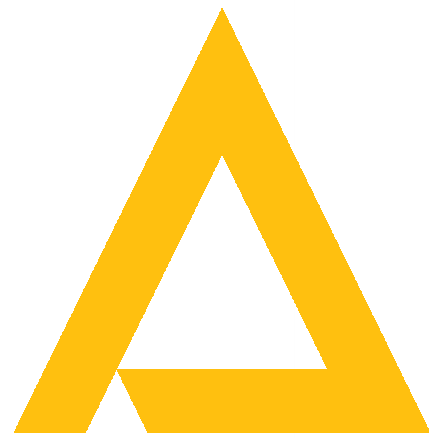


SAGE HILL CROSSING BMO

PROJECT NUMBER: 25-049

35 SAGE HILL GA NW



SHEET LIST_DP		
SHEET NO.	SHEET NAME	CONSULTANT
DP-00	COVER PAGE	ARCHITECTURA L
DP-01	OVERALL SITE PLAN	ARCHITECTURA L
DP-02	ENLARGED SITE PLAN	ARCHITECTURA L
DP-03	FLOOR PLAN & ROOF PLAN	ARCHITECTURA L
DP-04	ELEVATIONS / SECTIONS	ARCHITECTURA L
DP-05	SITE DETAILS	ARCHITECTURA L
DP-06	VEHICLE ACCESS STUDY	ARCHITECTURA L
C-100-DP	SITE SERVICING PLAN	CIVIL
C-200-DP	SITE GRADING PLAN	CIVIL
L1	LANDSCAPE PLAN	LANDSCAPING

ISSUED FOR DR1
26-02-23





OWNER / CLIENT
RioCan REIT
RioCan Yonge Eglinton Centre
2300 Yonge St, Suite 2200
1-800-465-2733



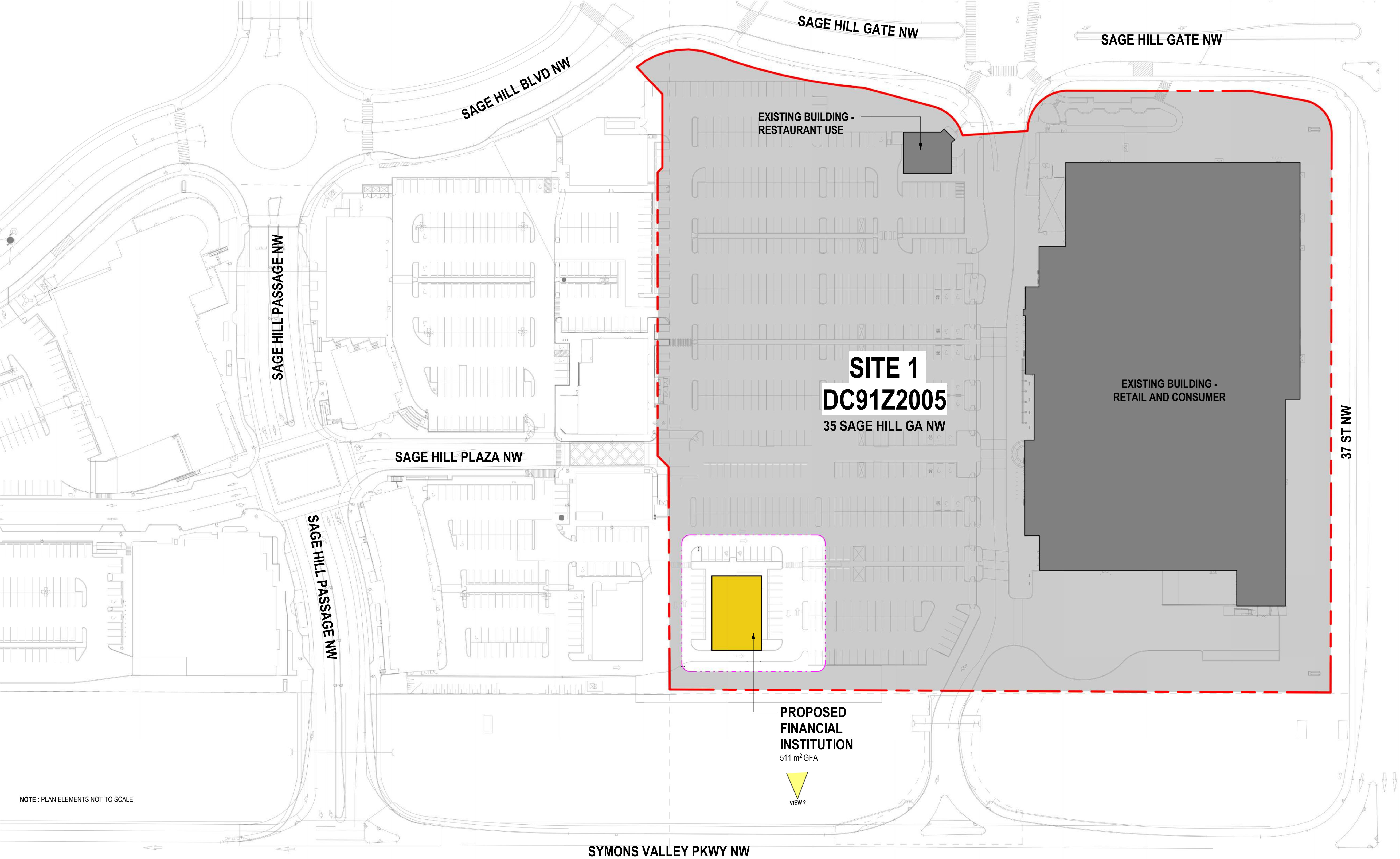
ARCHITECTURE
Ace Architecture Inc.
209, 255 - 17 Avenue SW
Calgary, AB T2H 2T8
403-212-0626



ELECTRICAL
DESIGNCORE ENGINEERING LTD.
100, 4723 1st Street SW
Calgary, Alberta T2G 4Y8
403-269-2125



LANDSCAPE / CIVIL
URBAN SYSTEMS
101, 134 11th Avenue SE
Calgary, Alberta T2G 0X5
403-291-1193



NOTE : PLAN ELEMENTS NOT TO SCALE

SITE DEVELOPMENT PLAN
SCALE:1: NTS



SITE CONTEXT PLAN
SCALE:N.T.S.



VIEW 1

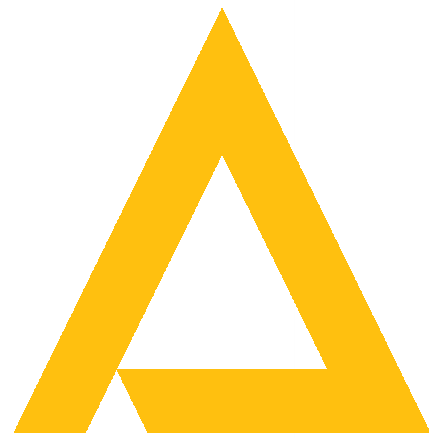


VIEW 2



VIEW 3

SITE LEGEND	
	PROPERTY LINE
	SCOPE OF WORK BOUNDARY LINE
OVERALL SITE STATISTICS	
MUNICIPAL ADDRESS:	35 SAGE HILL GA NW
LEGAL ADDRESS:	LOT 6, BLOCK 4, PLAN 1611590
NEIGHBORHOOD:	SAGE HILL
SITE ZONING:	DIRECT CONTROL DISTRICT
ZONING BYLAW:	CALGARY LANDUSE BYLAW 2P80
TOTAL SITE 1 AREA:	DC91Z2005 ± 5.54 HAs
BUILDING STATISTICS	
GROSS FLOOR AREA	: 511 m ²
USE	: FINANCIAL INSTITUTION
BUILDING HEIGHT	: 8.55 m
PARKING CALCULATION	
EXISTING	: 635
REMOVED	: 42
PROPOSED & RELOCATED	: 39
TOTAL	: 593
WASTE CALCULATION	
GROSS FLOOR AREA	: 511 m ² (5500 RP)
USE	: FINANCIAL INSTITUTION
BUILDING HEIGHT	: 8.5m (27.9 ft)
COMMERCIAL WASTE CALCULATION	
NOTE: PROPOSED BUILDING TO USE ADJACENT BUILDING'S WASTE ENCLOSURE	
PROPOSED BUILDING (FINANCIAL INSTITUTION): 511 m ² x 3 m ³ / 1000 m ³ = 1.533 m ³ OR 2.00 yd ³ WASTE PER WEEK	
EXISTING BUILDING (RESTAURANT USE): ±505 m ² x 3 m ³ / 1000 m ³ = 1.515 m ³ OR 1.98 yd ³ WASTE PER WEEK	
TOTAL WASTE : 3.98 yd ³ WASTE PER WEEK	
PROVIDED 2 x 240L BIN FOR COMPOSTABLE 1 x 3 YD BIN FOR RECYCLING 1 x 3 YD BIN FOR GARBAGE	
NBC AE ACCESSIBLE PARKING REQUIREMENTS	
ACCESSIBLE PARKING REQUIREMENTS	
FINANCIAL INSTITUTION REQUIRED PARKING RATIO (PER CALGARY LAND USE BYLAW1P2007): 4/100 m2	
511 m2 x (4/100 m2) = 21 PARKING STALLS	
REQUIRED ACCESSIBLE STALLS PER NBC AE 2023: 11-25 REQUIRES 2 ACCESSIBLE PARKING STALLS.	
PROVIDED ACCESSIBLE PARKING STALLS - 2	



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PERMIT No. AC 14854
ISSUED PURSUANT TO
THE ARCHITECTS ACT OF ALBERTA

Revisions:

No.	Description	Date
A	ISSUED FOR DEVELOPMENT PERMIT	25-12-16
B	ISSUED FOR DR1	26-02-23

Legends:

Client:



Project:

SAGE HILL CROSSING BMO

Address:

35 SAGE HILL GA NW

Sheet Name:

OVERALL SITE PLAN

Project Number:

25-049

Date:

2026-02-23 12:51:52 PM

Drawn by:

MD

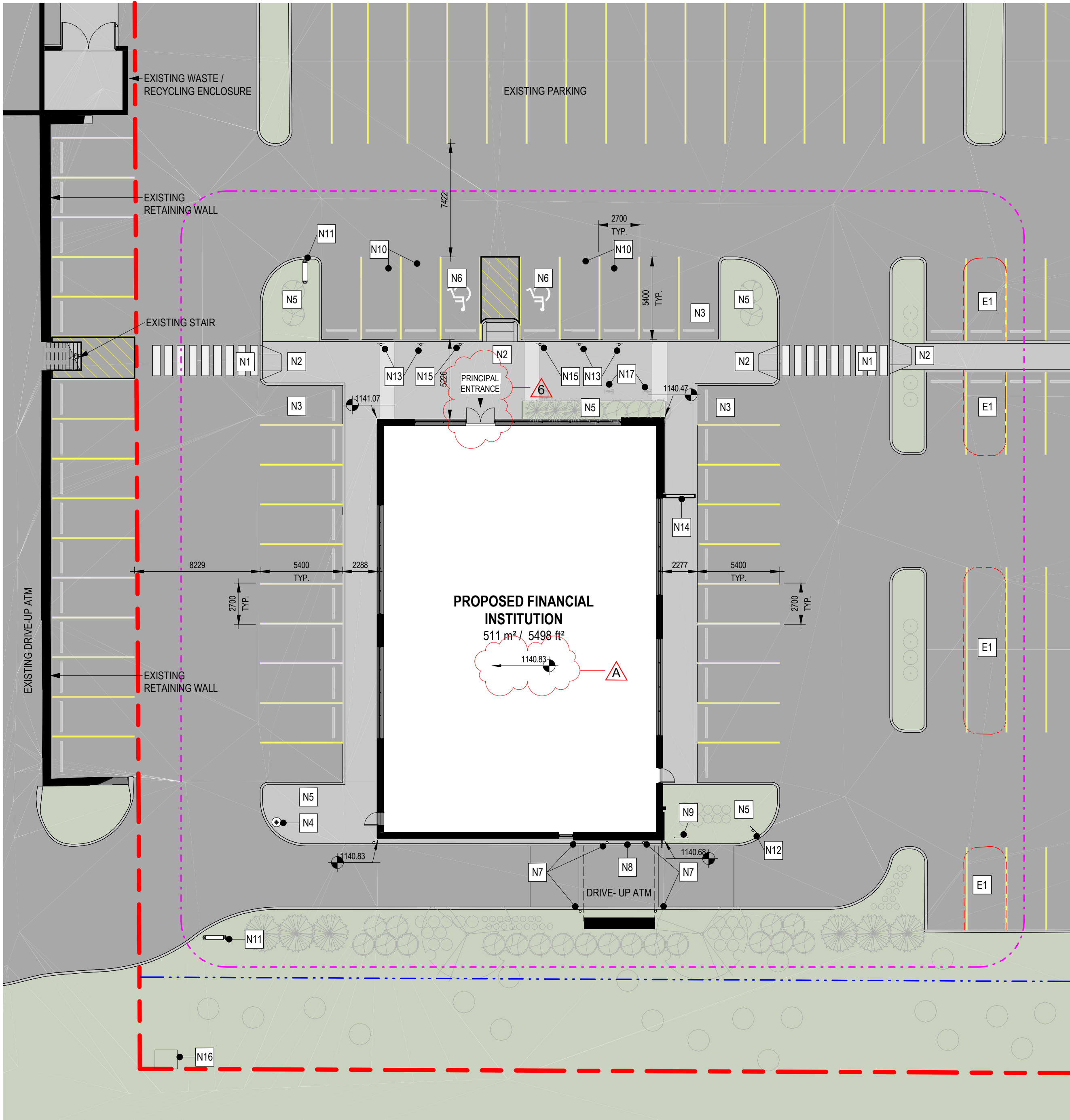
Checked by:

TM

DP-01

Scale:

As indicated



1
DP-02
ENLARGED SITE PLAN_DP
SCALE: 1 : 200

SITE NOTES

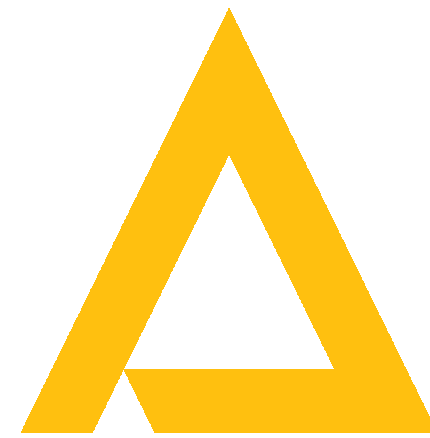
- FOR ADDITIONAL SITE INFORMATION REFER TO CIVIL, LANDSCAPE AND ELECTRICAL DRAWINGS
- ALL DRIVE AISLES TO BE HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING A 25000 KG LOAD

SITE LEGEND

	PROPERTY LINE
	SCOPE OF WORK BOUNDARY LINE
	SETBACK LINE
	SOFT LANDSCAPING - REFER TO LANDSCAPE
	CONCRETE SIDEWALK - REFER TO LANDSCAPE
	ASPHALT PAVEMENT

SITE PLAN KEYNOTES_DP

E1	EXISTING ISLAND TO BE DEMOLISHED
N1	PROPOSED PEDESTRIAN CROSSWALK
N2	PROPOSED PEDESTRIAN RAMP - WITH TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS SHEET
N3	PROPOSED PARKING STALLS
N4	PROPOSED HEIGHT RESTRICTION BAR - BY TENANT
N5	PROPOSED LANDSCAPING
N6	PROPOSED ACCESSIBLE PARKING STALL W/ SIGN
N7	PROPOSED BOLLARD
N8	PROPOSED ATM LOCATION
N9	PROPOSED DRIVE-THRU CAUTION SIGNAGE - BY TENANT
N10	PROPOSED TENANT DEDICATED PARKING STALLS
N11	PROPOSED DIRECTIONAL SIGNAGE - BY TENANT
N12	PROPOSED DO NOT ENTER SIGNAGE - BY TENANT
N13	PROPOSED BOLLARDS WITH INTEGRATED SIGNS - BY TENANT
N14	PROPOSED TRENCH DRAIN
N15	PROPOSED BOLLARDS WITH INTEGRATED SIGNS - ACCESSIBLE
N16	PROPOSED TRANSFORMER LOCATION
N17	PROPOSED BIKE RACK - REFER TO LANDSCAPE



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A	ISSUED FOR DEVELOPMENT PERMIT	25-12-16
B	ISSUED FOR DR1	26-02-23

Legends:

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

Client:



Project:

SAGE HILL CROSSING BMO

Address:

35 SAGE HILL GA NW

Sheet Name:

ENLARGED SITE PLAN

Project Number:

25-049

Date:

2026-02-23 12:39:09 PM

Drawn by:

MD

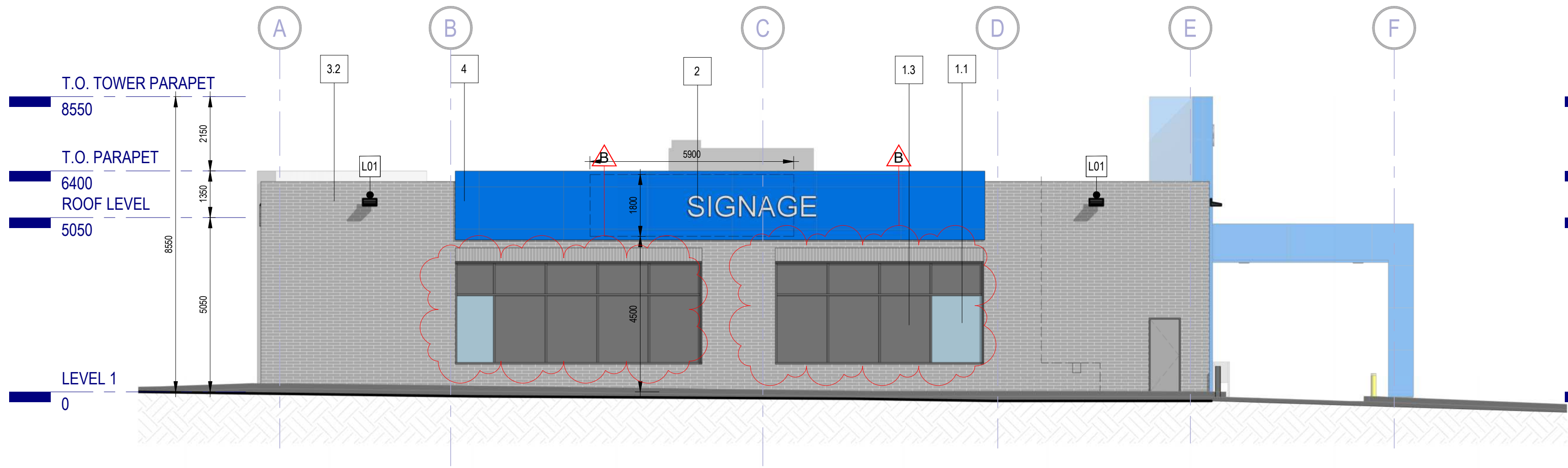
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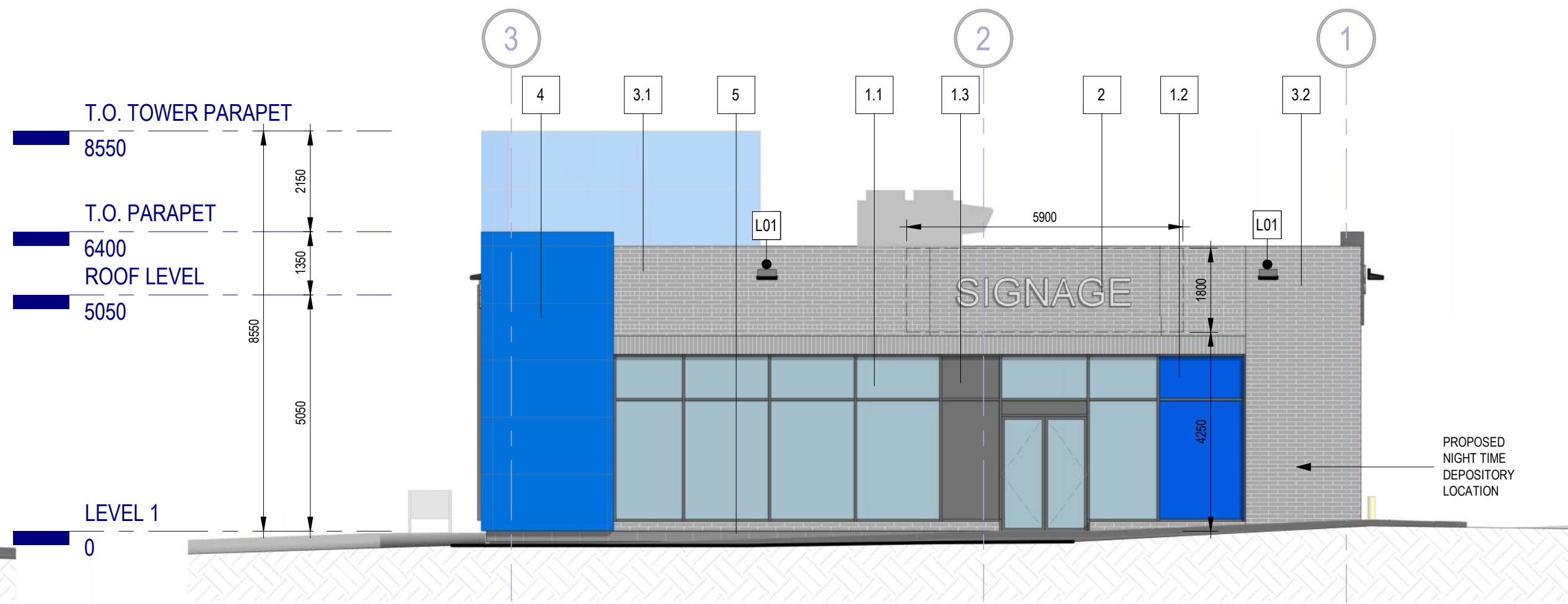
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Scale:

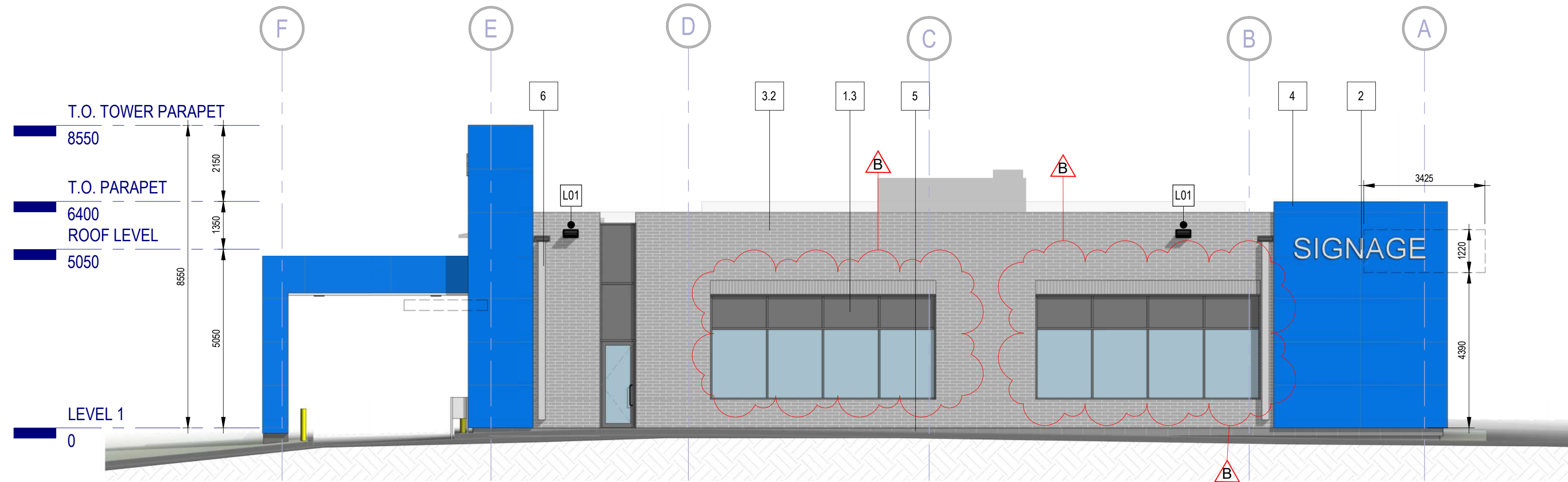
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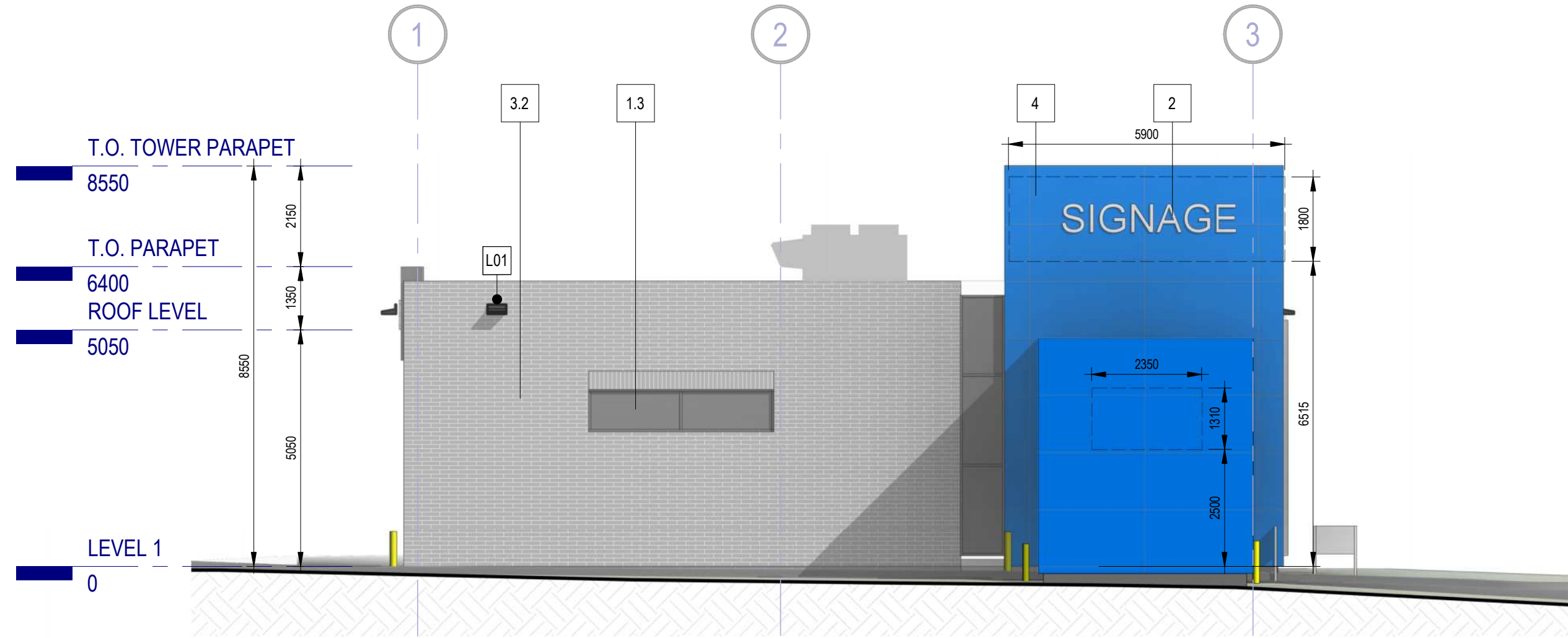
1 WEST ELEVATION_DP
SCALE: 1:100



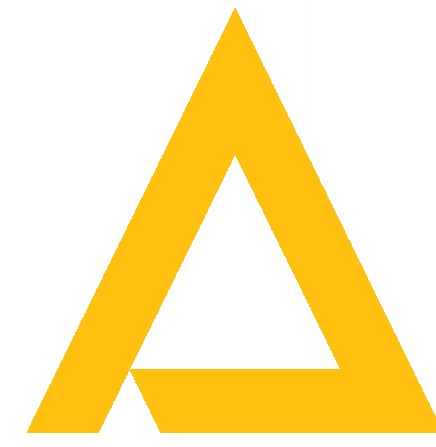
2 NORTH ELEVATION_DP
SCALE: 1:100



3 EAST ELEVATION_DP
SCALE: 1:100



4 SOUTH ELEVATION_DP
SCALE: 1:100



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Legends:

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

Client:

RioCan REIT
RioCan Yonge Eglinton Centre
2300 Yonge St, Suite 2200
1-800-465-2733

Project:

SAGE HILL CROSSING BMO

Address:

35 SAGE HILL GA NW

Sheet Name:

ELEVATIONS / SECTIONS

Project Number:

25-049

Date:

2026-02-23 12:39:24 PM

Drawn by:

MD

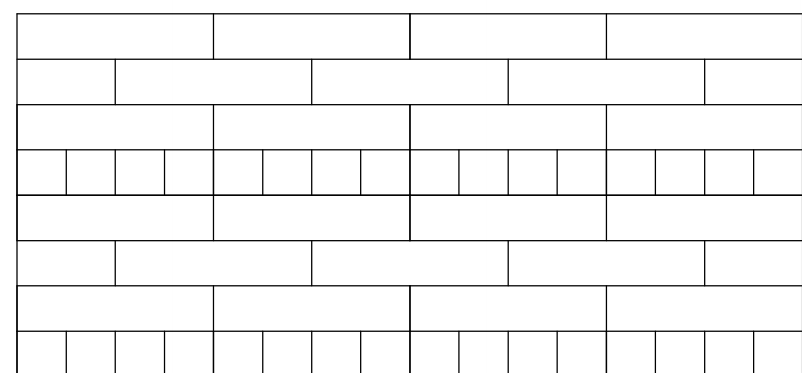
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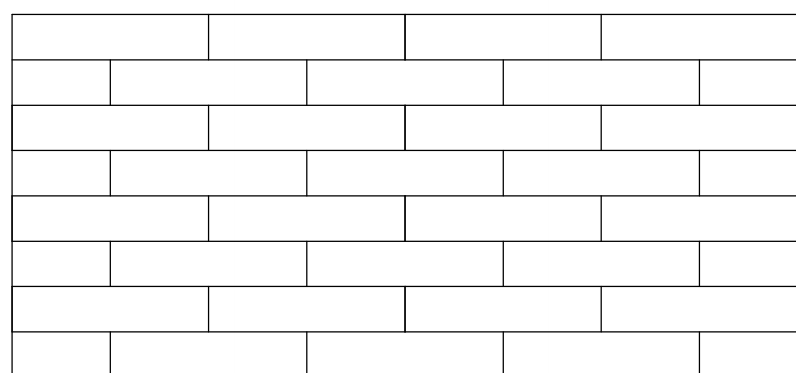
As indicated



BRICK SIZE : 390mm x 90mm x 90mm

3.1 BRICK PATTERN DETAIL_DP

SCALE: 1:15



BRICK SIZE : 390mm x 90mm x 90mm

3.2 BRICK PATTERN DETAIL_DP

SCALE: 1:15

MATERIAL LEGEND

1.1



GLAZING - CLEAR
CLEAR INSULATED VISION GLASS / LOW-E
GLAZING (SOLARBAN 70XL)

2



POTENTIAL FUTURE SIGNAGE
BY TENANT - SUBJECT TO
SEPARATE APPLICATION

5



CONCRETE FACED INSULATION
PANELS

1.2



GLAZING - CLEAR WITH CUSTOM COLOR
COATING
COLOR : BIRDIE BLUE

3



BRAMPTON BRICK, CONCRETE MASONRY;
COLOR : SMOKE WHITE

NOTE : REFER TO BRICK PATTERN DETAIL FOR
COURSE

6



ALUMINUM SCUPPER DRAIN &
ROOF LEADER
COLOR : TO MATCH BRICK
FINISH

1.3



GLAZING - CLEAR WITH CUSTOM COLOR
COATING
COLOR : HARMONY SOLEX

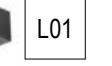
4



ALUMINUM COMPOSITE METAL PANELS
BLUE

LIGHTING LEGEND

L01

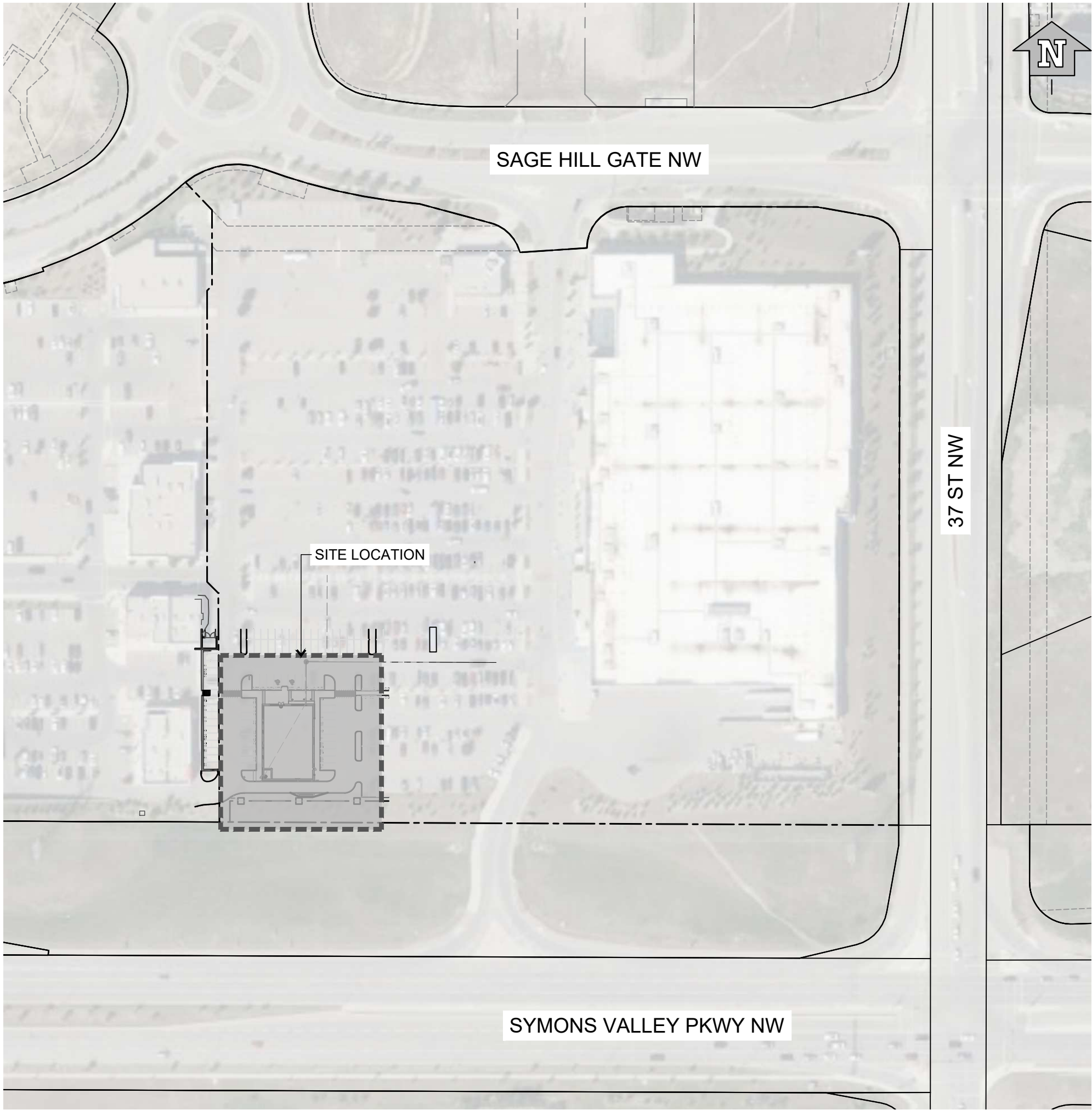


WALL PACK LIGHT
TYPICAL MOUNTING HEIGHT @
5400mm
FROM MAIN FLOOR LEVEL

ELEVATION LEGEND

POTENTIAL AREA FOR SIGNAGE

NOTE: BY TENANT, SUBJECT TO
SEPARATE APPLICATION



KEY PLAN

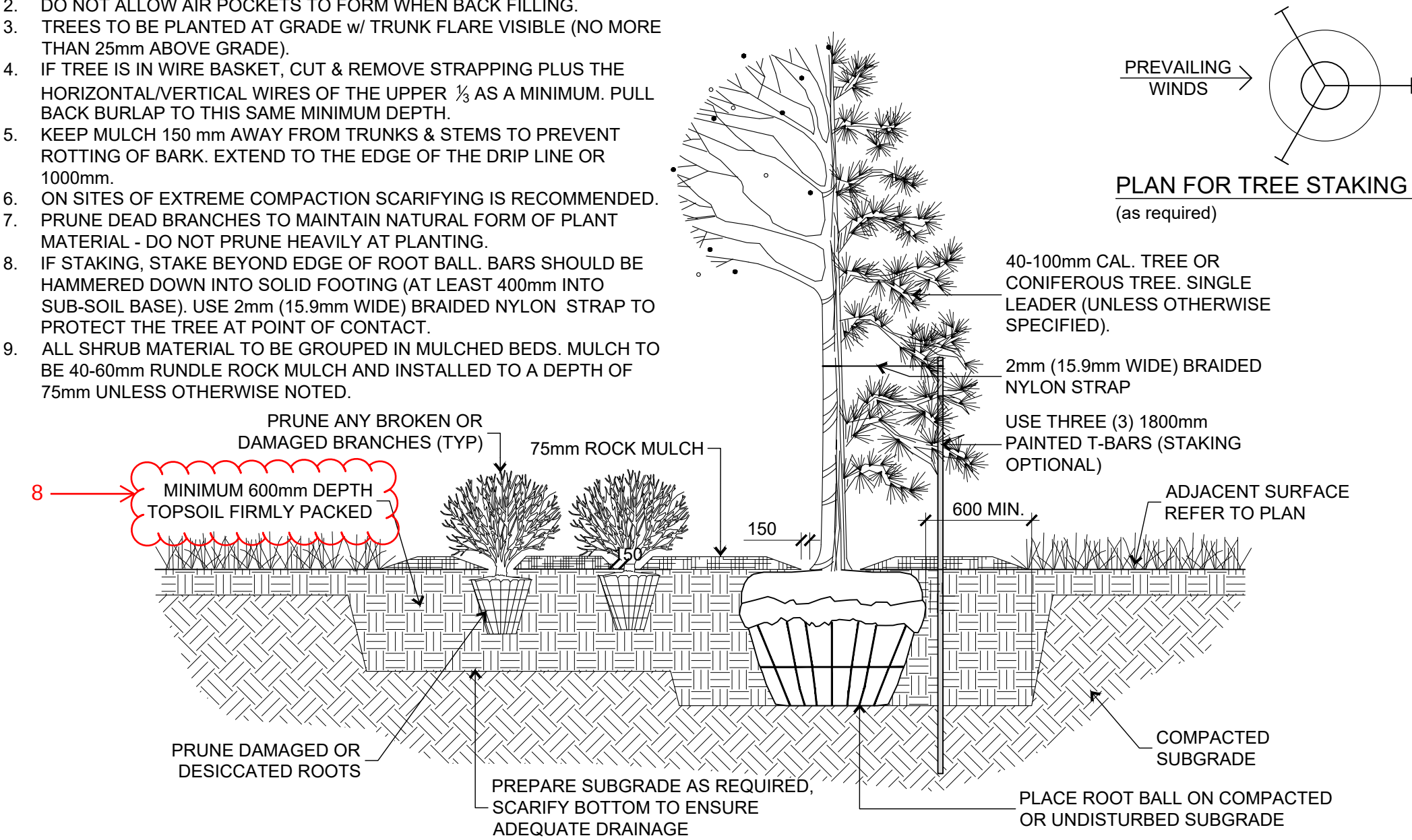
SCALE 1:1500

PLANT LIST

KEY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	QTY	REMARKS
TREES						
FG	FOOTHILLS GREEN ASH	FRAXINUS PENNSYLVANICA 'HEUVER'	85 mm CAL.	AS SHOWN	1	B & B
FGa	FOOTHILLS GREEN ASH	FRAXINUS PENNSYLVANICA 'HEUVER'	50 mm CAL.	AS SHOWN	1	B & B
HS	HOOPSII SPRUCE	PICEA PUNGENS 'HOOPSII'	3.00 m HT.	AS SHOWN	3	B & B
HSa	HOOPSII SPRUCE	PICEA PUNGENS 'HOOPSII'	2.00 m HT.	AS SHOWN	3	B & B
SHRUBS						
AFD	ARCTIC FIRE DOGWOOD	CORNUS STOLONIFERA 'FARROW'	#5 POT	1000 mm O.C.	23	CONTAINER
AP	ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	#5 POT	1000 mm O.C.	8	CONTAINER
CEJ	COMMON EFFUSA JUNIPER	JUNIPERUS COMMUNIS 'EFFUSA'	#5 POT	1500 mm O.C.	3	CONTAINER
FS	FALSE SPIREA	SORBARIA SORBIFOLIA	#5 POT	1500 mm O.C.	4	CONTAINER
PERENNIALS & ORNAMENTAL GRASSES						
BOG	BLUE OAT GRASS	HELICOTRICHON SEMPERVIRENS	#2 POT	600 mm O.C.	6	CONTAINER
LBD	LITTLE BUNNY DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	#2 POT	500 mm O.C.	31	CONTAINER
FRG	KARL FORESTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	#2 POT	800 mm O.C.	21	CONTAINER

NOTES:

- EDGE OF BED TO BE STAKED & APPROVED BY LANDSCAPE ARCHITECT.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- TREES TO BE PLANTED AT GRADE w/ TRUNK FLARE VISIBLE (NO MORE THAN 25mm ABOVE GRADE).
- IF TREE IS IN WIRE BASKET, CUT & REMOVE STRAPPING PLUS THE HORIZONTAL/VERTICAL WIRES OF THE UPPER 1/3 AS A MINIMUM. PULL BACK BURLAP TO THIS SAME MINIMUM DEPTH.
- KEEP MULCH 150 mm AWAY FROM TRUNKS & STEMS TO PREVENT ROTTING OF BARK. EXTEND TO THE EDGE OF THE DRIP LINE OR 1000mm.
- ON SITES OF EXTREME COMPACTION SCARIFYING IS RECOMMENDED.
- PRUNE DEAD BRANCHES TO MAINTAIN NATURAL FORM OF PLANT MATERIAL - DO NOT PRUNE HEAVILY AT PLANTING.
- IF STAKING, STAKE BEYOND EDGE OF ROOT BALL. BARS SHOULD BE HAMMERED DOWN INTO SOLID FOOTING (AT LEAST 400mm INTO SUB-SOIL BASE). USE 2mm (15.9mm WIDE) BRAIDED NYLON STRAP TO PROTECT THE TREE AT POINT OF CONTACT.
- ALL SHRUB MATERIAL TO BE GROUPED IN MULCHED BEDS. MULCH TO BE 40-60mm RUNDLE ROCK MULCH AND INSTALLED TO A DEPTH OF 75mm UNLESS OTHERWISE NOTED.

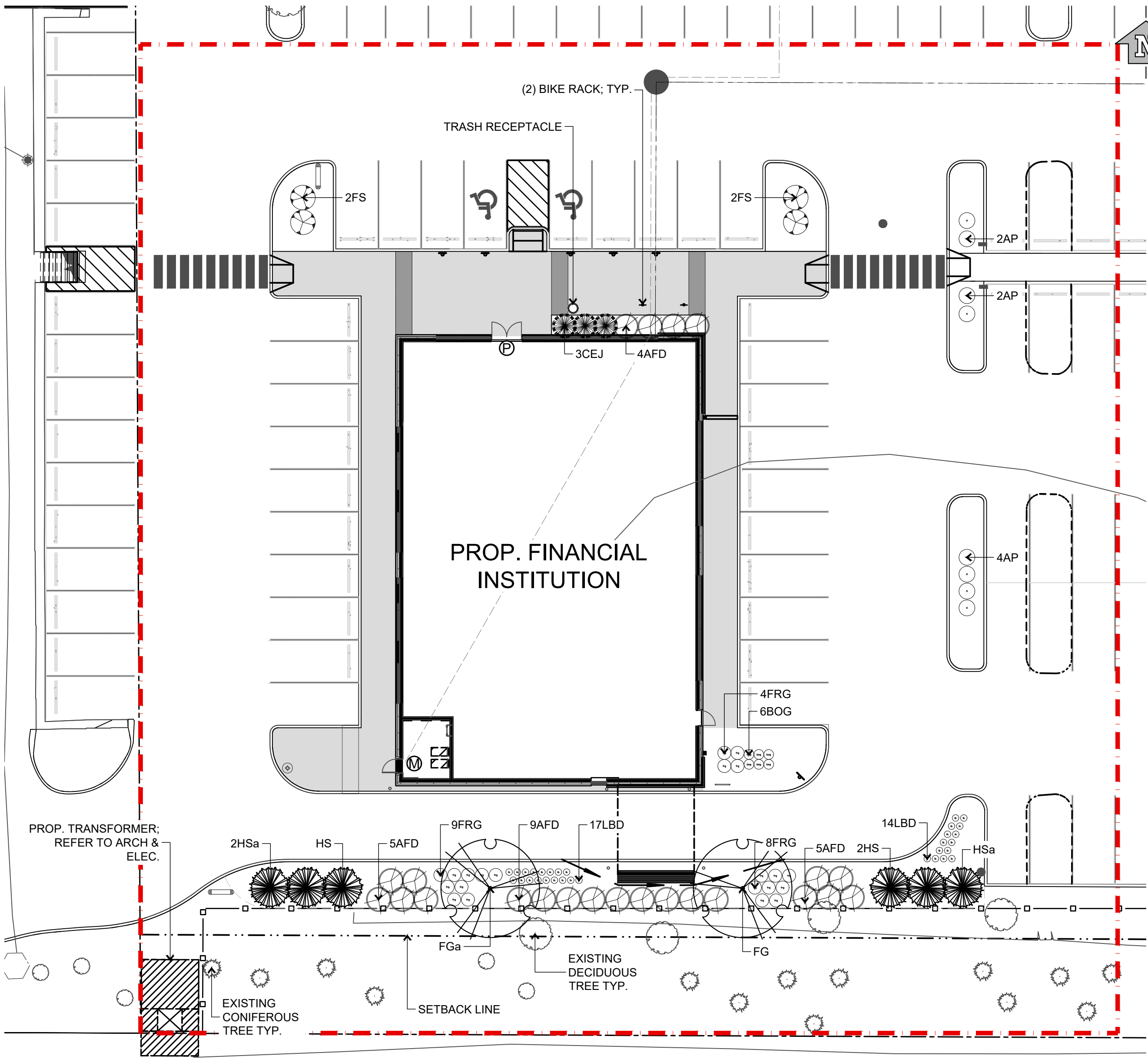


DETAIL - TYPICAL PLANTING BED

SCALE 1: 30

GENERAL NOTES:

- ALL LANDSCAPE CONSTRUCTION SHALL BE IN ACCORDANCE w/ CITY OF CALGARY STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION - **CURRENT EDITION**.
- CONTRACTOR TO ENSURE THE LOCATION OF ALL UNDERGROUND UTILITIES ARE MARKED PRIOR TO CONSTRUCTION START - CALL 'ALBERTA 1-CALL' AT 1-800-242-3447.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE PROPER SETBACKS FROM ALL UTILITIES & HARD SURFACES.
- ALL PLANT MATERIAL TO BE DISEASE FREE & TRUE TO FORM. SPECIMEN GRADE SINGLE STEM STOCK - UNLESS OTHERWISE SPECIFIED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY & ALL PLANT MATERIAL THAT DOES NOT MEET THESE REQUIREMENTS.
- ALL CONIFEROUS TREES & SHRUB MATERIALS TO BE GROUPED IN MULCHED BEDS. INDIVIDUAL TREES TO HAVE MULCHED 1200mm DIA. TREE WELLS. MULCH TO BE 40-60mm RUNDLE ROCK MULCH & INSTALLED TO A DEPTH OF 75mm.
- ALL PLANTING BEDS TO BE SMOOTH FLOWING w/ NO UNSIGHTLY BUMPS OR RITCHES.**
- ALL TURF AREAS TO BE CITY OF CALGARY No. 1 KENTUCKY BLUEGRASS SOD INSTALLED ON 150mm DEPTH TOPSOIL.
- TOPSOIL TO BE ROCK PICKED & CLEANED TO CITY OF CALGARY SPECS PRIOR TO SOD INSTALLATION.**
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SITE UNTIL SUCH TIME AS FINAL ACCEPTANCE IS GRANTED BY DEVELOPMENT OFFICER.
- ANY TREES OR SHRUBS WHICH DIE SHALL BE REPLACED ON A CONTINUING BASIS w/ TREES OR SHRUBS OF COMPARABLE SPECIES & SIZE TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
- WARRANTY WILL BE EXTENDED FOR 1 YEAR FOR ALL TREES REPLACED IN FALL.**
- ALL AREAS OF SOFT LANDSCAPING, WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL SHRUBS SHALL BE A MINIMUM HEIGHT OR SPREAD OF 600mm AT TIME OF PLANTING (TYP).
- ANY SOD DAMAGE THAT IS REPAIRED IN AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM WILL BE HAND WATERED DURING ESTABLISHMENT TO ENSURE PROPER GROWTH.
- CONTRACTOR IS TO REPAIR ALL DAMAGE THAT OCCURS ON ADJACENT LANDS DURING CONSTRUCTION.
- ALL UTILITIES MUST BE INSTALLED PRIOR TO PLANTING.
- ALL GRADING TO BE SMOOTH FLOWING w/ NO UNSIGHTLY BUMPS OR PITCHES.
- ALL PROJECT EDGES TO BLEND SMOOTHLY w/ EXISTING ADJACENT PROPERTIES.



PLAN VIEW

SCALE 1: 200

STATISTICS

SITE AREA: ± 3,583m²
BUILDING AREA: ± 515m²
LANDSCAPE AREA: ± 757m²

TREES REQUIRED:

1 TREE PER 35m² LANDSCAPED AREA: $\frac{757m^2}{35m^2} = 22$ TREES

(MIN. 1/3 OF ALL TREES MUST BE CONIFEROUS)

DECIDUOUS TREE: 14
CONIFEROUS TREE: 8

ACTUAL TREES PROVIDED:

DECIDUOUS TREES: 8 CONIFEROUS TREES: 20

TOTAL DECIDUOUS TREES PROVIDED:

DECIDUOUS TREE: 8
PROPOSED - 85mm CAL.: 1 50mm CAL.: 1
EXISTING - 6

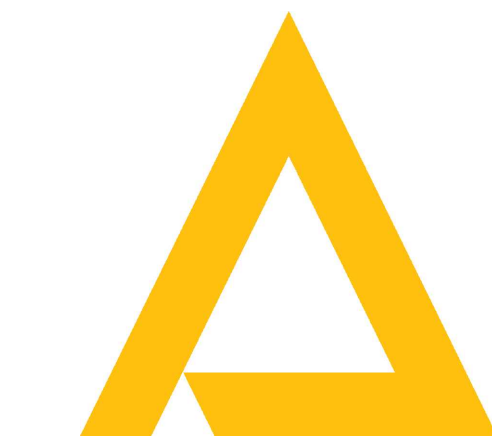
TOTAL CONIFEROUS TREES PROVIDED:

CONIFEROUS TREE: 20
PROPOSED - 3.0m HT.: 3 2.0m HT.: 3
EXISTING - 14

LEGEND

- PROPERTY LINE
- PROPOSED LIMIT OF CONSTRUCTION
- 6m SETBACK YARD LINE
- CONCRETE SURFACE TYPE 1
- CONCRETE SURFACE TYPE 2
- TREE PROTECTION FENCING
- SWALE; REFER TO CIVIL

DEVELOPMENT
PERMIT
DECISION
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ON THIS PLAN



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Revisions:

No.	Description	Date
1	ISSUED FOR TENANT REVIEW	2025-12-01
2	ISSUED FOR DP	2025-12-15
3	ISSUED FOR DRY	2026-02-20

Legends:

Client:

RIO CAN

Project:

SAGE HILL CROSSING BMO

Address:

35 SAGE HILL GA NW

Sheet Name:

LANDSCAPE PLAN
& DETAILS

Project Number:

2815.0069.02

Date:

2025-12-01

Drawn by:

NB/ZM

Checked by:

ZMKP

L1

Scale: AS SHOWN