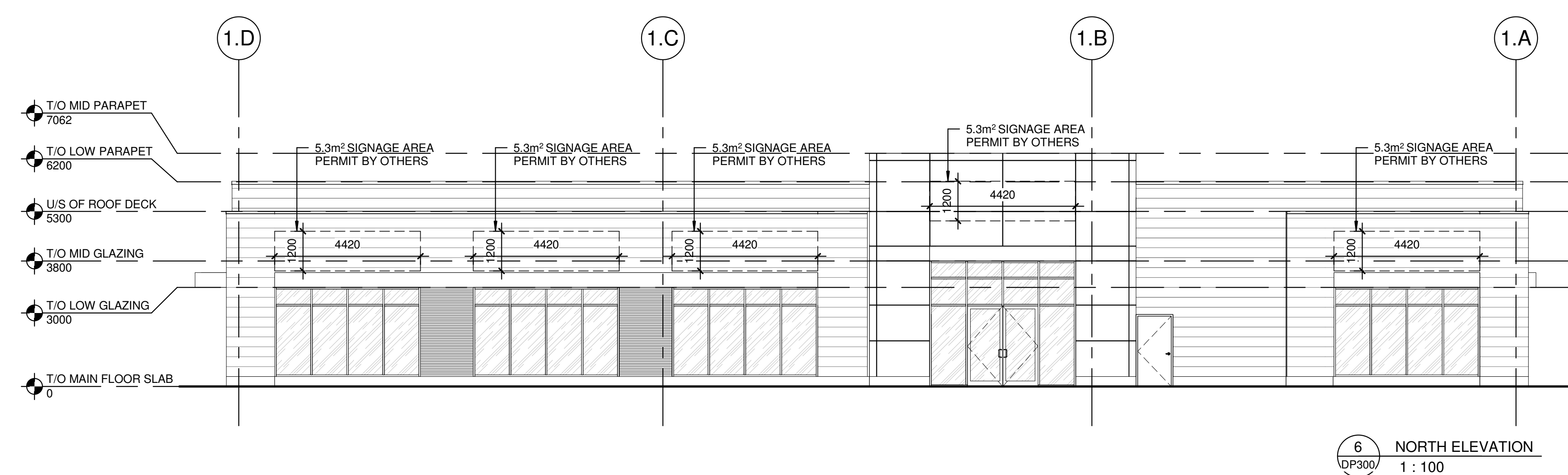
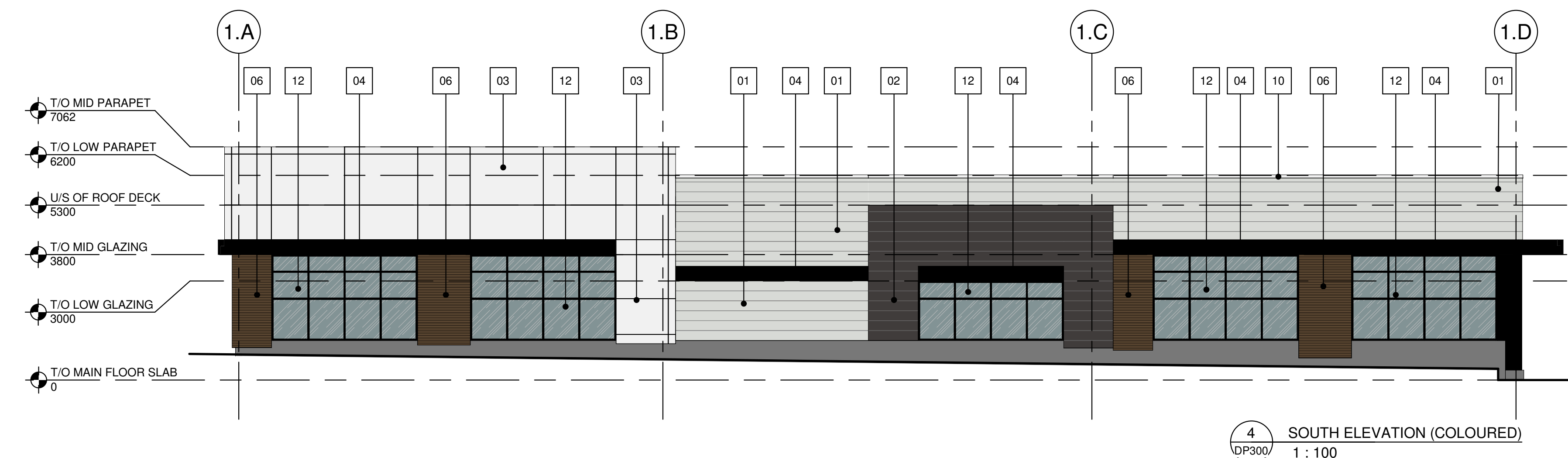
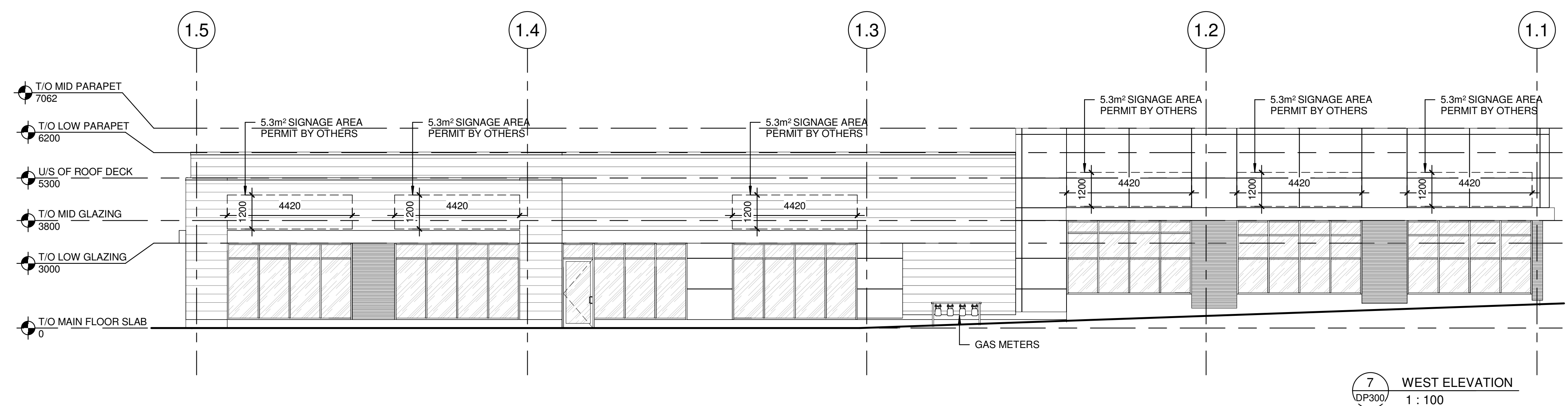
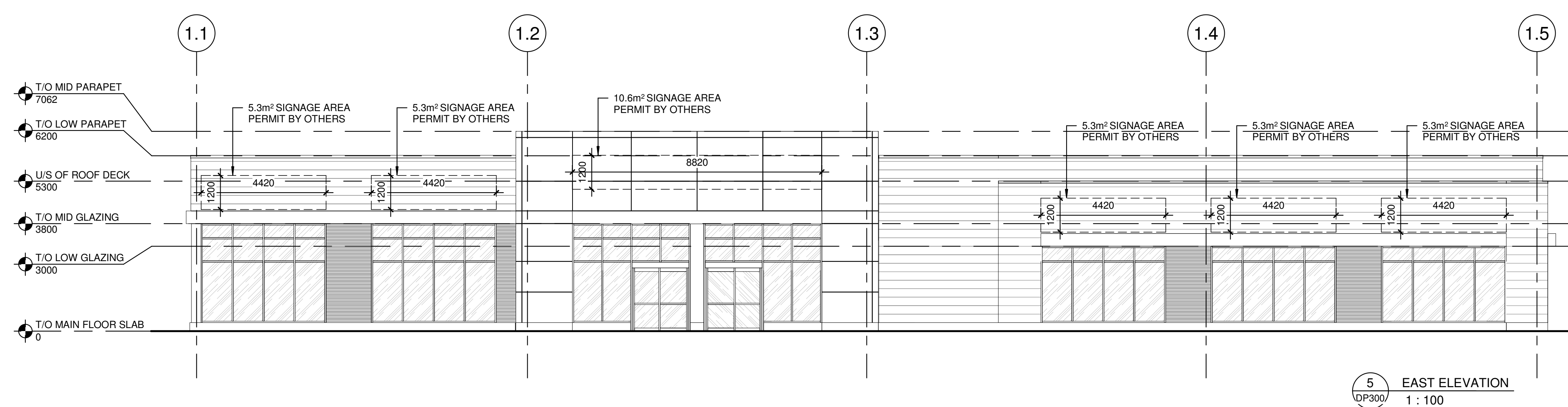
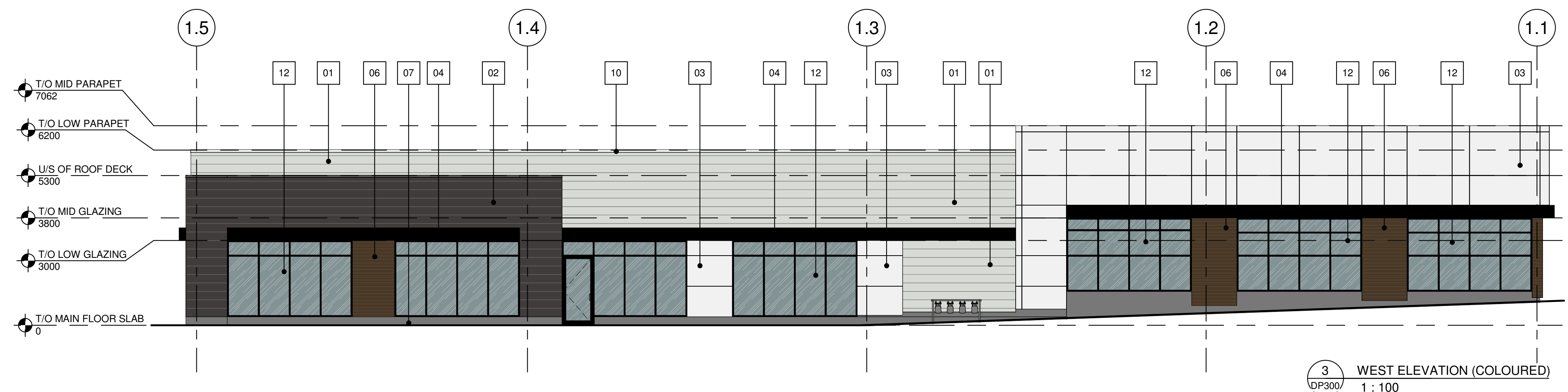
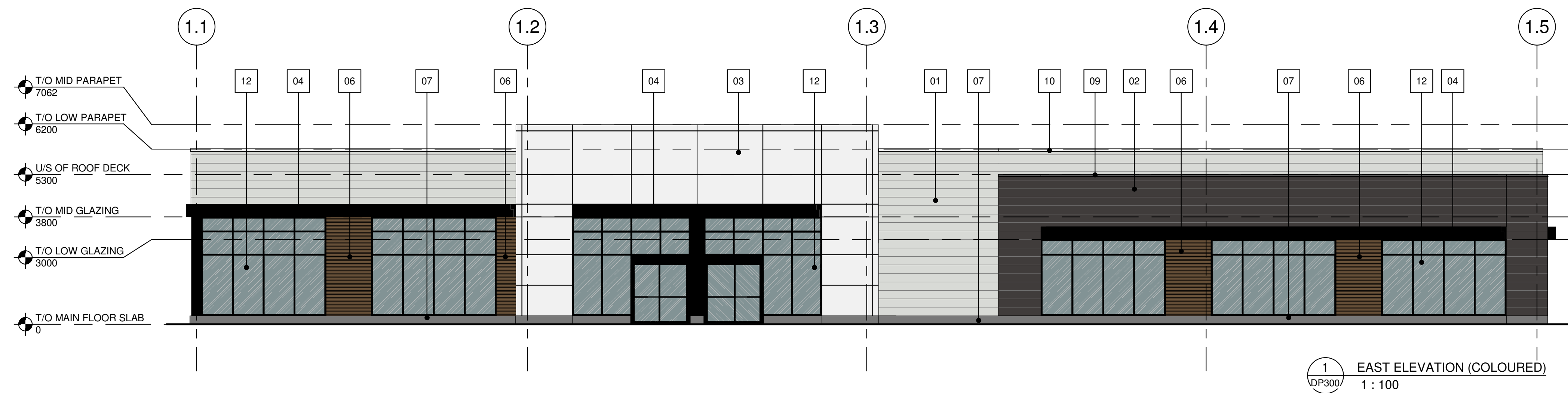
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MATERIAL LEGEND

- | | |
|----|---|
| 01 | CERACLAD FH7272A ELEMENTS "ASHLAR SLATE" |
| 02 | CERACLAD FH7275A ELEMENTS "BLACKEN STEEL" |
| 03 | ACM 4mm ALPOLIC "BNT WHITE STOCK" WITH REVEALS |
| 04 | ACM 4mm ALPOLIC "TOB BLACK" WITH REVEALS |
| 05 | ACM 4mm ALPOLIC "MATTE SLATE BLACK" WITH REVEALS |
| 06 | LONGBOARD LINK & LOCK "LIGHT NATIONAL WALNUT" WITH BLACK BACKGROUND |
| 07 | PRE-CAST CONCRETE BASE |
| 08 | CONCRETE FACED INSULATED PANELS |
| 09 | CAP FLASHING VIOWEST CHARCOAL 16072 |
| 10 | CAP FLASHING VIOWEST CAMBRIDGE WHITE 16161 |
| 11 | FLASHING BRAKESHAPE VIOWEST BLACK 16068 |
| 12 | STOREFRONT GLAZING SYSTEM, BLACK ALUMINUM WITH CLEAR GLASS |
| 13 | SOLID DOOR, SHERWIN WILLIAMS SW 7005 PURE WHITE |
| 14 | STEEL CANOPY SW 6993 BLACK OF NIGHT |

NOTE:

PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL



MATERIAL LEGEND

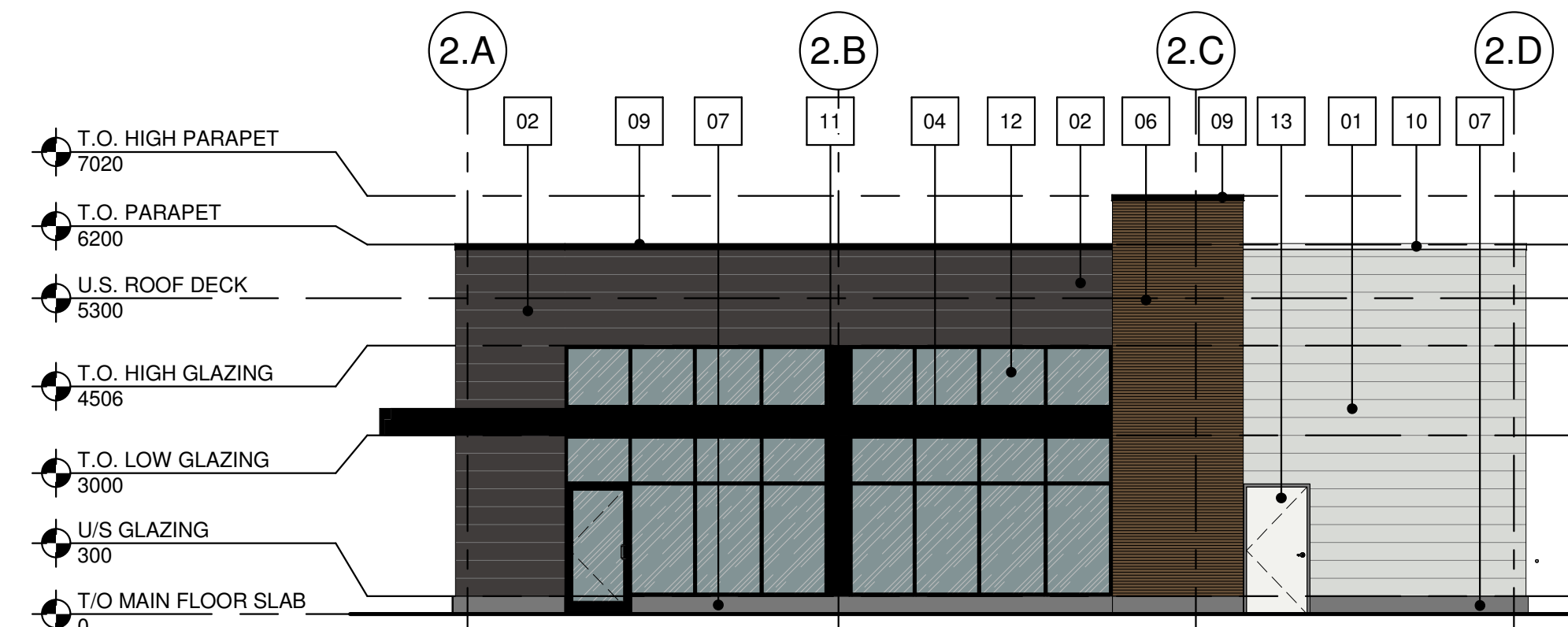
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|----|---|
| 01 | CERACLAD FH7272A ELEMENTS "ASHLAR SLATE" |
| 02 | CERACLAD FH7275A ELEMENTS "BLACKEN STEEL" |
| 03 | ACM 4mm ALPOLIC "BNT WHITE STOCK" WITH REVEALS |
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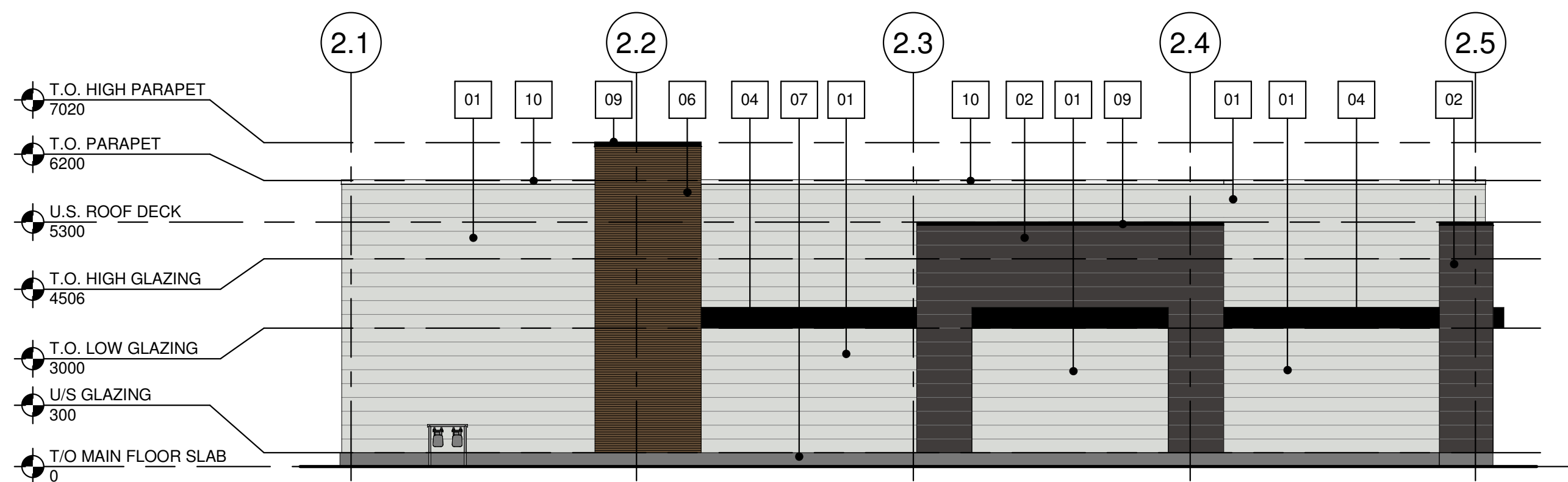
PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL



1 NORTH ELEVATION (COLOURED)
1 : 100



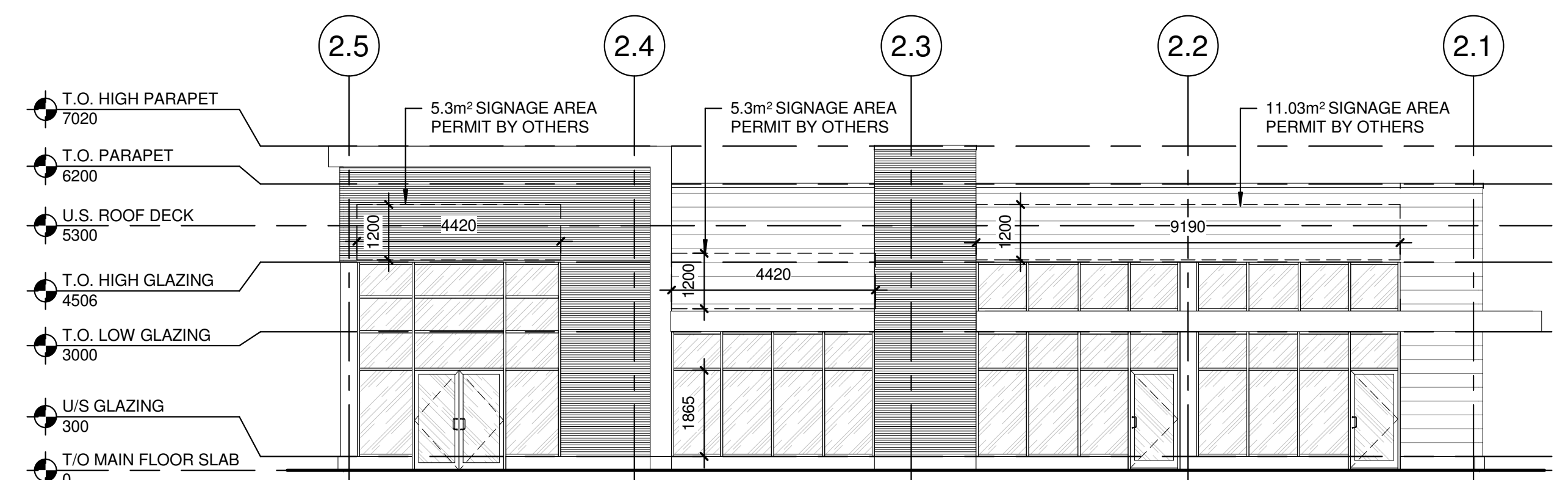
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1 : 100



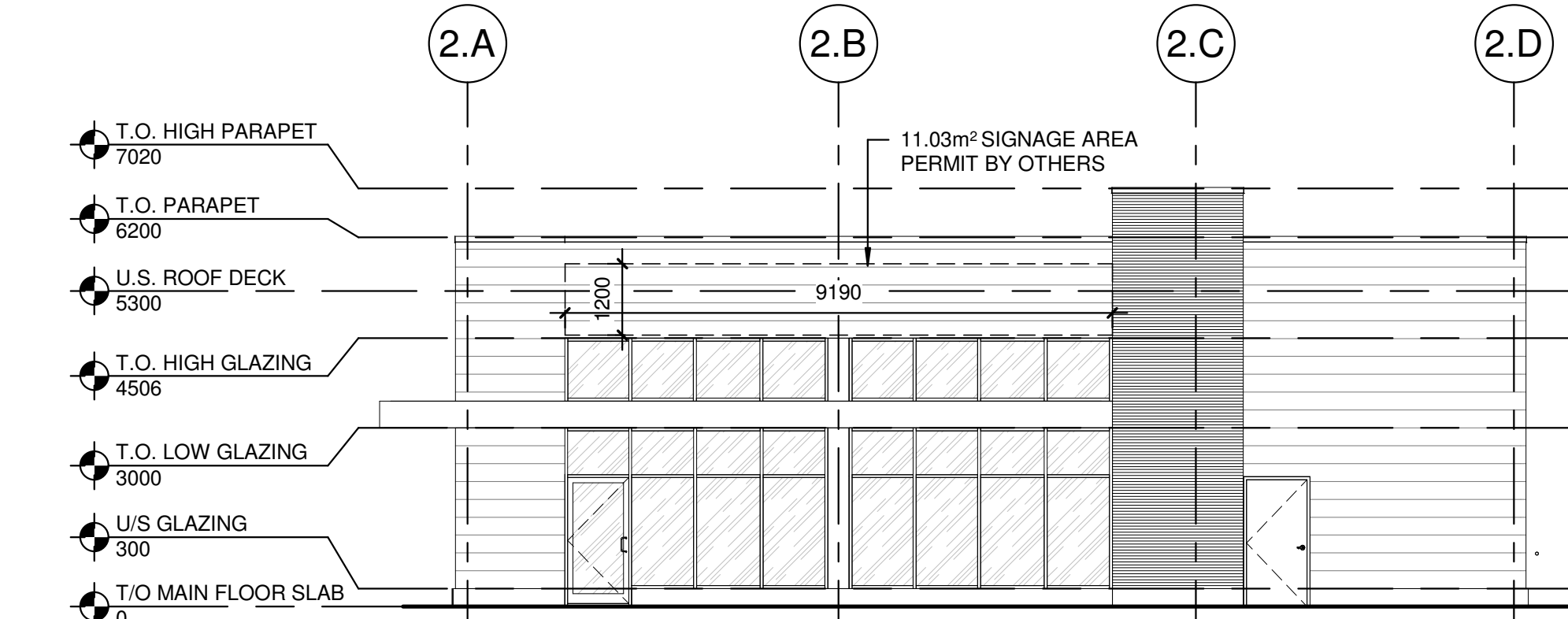
3 SOUTH ELEVATION (COLOURED)
1 : 100



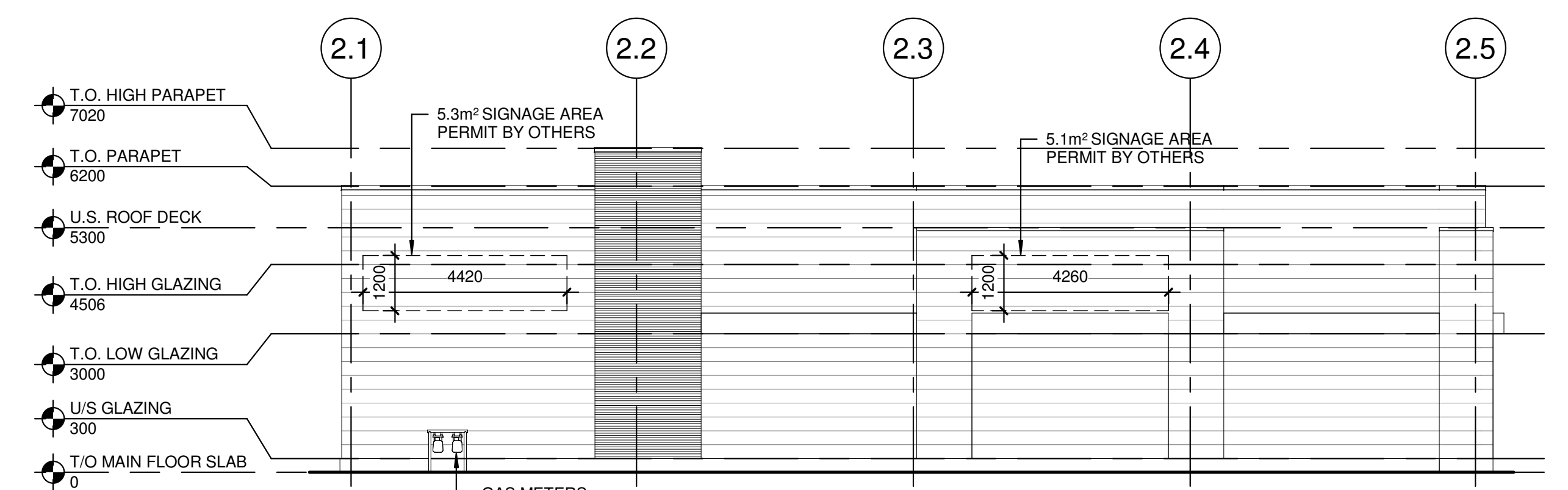
4 EAST ELEVATION (COLOURED)
1 : 100



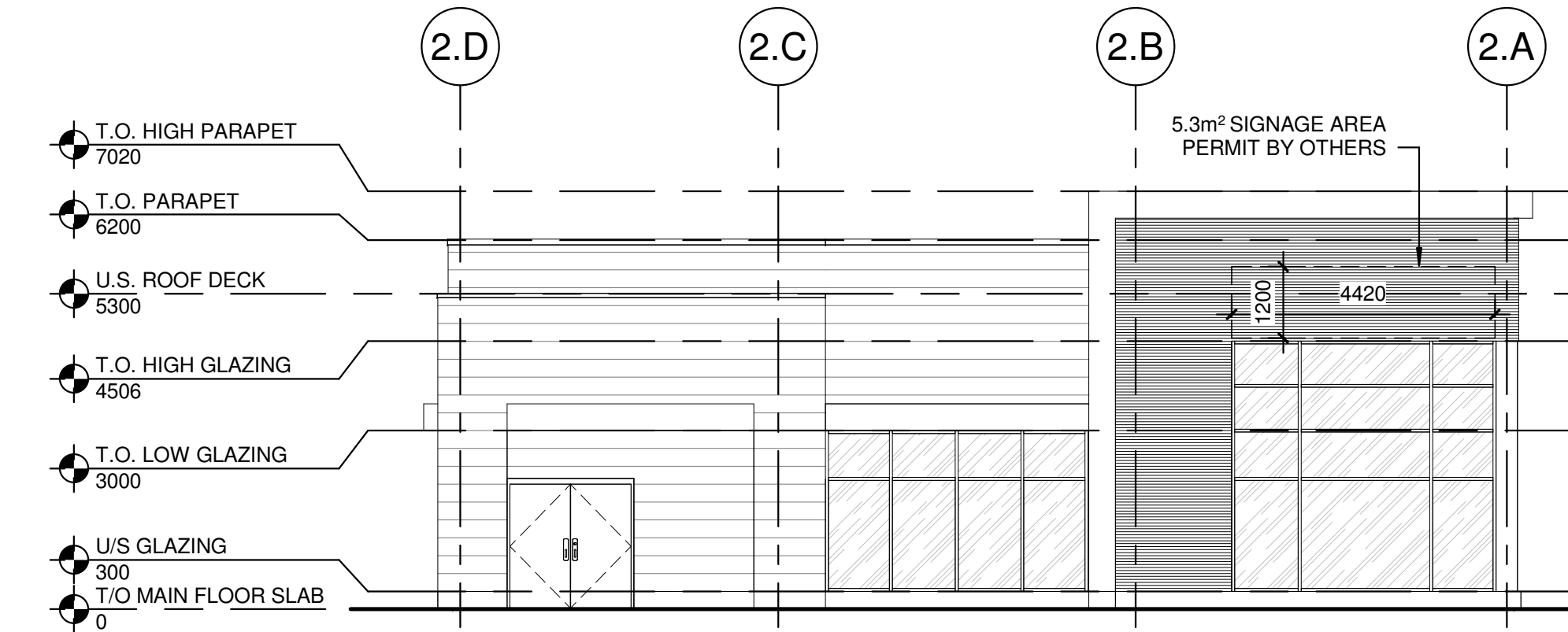
5 NORTH ELEVATION
1 : 100



6 WEST ELEVATION
1 : 100



7 SOUTH ELEVATION
1 : 100

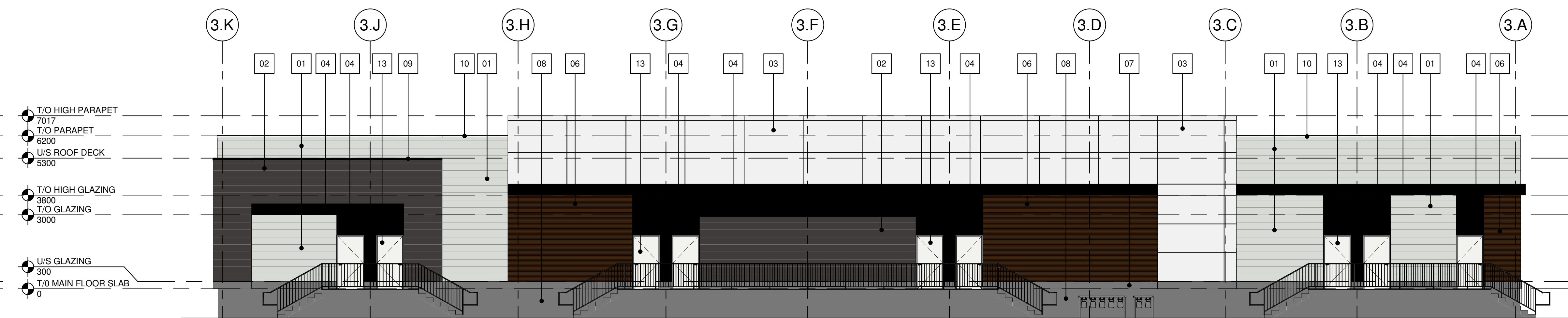


8 EAST ELEVATION
1 : 100

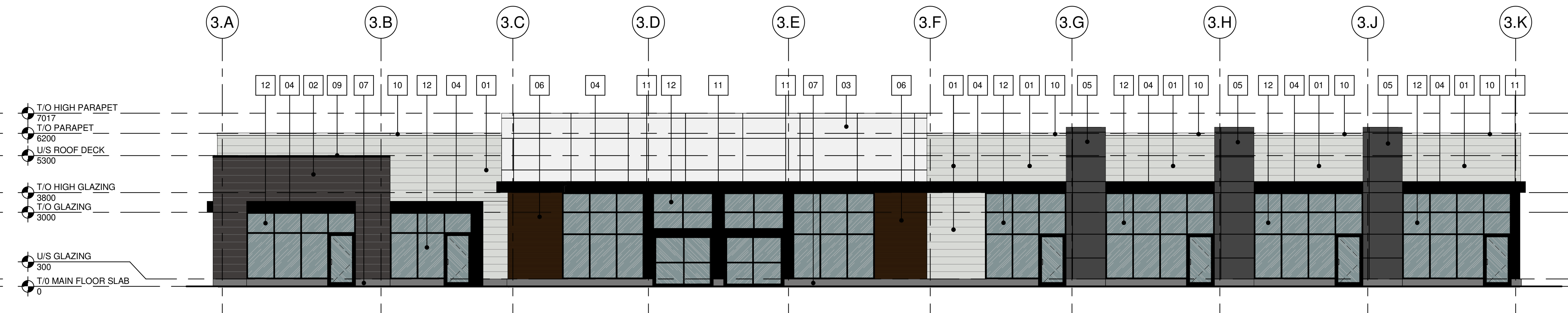
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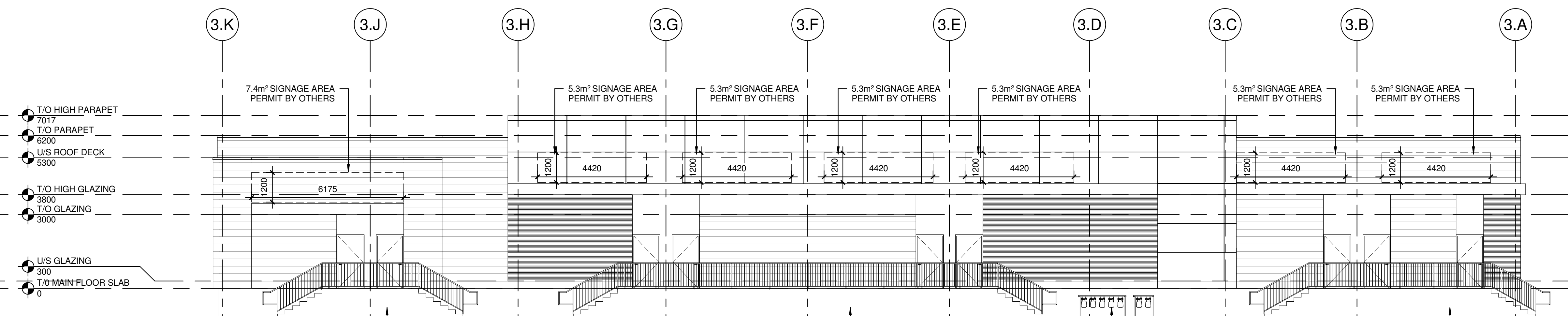
PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL



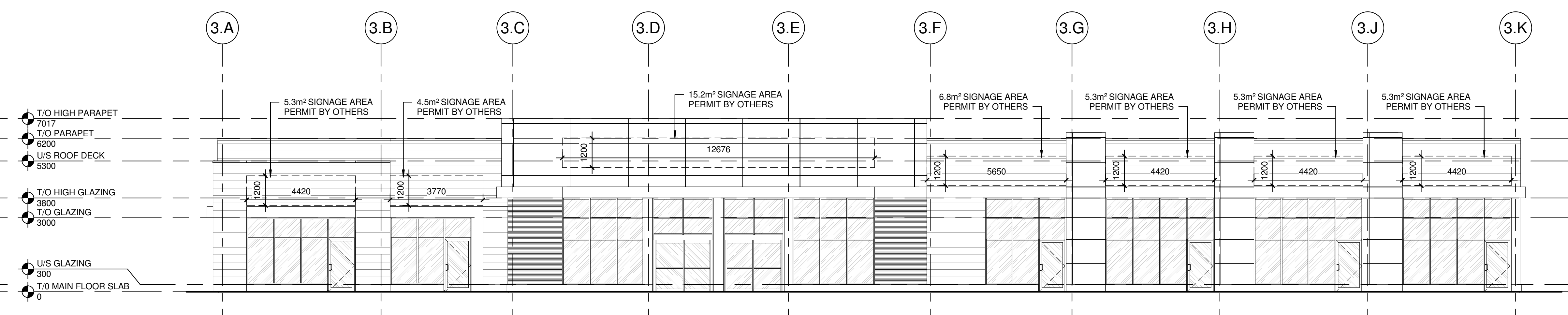
2 EAST ELEVATION - COLOUR
DP320 1 : 100



4 WEST ELEVATION - COLOUR
DP320 1 : 100



6 EAST ELEVATION
DP320 1 : 100



8 WEST ELEVATION
DP320 1 : 100



PROJECT:
**Vermilion Hill
Commercial**

NW 1/4 36-22-02-W5M

**BUILDING 3 & 4
ELEVATIONS**

DATE:	DEC 2025
SCALE:	As indicated
DRAWN BY:	TP/EG
PROJECT No:	25.10.02

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Vancouver, BC
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DRAWING No:

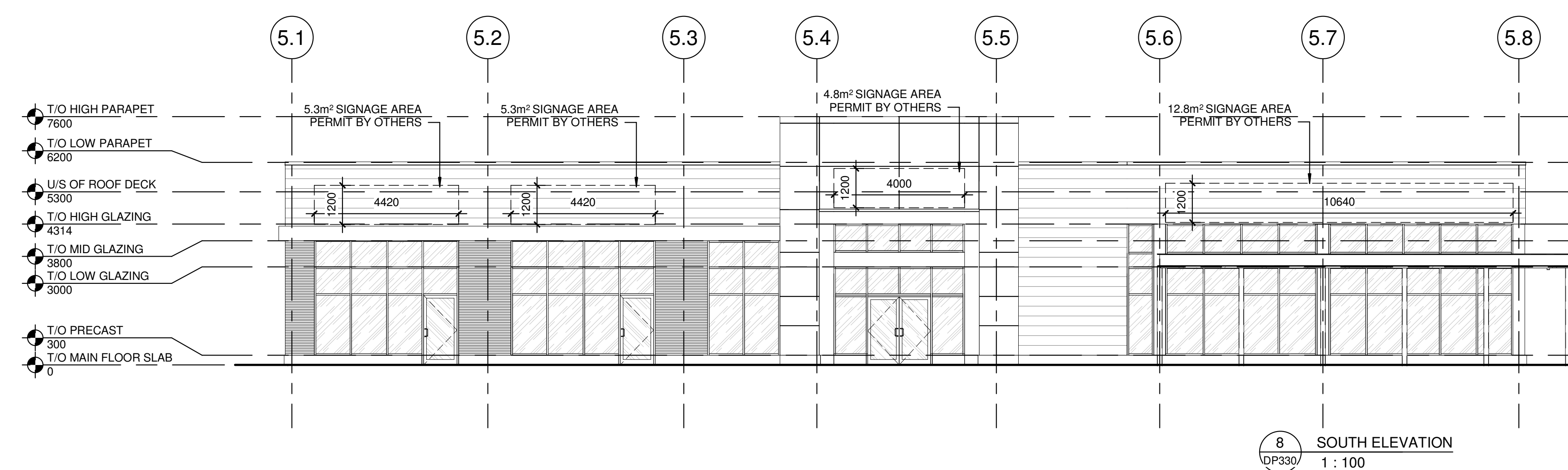
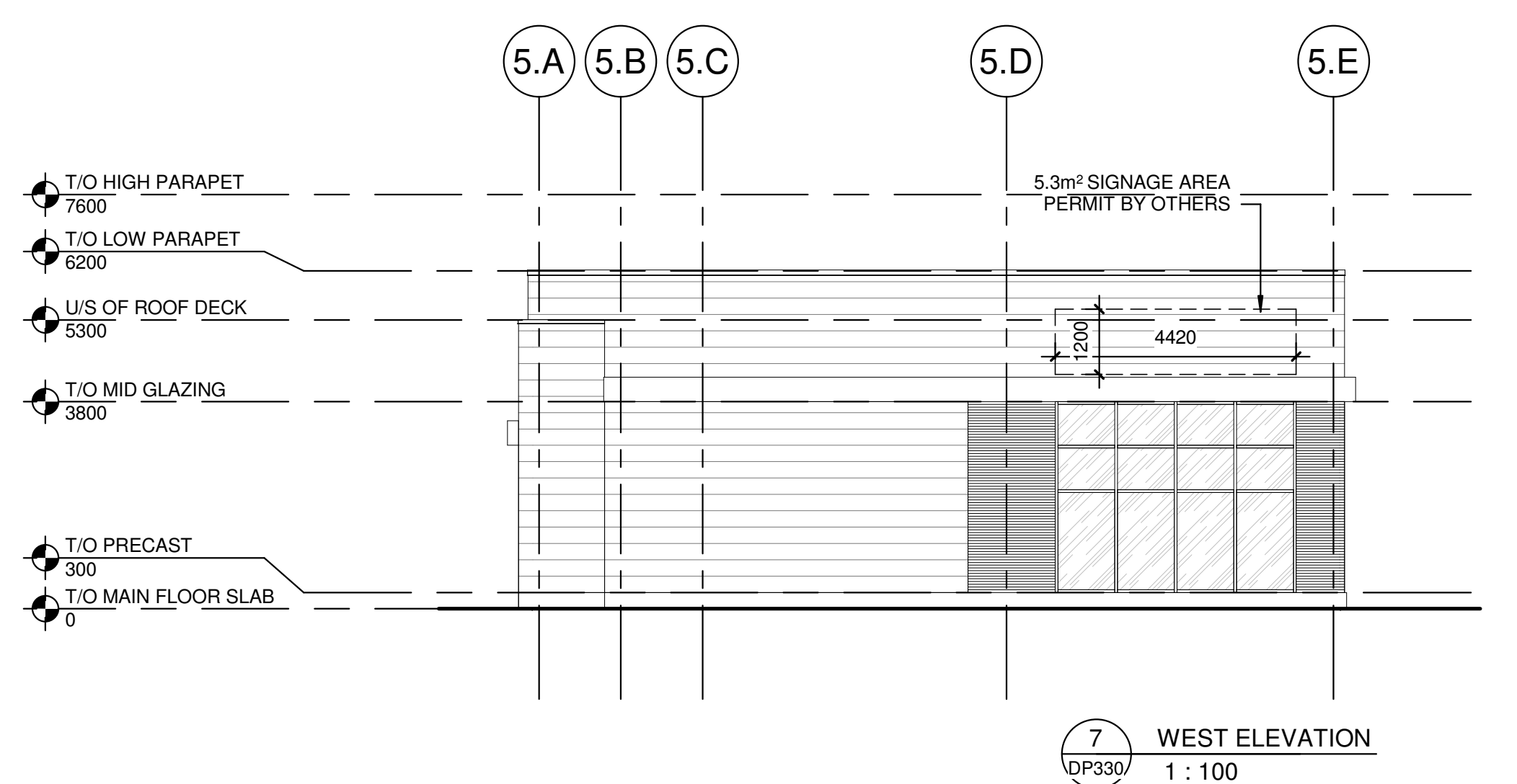
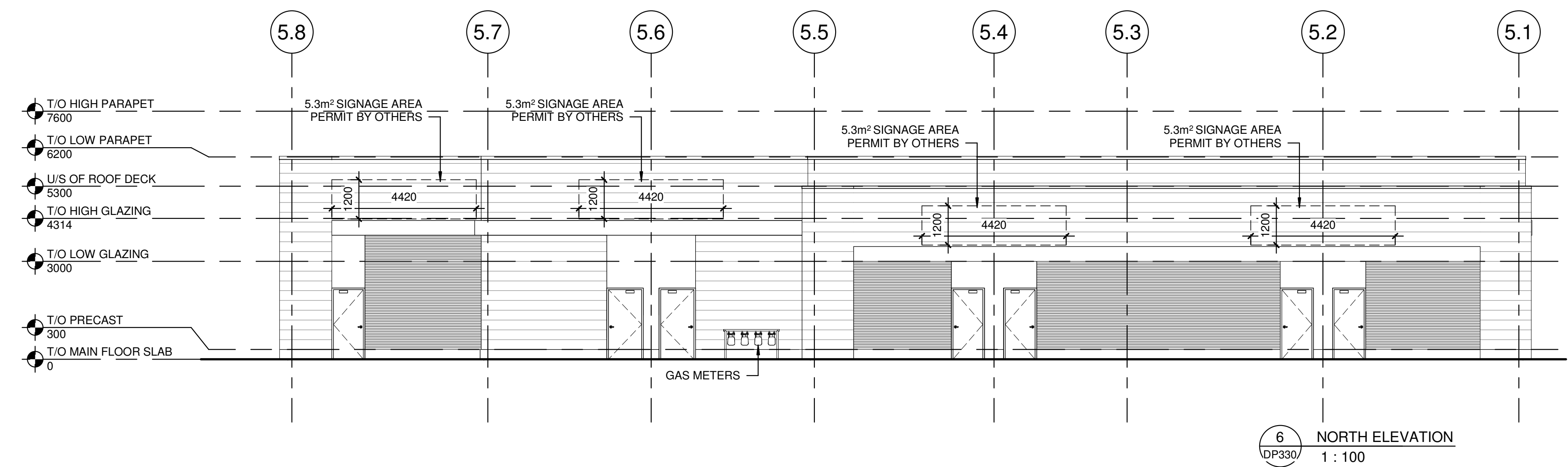
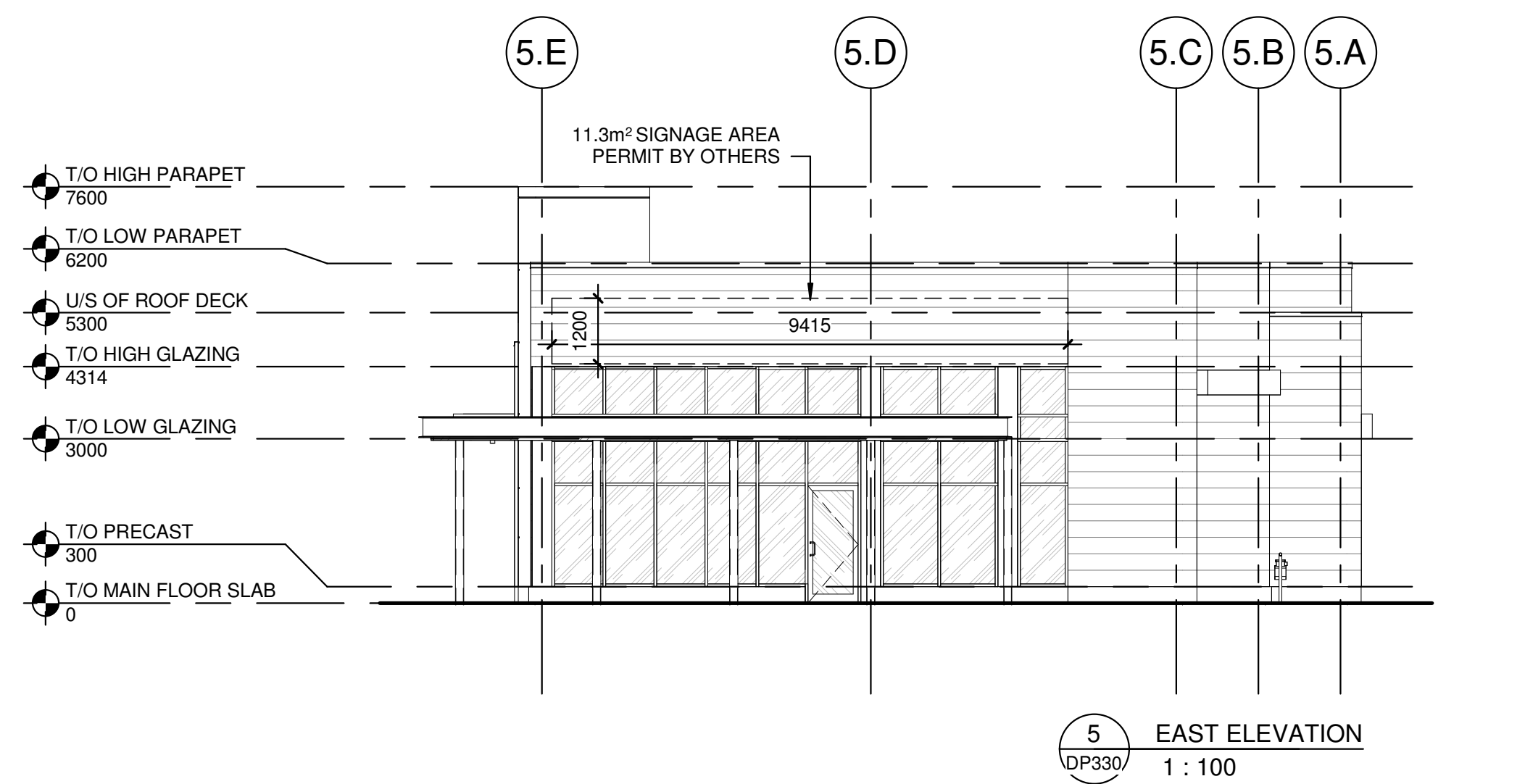
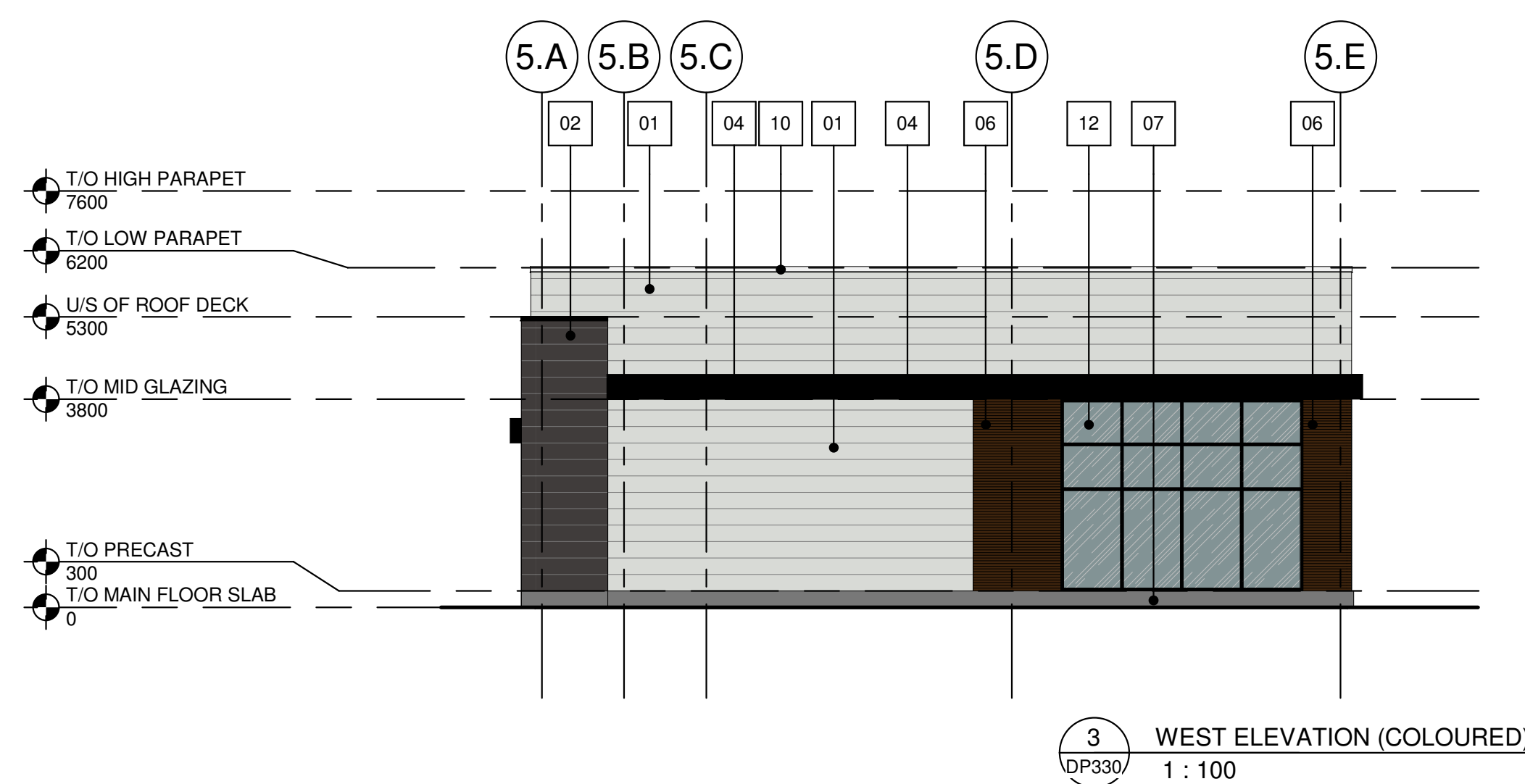
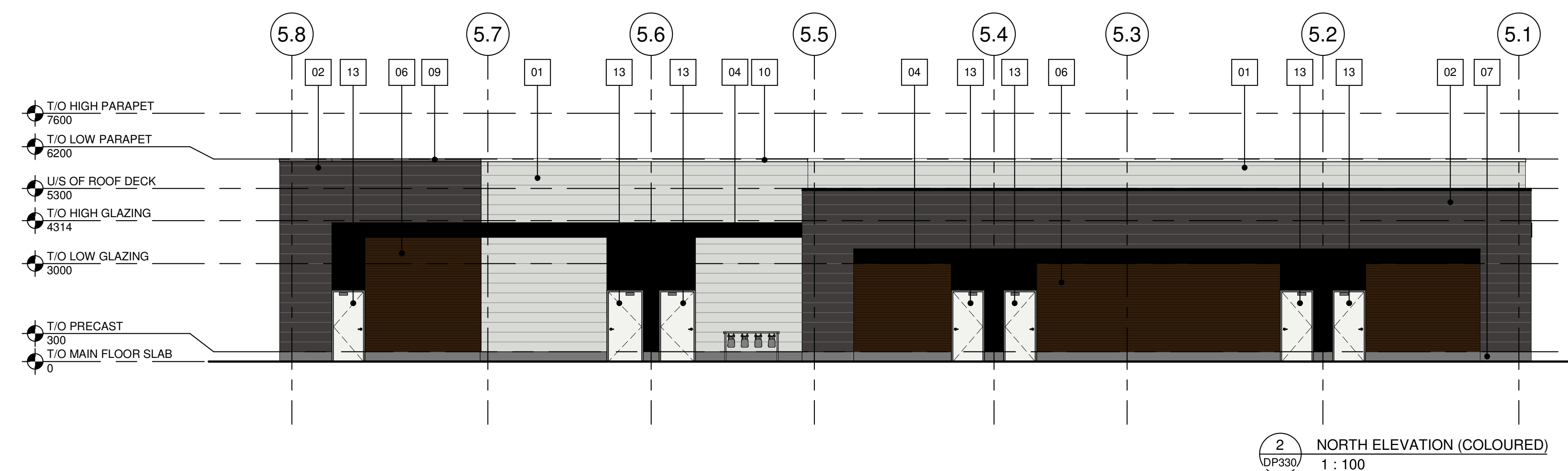
DP320

MATERIAL LEGEND

- | | |
|----|---|
| 01 | CERACLAD FH7272A ELEMENTS "ASHLAR SLATE" |
| 02 | CERACLAD FH7275A ELEMENTS "BLACKEN STEEL" |
| 03 | ACM 4mm ALPOLIC "BNT WHITE STOCK" WITH REVEALS |
| 04 | ACM 4mm ALPOLIC "TOB BLACK" WITH REVEALS |
| 05 | ACM 4mm ALPOLIC "MATTE SLATE BLACK" WITH REVEALS |
| 06 | LONGBOARD LINK & LOCK "LIGHT NATIONAL WALNUT" WITH BLACK BACKGROUND |
| 07 | PRE-CAST CONCRETE BASE |
| 08 | CONCRETE FACED INSULATED PANELS |
| 09 | CAP FLASHING VICWEST CHARCOAL 16072 |
| 10 | CAP FLASHING VICWEST CAMBRIDGE WHITE 16161 |
| 11 | FLASHING BRAKESHAPE VICWEST BLACK 16098 |
| 12 | STOREFRONT GLAZING SYSTEM, BLACK ALUMINUM WITH CLEAR GLASS |
| 13 | SOLID DOOR, SHERWIN WILLIAMS SW 7005 PURE WHITE |
| 14 | STEEL CANOPY SW 6993 BLACK OF NIGHT |

NOTE:

PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL



SEAL



NOT FOR CONSTRUCTION

CLIENT NAME:



PROJECT:
Vermilion Hill Commercial

NW 1/4 36-22-02-W5M

SHEET TITLE:

BUILDING 5 ELEVATIONS

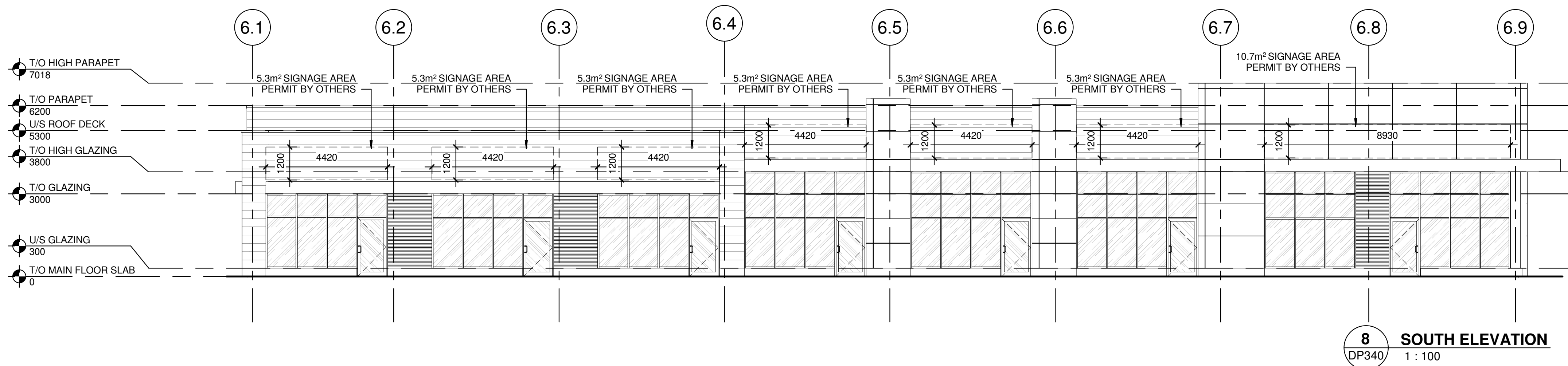
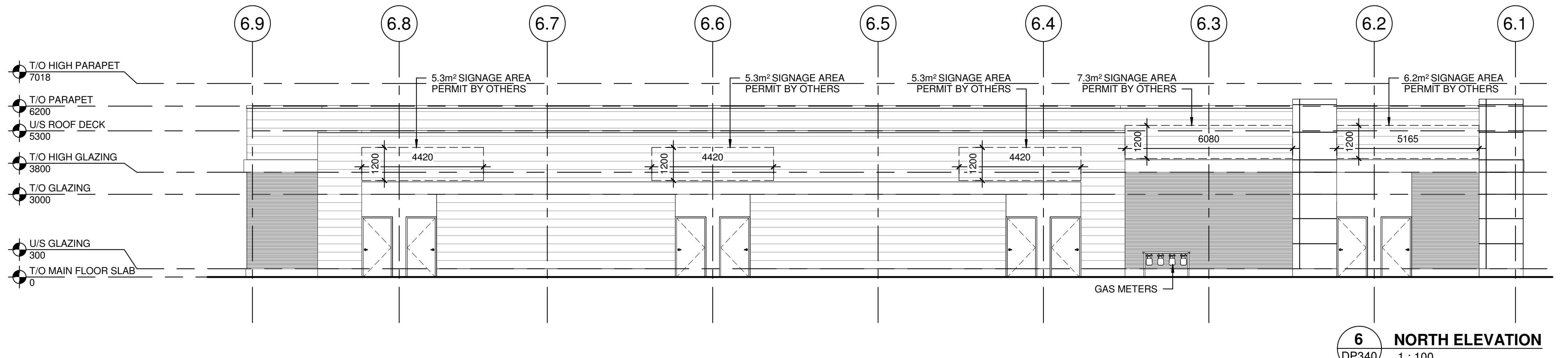
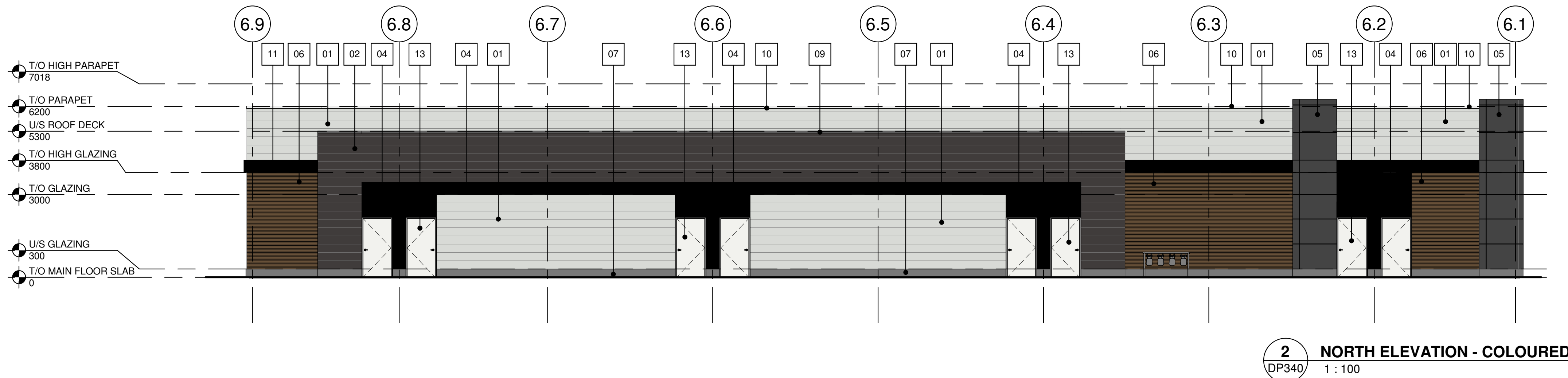
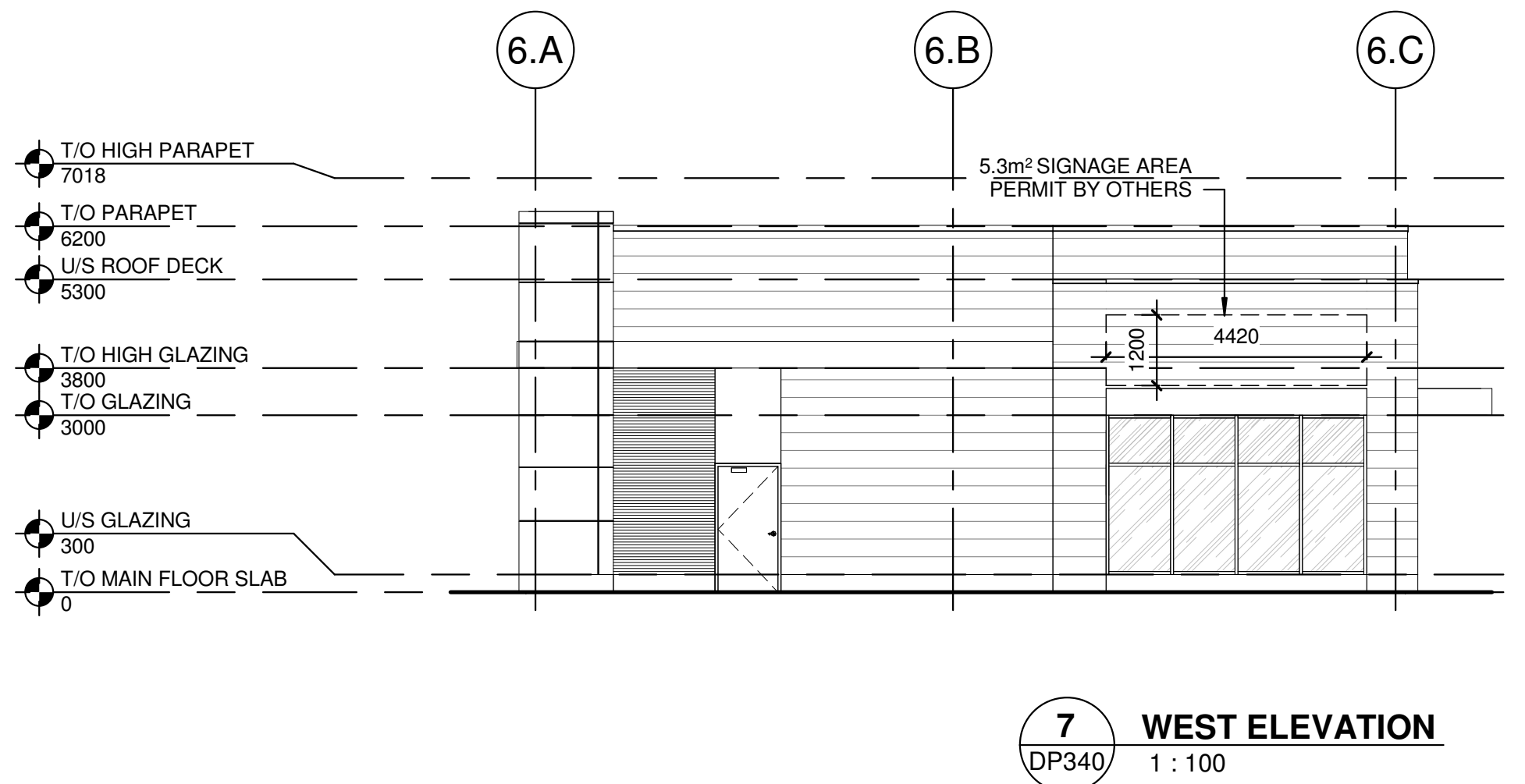
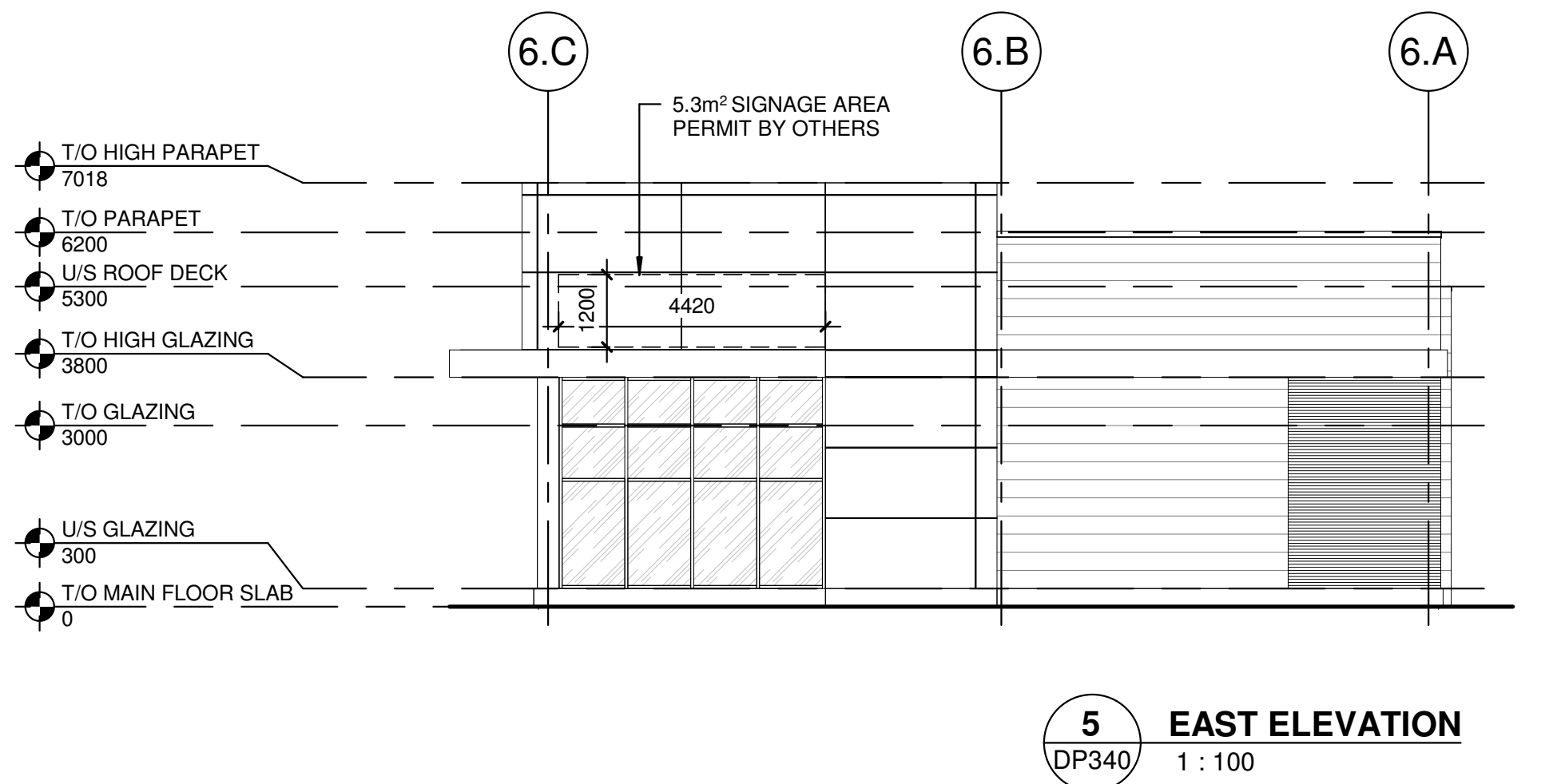
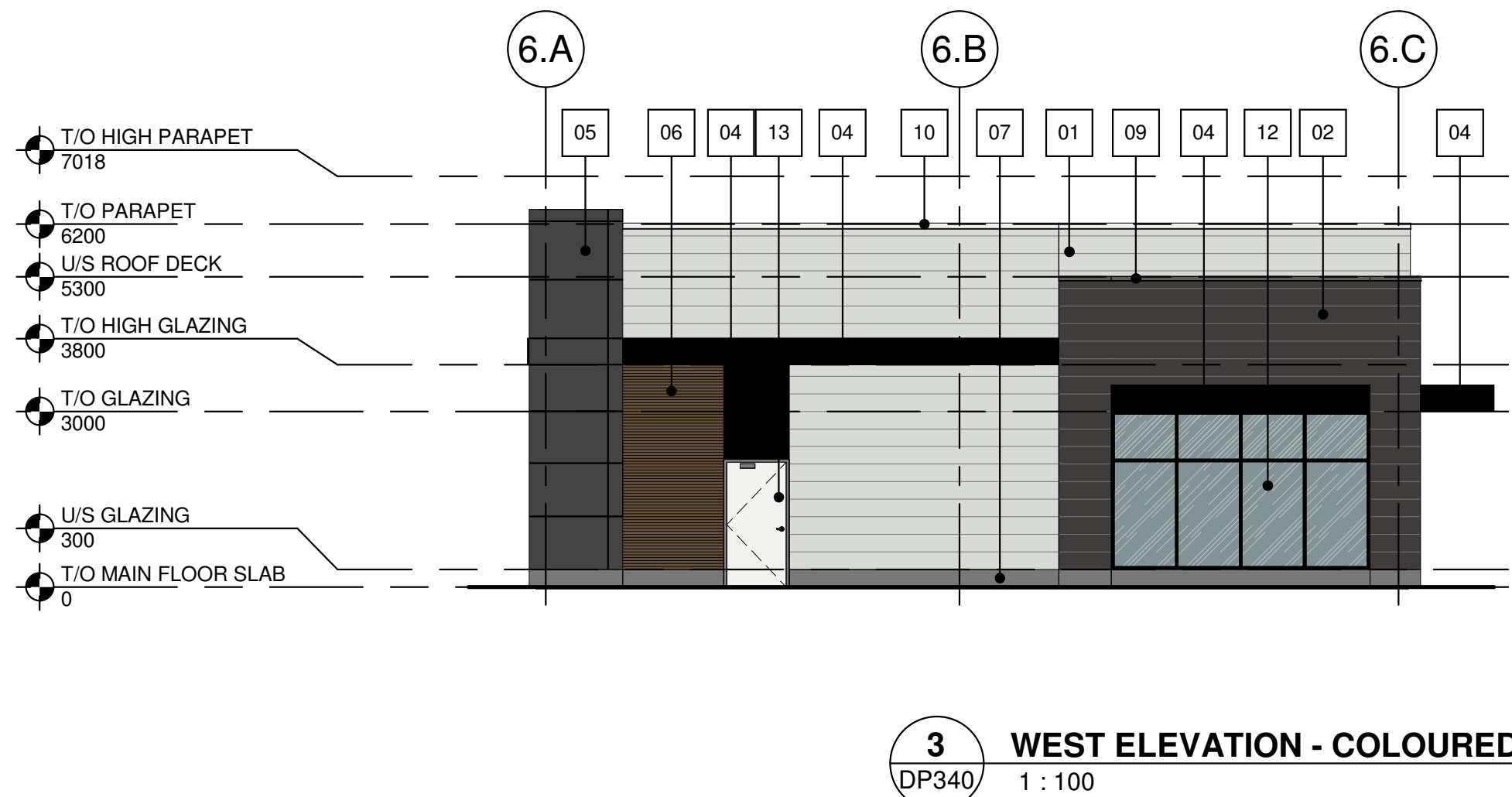
DATE: DEC 2025
SCALE: As indicated
DRAWN BY: TP/EG
PROJECT No: 25.10.02

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Vancouver, BC
Canada V6C 2B8

DRAWING No:

DP330

2025-12-09 4:07:45 PM



MATERIAL LEGEND	
01	CERACLAD FH7272A ELEMENTS "ASHLAR SLATE"
02	CERACLAD FH7275A ELEMENTS "BLACKEN STEEL"
03	ACM 4mm ALPOLIC "BNT WHITE STOCK" WITH REVEALS
04	ACM 4mm ALPOLIC "TOB BLACK" WITH REVEALS
05	ACM 4mm ALPOLIC "MATTE SLATE BLACK" WITH REVEALS
06	LONGBOARD LINK & LOCK "LIGHT NATIONAL WALNUT" WITH BLACK BACKGROUND
07	PRE-CAST CONCRETE BASE
08	CONCRETE FACED INSULATED PANELS
09	CAP FLASHING VICWEST CHARCOAL 16072
10	CAP FLASHING VICWEST CAMBRIDGE WHITE 16161
11	FLASHING BRAKESHAPE VICWEST BLACK 16068
12	STOREFRONT GLAZING SYSTEM, BLACK ALUMINUM WITH CLEAR GLASS
13	SOLID DOOR, SHERWIN WILLIAMS SW 7005 PURE WHITE
14	STEEL CANOPY SW 6993 BLACK OF NIGHT
NOTE:	
PROVIDE PRE-FINISHED METAL FLASHING ABOVE ALL OPENINGS (DOORS, WINDOWS, LOUVERS, ETC.). METAL FLASHING FINISH TO BE MATCHING THE ADJACENT MATERIAL	

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ISSUED FOR:		
#	DATE	DESCRIPTION
01	2025.12.05	ISSUED FOR DEVELOPMENT PERMIT



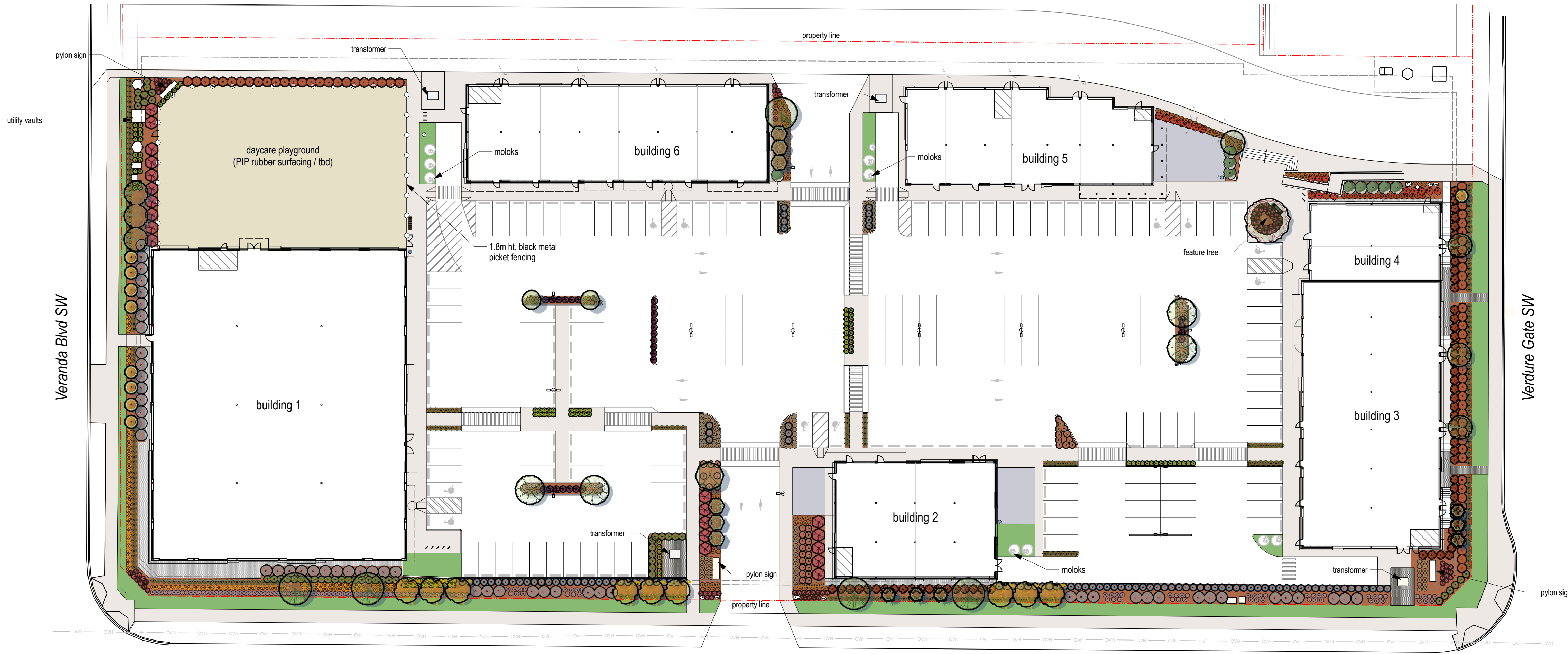
PROJECT:
Vermilion Hill Commercial

NW 1/4 36-22-02-W5M
SHEET TITLE:
BUILDING 6 ELEVATIONS

DATE: DEC 2025
SCALE: As indicated
DRAWN BY: TPEG
PROJECT No: 25.10.02

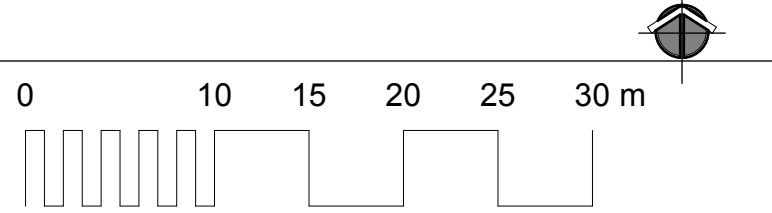
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• 100, 100 Burrard St.
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DRAWING No:
DP340



1 landscape plan
1:400

154 Ave SW



legend

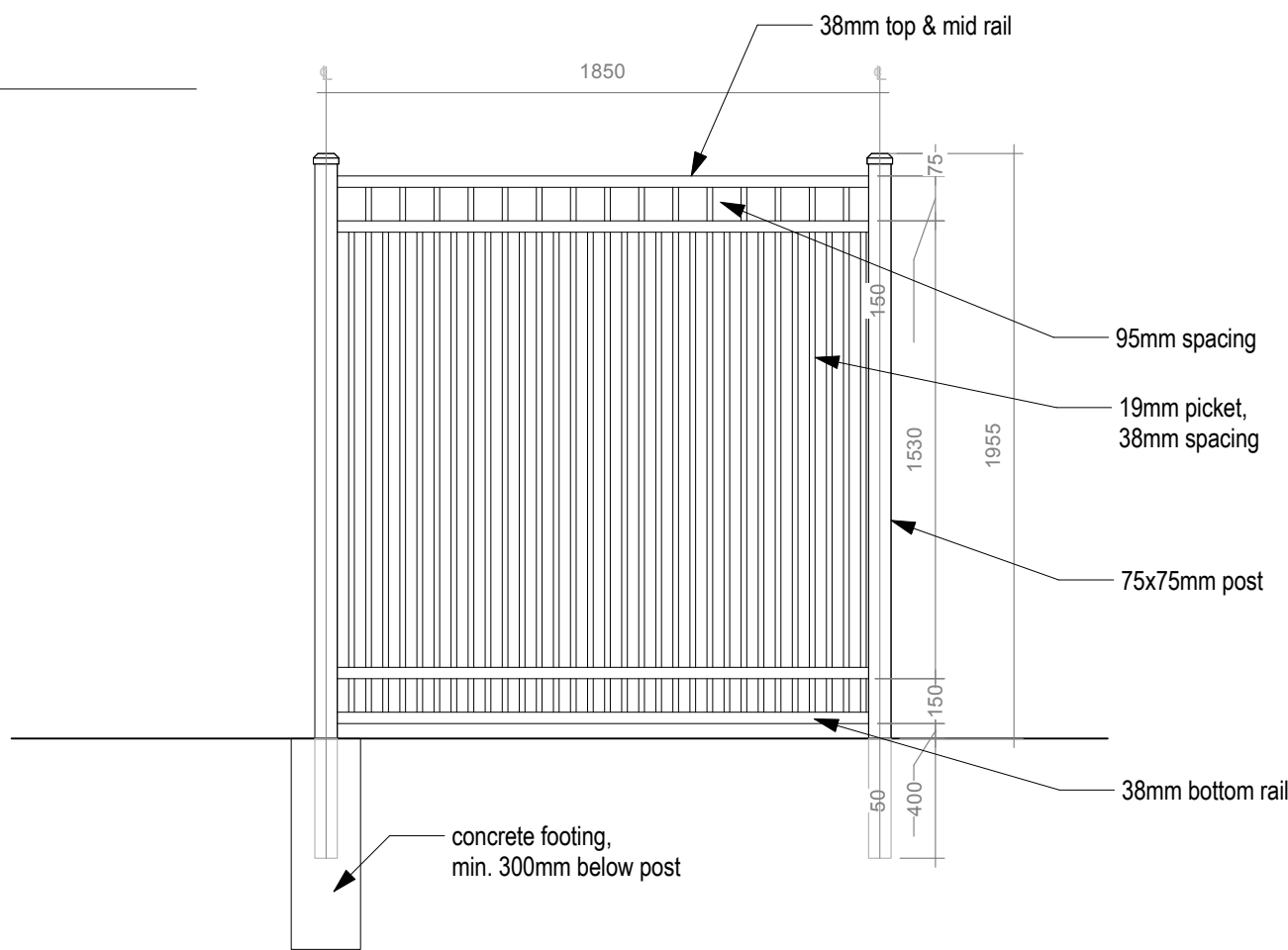
- 20mm ø clear crush aggregate (natural) at 150mm depth
- 20mm ø washed round rock (natural tan/grey mix) at 75mm depth
- medium grey coloured + broomed concrete
- standard broomed concrete with saw-cut control joints
- planting bed 450mm depth topsoil + 100mm depth bark mulch
- low water fescue sod on 300mm depth topsoil

- bench
- trash receptacle
- bike rack, 2 stalls
- decorative boulders



furniture palette
nls

2 1.8m ht. black metal fence
1:25



shrubs

- mordensnow potentilla**
Potentilla fruticosa 'Morden Snowle'
Qty: 9 #5 container 600mm height
- arctic fire dogwood**
Cornus stolonifera 'Yarrow'
Qty: 21 #5 container 600mm min height + spread
- alpine currant**
Ribes alpinum
Qty: 65 #5 container 600mm min height + spread
- black lace elder**
Sambucus nigra 'Eva'
Qty: 27 #5 container 600 min height or spread
- blue rug juniper**
Juniperus horizontalis 'Blue Chip'
Qty: 46 #5 container 600mm min height or spread
- dwarf mugo pine**
Pinus mugo var. *pumilio*
Qty: 98 #5 container 600mm min height or spread
- dwarf korean lilac**
Syringa meyeri 'Palibin'
Qty: 37 #5 container 600mm min height or spread
- golden flowering currant**
Ribes aureum
Qty: 112 #5 container 600mm min height or spread
- nannyberry**
Viburnum lentago
Qty: 20 #5 container 600mm min height + spread
- red osier dogwood**
Cornus sericea
Qty: 62 #5 container 600mm min height + spread
- wood's rose**
Rosa woodsii
Qty: 19 #5 container 600 mm min height + spread
- silver buffaloberry**
Shepherdia argentea
Qty: 52 #5 container 600mm min height or spread
- skandia juniper**
Juniperus sabina 'Skandia'
Qty: 238 #5 container 600mm min height or spread

perennials

- blue dune lyme grass**
Leymus arenarius 'Blue Dune'
Qty: 131 #2 container
- entrapment daylily**
Hemerocallis 'Entrapment'
Qty: 85 15 cm pot
- heavy metal blue switch grass**
Panicum virgatum 'Heavy Metal'
Qty: 175 #2 container
- prairie sky switch grass**
Panicum virgatum 'Prairie'
Qty: 101 #2 container
- northern lights tufted hair grass**
Deschampsia cespitosa 'Northern Lights'
Qty: 108 15 cm

land use bylaw landscape requirements

City of Calgary Zoning:

total parcel area	17,603.83 m2
total landscape area	1,975 m2
3.0m front setback area: (south)	590.50 m2
3.0m rear setback area: (north)	625.00 m2
3.0m side setback area: (east)	218.00 m2
3.0m side setback area: (west)	250.77 m2
total setback area	1684.27 m2

note: low irrigation system to be utilized per 751.2tbl 1 + 2 shrubs for every 50m2 of setback area

total number of trees required in setback areas	required	provided
3.0m front setback area: (south)	12	16
3.0m rear setback area: (north)	13	0
3.0m side setback area: (east)	4	7
3.0m side setback area: (west)	5	11
trees in setback	34	34

* due to roadway along the north setback, additional trees have been planted in other setback areas on site

total number of shrubs required in setback areas	required	provided
3.0m front setback area: (south)	24	275
3.0m rear setback area: (north)	25	0
3.0m side setback area: (east)	9	149
3.0m side setback area: (west)	10	87
total shrubs in setback	68	511

trees

- bur oak**
Quercus macrocarpa
Qty: 5 50mm caliper balled and burlapped
- lodgepole pine**
Pinus contorta 'var. latifolia'
Qty: 6 2 m height
- lodgepole pine**
Pinus contorta 'var. latifolia'
Qty: 6 3m height balled and burlapped
- mayday**
Prunus padus 'var. commutata'
Qty: 1 75mm caliper balled and burlapped
- prairie spire green ash**
Fraxinus pennsylvanica 'Rugby'
Qty: 2 50mm caliper balled and burlapped
- showy mountain ash**
Sorbus decora
Qty: 1 75mm caliper balled and burlapped
- spring snow flowering crabapple**
Malus 'Spring Snow'
Qty: 4 75mm caliper balled and burlapped
- trembling aspen**
Populus tremuloides
Qty: 9 75mm caliper balled and burlapped
- true north linden**
Tilia americana 'Duros'
Qty: 1 75mm caliper balled and burlapped
- guardian columnar aspen**
Populus 'Jefguard'
Qty: 9 50mm caliper balled and burlapped
- paper birch**
Betula papyrifera
Qty: 6 75mm caliper balled and burlapped

total deciduous tree breakdown (75% of total trees)

	required	provided
large trees (50% min 75mm cal)	16	22
small trees (50% min 50mm cal)	16	16
total deciduous trees	32	38
total site coniferous tree breakdown (25% of total trees)	required	provided
large trees (50% 3.0m ht min)	5	6
small trees (50% 2.0m ht min)	5	6
total coniferous trees	10	12
total trees on site	41	50

parking lot total area* (including drive aisles, parking stalls & vehicular access)

	required	provided
parking lot landscaped areas (0.15 m2 for every 1.0 m2 of total surface area)	1,008.08	940.50
required parking lot islands start/end of parking rows (1 tree each)	8	6
parking strips (1 tree per 15.0m of length)	4	0
trees in landscaped areas around parking lot perimeter	12	15
total trees in parking lot	12	15

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for review and coordination only

notes

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- Do not scale drawings.
- Refer to Civil drawings for all grading information.
- All walkways are plain concrete unless noted otherwise.
- All landscape areas to be watered with an automatic underground irrigation system. Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
- All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.



EIGHT ONE EIGHT STUDIO
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1	revisions	YAM-D	by	XXX
number	revision	date	by	approved
3	DP submission			2025-12-09
2	90% DP coordination			2025-12-02
1	70% DP coordination			2025-11-19
issued for		date (y.m.d)		

vermillion hill
commercial

development permit

drawn	pmt	approved	rbg
checked	rbg	project number	04120.2
date	2025-09-30	sheet	DPL1
scale	as noted		