

NOTE
DOWN SPOUTS TO BE LOCATED ON SITE BY
INSTALLING CONTRACTOR AND LOCATIONS
TO BE CONFIRMED BY HOME OWNER

WINDOW, DOOR & SKYLIGHT REQUIREMENTS	
PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
MIN. PERFORMANCE GRADE (PG) ^B :	25
MIN. POSITIVE DESIGN PRESSURE:	1 200Pa
MIN. NEGATIVE DESIGN PRESSURE:	1 200Pa
MIN. WATER PENETRATION TEST PRESSURE:	260Pa
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2
MAX. 'U' VALUES W/(M2xK)	
WINDOWS & DOORS:	1.6
(MIN. ENERGY RATING)	25
SKYLIGHTS:	2.7



ENGINEER STAMP

CONTRACTOR TO
VERIFY ALL
DIMENSIONS PRIOR
TO START AND
REPORT ERRORS TO
DESIGNER FOR
CORRECTION.

CUSTOM	2002 SQ.FT.
2002 SQ.FT.	2002 SQ.FT.

SPECIFICATION:	MAIN AREA:	SECOND AREA:	DEV. BASEMENT:	TOTAL AREA:
2002 SQ.FT.	2002 SQ.FT.	2002 SQ.FT.	2002 SQ.FT.	2002 SQ.FT.

DATE:	SCALE:	REVISED:	JOB NO.:
DEC. 25	3/16"=1'-0"	N/A	N/A

DATE:	SCALE:	REVISED:	JOB NO.:
DEC. 25	3/16"=1'-0"	N/A	N/A

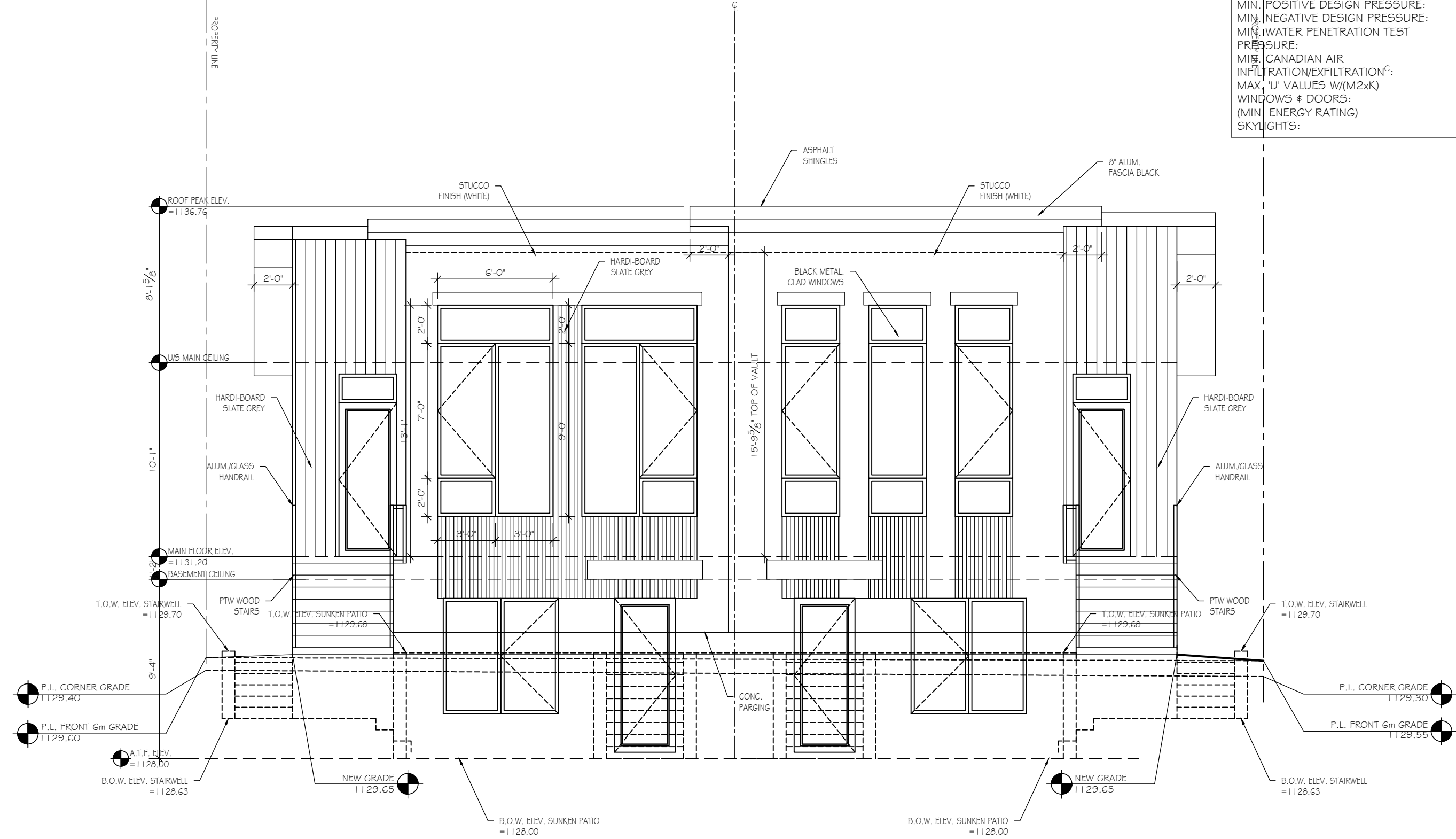
MODEL:	CLIENT:	LOT:	ADDRESS:
CUSTOM SEMI-DETACHED DWELLING	PRIVATE RESIDENCE	21	22a & 22b GLADEVIEW CRESCENT S.W.

PLAN:	BLOCK:	CRESCENT S.W.
149HE	1	22a & 22b

PLAN:	BLOCK:	CRESCENT S.W.
149HE	1	22a & 22b

PLAN:	BLOCK:	CRESCENT S.W.
149HE	1	22a & 22b

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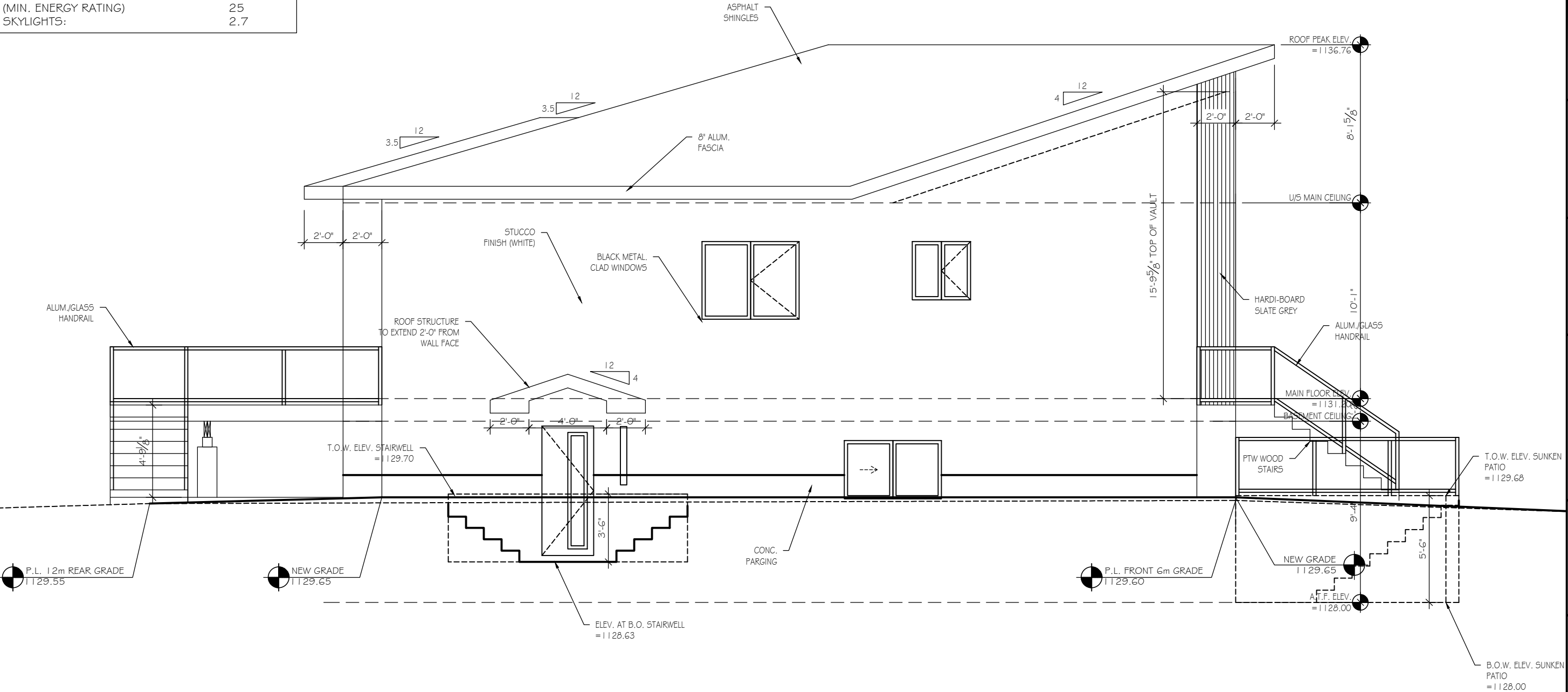
FRONT ELEVATION - WEST
SCALE: 3/16"=1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS			
ROOF WALLS	ASPHALT - DUAL GREY-IKO	BATTENS SIDING	SMARTBOARD - N/A
FASCIA SOFFIT RAINWARE	STUCCO #2 - WHITE	WINDOWS	SMARTBOARD - N/A
	ALUMINUM - BLACK	MANU. STONE	ALUMINUM - BLACK
	ALUMINUM - BLACK	FRONT DOOR	COBLE FIELD - BLACK
	ALUMINUM - BLACK	RAILING	METAL CLAD - BLACK
			ALUMINUM - BLACK

HIGHEST AVERAGE GRADE FRONT = 1129.35
HIGHEST AVERAGE GRADE REAR = 1129.16
HIGHEST AVERAGE GRADE +1.00 = 1130.35
HIGHEST AVERAGE GRADE +1.00 + 11.00 = 1141.35
MAXIMUM HEIGHT = 1141.35
DIFFERENCE IN SLOPE FRONT TO BACK = 0.19m

WINDOW, DOOR & SKYLIGHT REQUIREMENTS

PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
MIN. PERFORMANCE GRADE (PG) ^B :	25
MIN. POSITIVE DESIGN PRESSURE:	1 200Pa
MIN. NEGATIVE DESIGN PRESSURE:	1 200Pa
MIN. WATER PENETRATION TEST PRESSURE:	260Pa
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2
MAX. 'U' VALUES W/(M2xK)	
WINDOWS & DOORS:	1.6
(MIN. ENERGY RATING)	25
SKYLIGHTS:	2.7



LEFT ELEVATION - NORTH

SCALE: 3/16"=1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

ROOF	ASPHALT - DUAL GREY-IKO	BATTENS	SMARTBOARD - N/A
WALLS	SMARTBOARD - BLACK/WHITE	SIDING	SMARTBOARD - N/A
	STUCCO #2 - WHITE	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU. STONE	COBLE FIELD - BLACK
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

UNPROTECTED OPENINGS

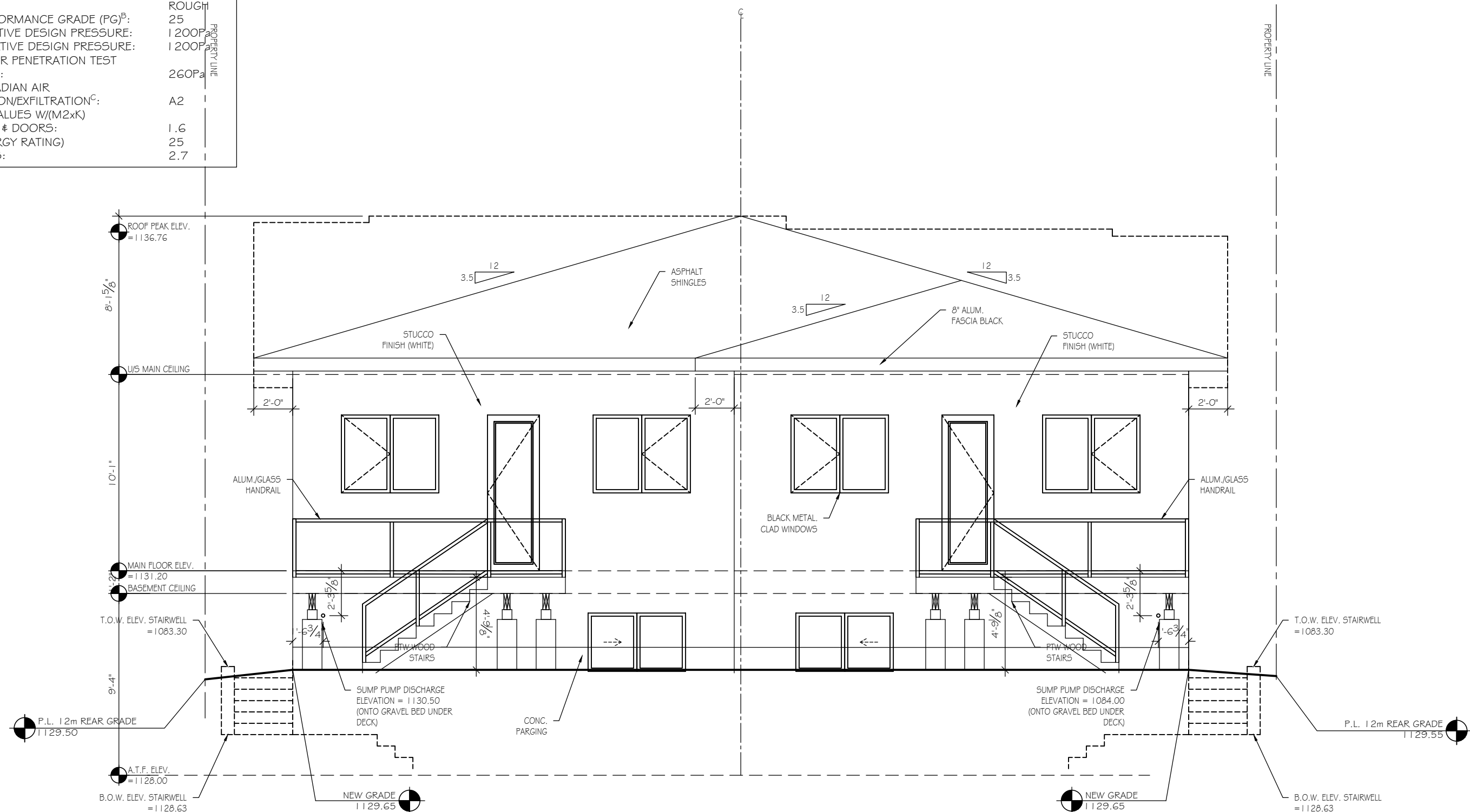
WALL AREA :	719.64 SQ.FT.
GLAZING AREA ALLOWED (7.60%):	54.69 SQ.FT.
CURRENT GLAZING AREA :	50.00 SQ.FT.

CUSTOM	SPECIFICATION:
2002 SQ.FT.	MAIN AREA:
---- SQ.FT.	SECOND AREA:
1650 SQ.FT.	DEV. BASEMENT:
3652 SQ.FT.	TOTAL AREA:

DRAWN BY: MET	DATE: DEC./25
SCALE: 3/16"=1'-0"	REVIS: N/A
REVISED: N/A	JOB NO: N/A

MODEL: CUSTOM SEMI-DETACHED DWELLING	PLAN: 149HE
CLIENT: PRIVATE RESIDENCE	LOT: 21 BLOCK: 1
ADDRESS: 22a & 22b GLADEVIEW CRESCENT S.W.	

PERFORMANCE CLASS:	R	
TERRAIN:	ROUGH	
MIN. PERFORMANCE GRADE (PG) ^B :	25	
MIN. POSITIVE DESIGN PRESSURE:	1200Pa	PROPERTY LINE
MIN. NEGATIVE DESIGN PRESSURE:	1200Pa	
MIN. WATER PENETRATION TEST PRESSURE:	260Pa	
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2	
MAX. 'U' VALUES W/(M ² xK)		
WINDOWS & DOORS:	1.6	
(MIN. ENERGY RATING)	25	
SKYLIGHTS:	2.7	



REAR ELEVATION - EAST

SCALE: 3/16" = 1'-0"

ROOF	ASPHALT - DUAL GREY-IKO	BATTENS	SMARTBOARD - N/A
WALLS	SMARTBOARD - BLACK/WHITE	SIDING	SMARTBOARD - N/A
	STUCCO #2 - WHITE	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU. STONE	COBLE FIELD - BLACK
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINFWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

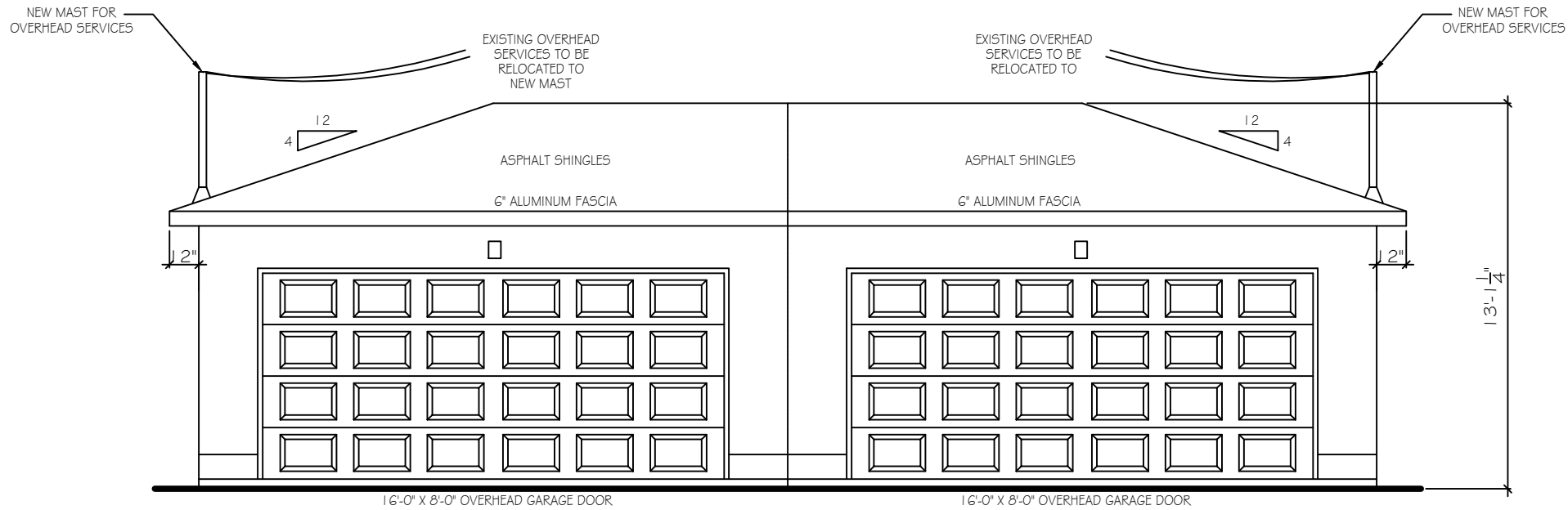
SEVEN DESIGN LTD 

ENGINEER STAMP

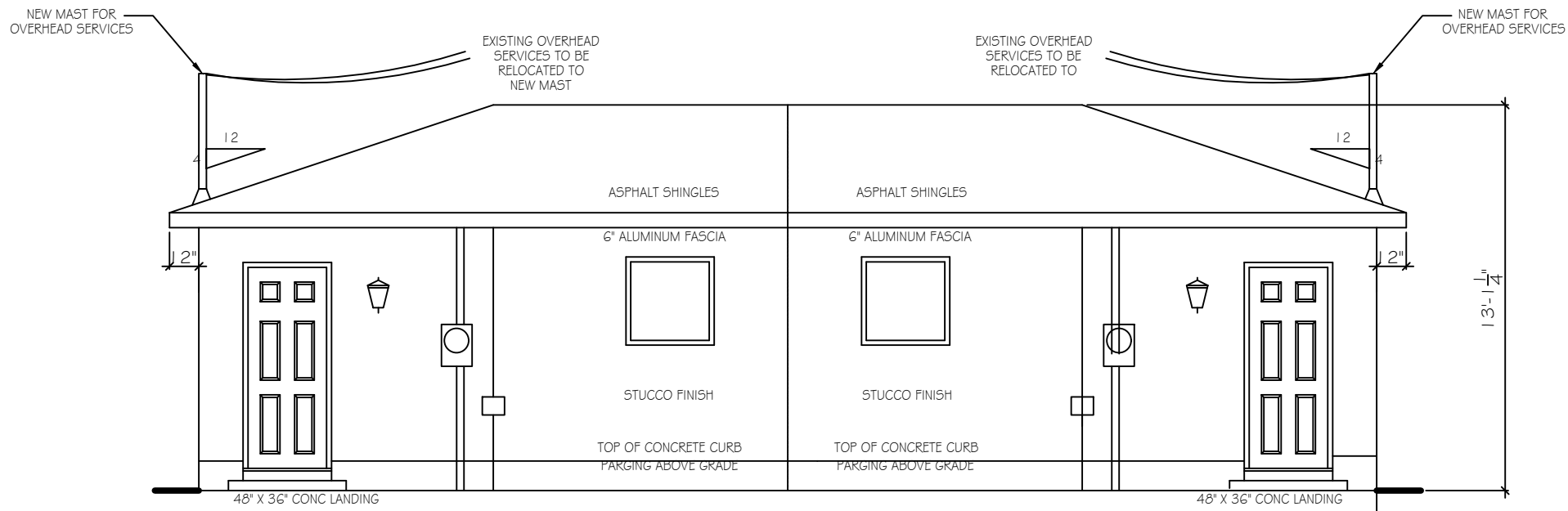
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.

DATE:	DEC./25	MAIN AREA:	2002 SQ.FT.	CUSTOMER:
SCALE:	3/16"=1'-0"	SECOND AREA:	---- SQ.FT.	
REVISED:	N/A	DEV. BASEMENT:	1650 SQ.FT.	
JOB NO.:	N/A	TOTAL AREA:	3652 SQ.FT.	

MODEL: CUSTOM SEMI-DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 21 BLOCK: 1 PLAN: 149HE
ADDRESS: 22a & 22b GLADEVIEW CRESCENT S.W.

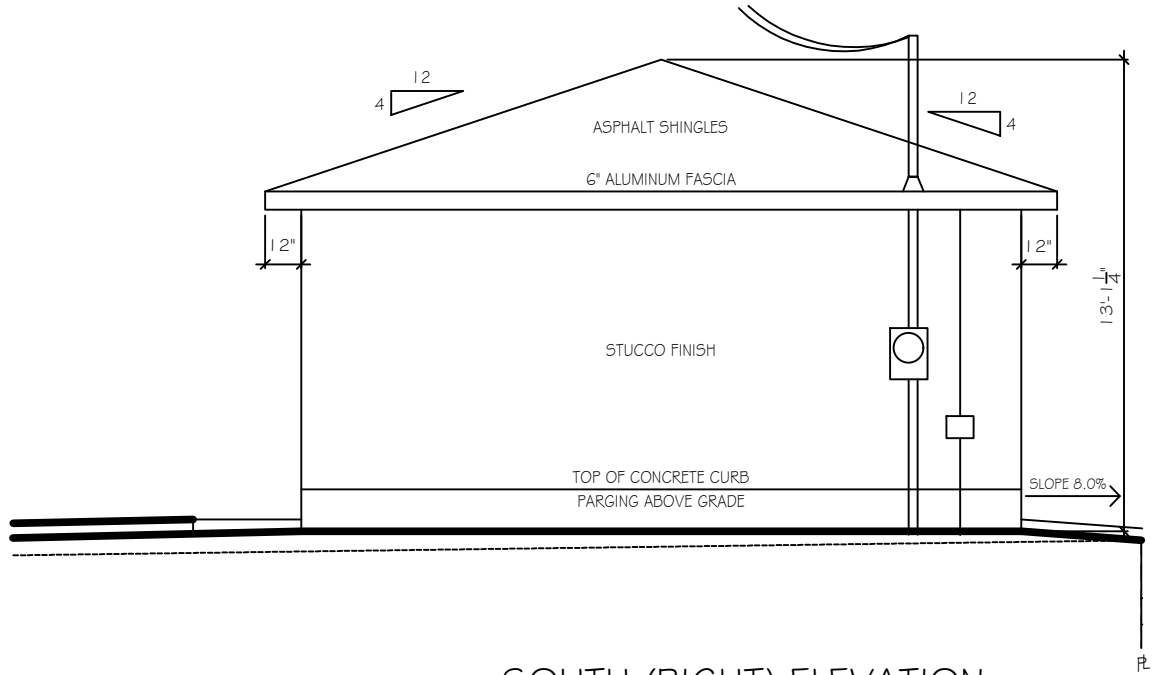


EAST (FRONT) ELEVATION

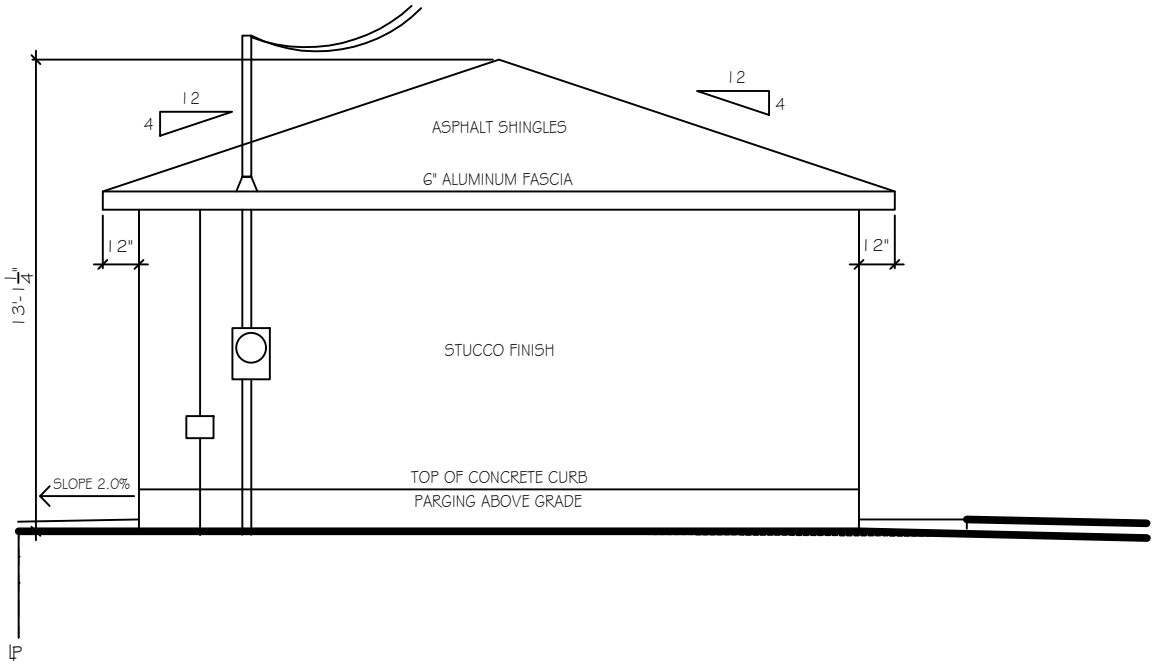


WEST (REAR) ELEVATION

14 OF 17		MODEL: CUSTOM SEMI-DETACHED DWELLING		DRAWN BY: MET	SPECIFICATION:	CUSTOM	CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.	ENGINEER STAMP	SEVEN DESIGN LTD. 
		CLIENT: PRIVATE RESIDENCE		DATE: DEC./25	MAIN AREA:	2002 SQ.FT.			
		LOT: 21 BLOCK: 1 PLAN: 149HE		SCALE: 3/16"=1'-0"	SECOND AREA:	----- SQ.FT.			
		ADDRESS: 22a & 22b GLADEVIEW CRESCENT S.W.		REVISED: N/A	DEV. BASEMENT:	1650 SQ.FT.			
				JOB NO.: N/A	TOTAL AREA:	3652 SQ.FT.			



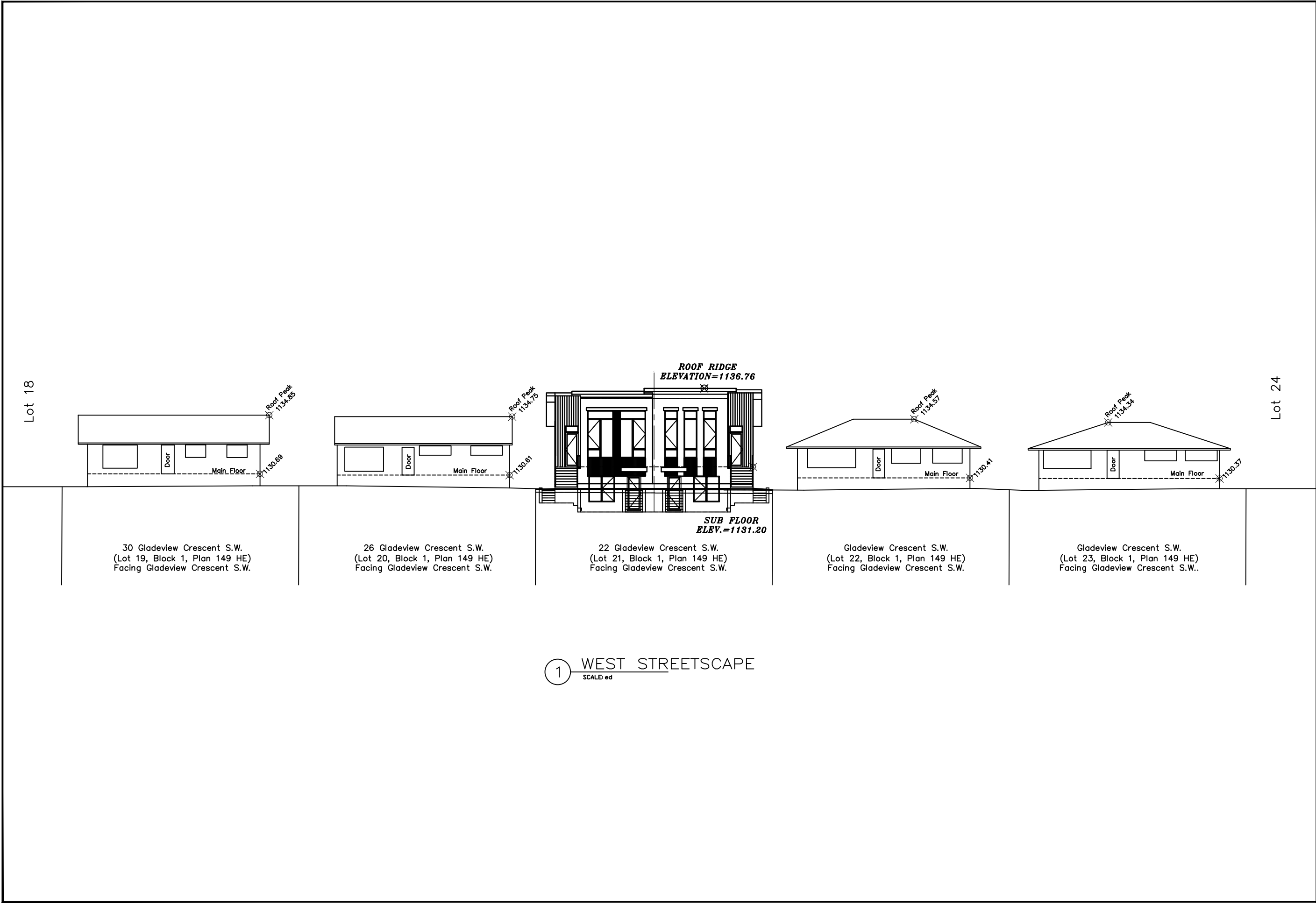
SOUTH (RIGHT) ELEVATION



NORTH (LEFT) ELEVATION



15 OF 17	MODEL: CUSTOM SEMI-DETACHED DWELLING			DRAWN BY: MET	SPECIFICATION:		CUSTOM		CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.	ENGINEER STAMP	SEVEN DESIGN LTD 
	CLIENT: PRIVATE RESIDENCE				MAIN AREA:		2002 SQ.FT.				
	LOT: 21 BLOCK: 1 PLAN: 149HE				SECOND AREA:		---- SQ.FT.				
	ADDRESS: 22a & 22b GLADEVIEW CRESCENT S.W.				DEV. BASEMENT:		1650 SQ.FT.				
					TOTAL AREA:		3652 SQ.FT.				



SEVEN DESIGN LTD

ENGINEER STAMP

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.

DRAWN BY: MET	SPECIFICATION:	CUSTOM	CUSTOM
	DATE: DEC./25	MAIN AREA:	2002 SQ.FT.
	SCALE: AS SHOWN	UPPER AREA:	---- SQ.FT.
	REVISED: N/A	DEV. BASEMENT:	1650 SQ.FT.
	JOB NO.:	TOTAL AREA:	3652 SQ.FT.

MODEL: CUSTOM SEMI-DETACHED DWELLING

CLIENT: PRIVATE RESIDENCE

LOT: 21 BLOCK: 1 PLAN: 149He

ADDRESS: 22a & 22b GLADEVIEW CRESCENT S.W.

1

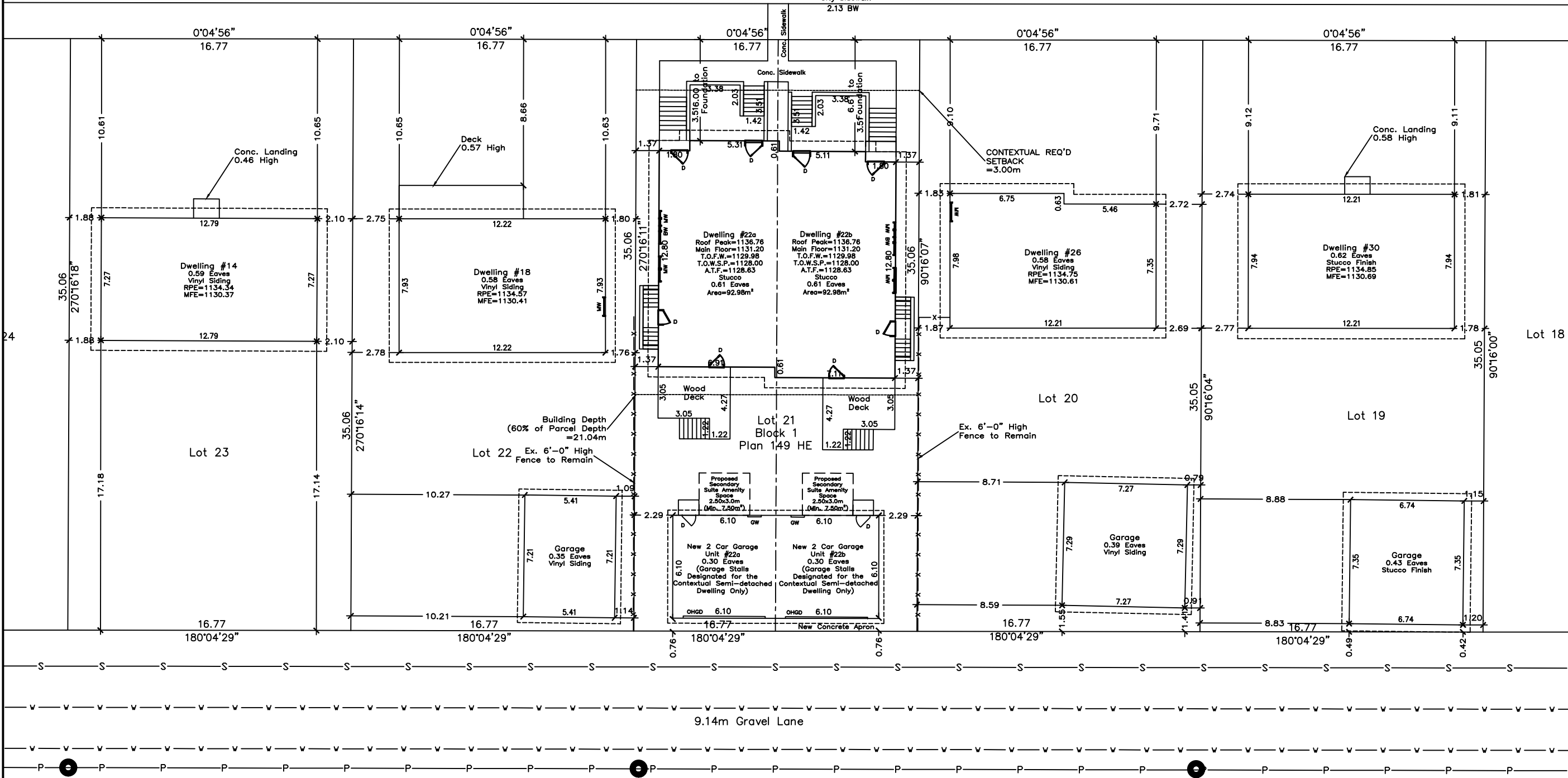
OF

3

Gladeview Crescent S.W.



3.97 LG
3.49 BC
City Sidewalk
2.13 BW



1 BLOCK PLAN
SCALE: 1:250

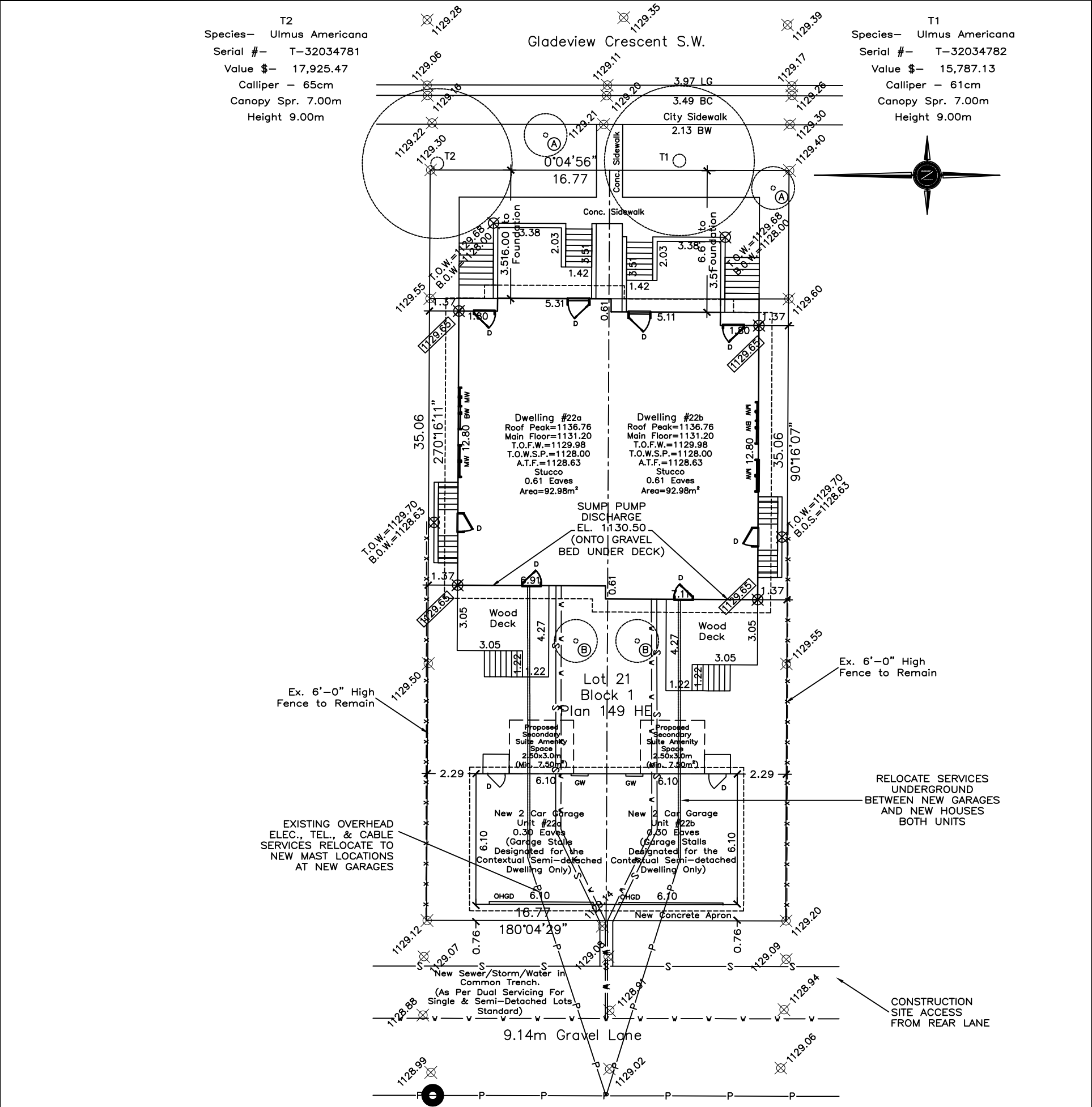


ENGINEER STAMP

CONTRACTOR TO VERIFY
ALL DIMENSIONS PRIOR
TO START AND REPORT
ERRORS TO DESIGNER
FOR CORRECTION.

SPECIFICATION:	CUSTOM
MAIN AREA:	2002 SQ.FT.
UPPER AREA:	---- SQ.FT.
DEV. BASEMENT:	1650 SQ.FT.
TOTAL AREA:	3652 SQ.FT.

MODEL: CUSTOM SEMI-DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 21 BLOCK: 1 PLAN: 149He
ADDRESS: 22a & 22b GLADEVIEW CRESCENT S.W.



LEGEND

EX. ELEVATIONS ARE SHOWN THUS: $\otimes$ = 1000.00 METRES.(GEODETIC)
NEW ELEVATIONS ARE SHOWN THUS: $\otimes$ = 1000.00 METRES.
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 228098 AND 8573
ASCM 228098 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

$\times$	-----	denotes Calculation points
$\boxtimes$	-----	denotes Water Valve
$\blacklozenge$	-----	denotes Gas Valve
$\bullet$	-----	denotes Manhole
$\odot$	-----	denotes Tree
$\bullet$	-----	denotes Power Pole
$\triangle$	-----	denotes Sign
$\odot$	-----	denotes Light Stand
-X-X-		denotes Fence
-----		denotes Sanitary Line
-----		denotes Storm Line
-----		denotes Water Line
-----		denotes Gas Line
-----		denotes Electrical Line
-----		denotes A.G.T Line
-----		denotes Utility Right of Way Line
-----		denotes Property Line

TREE SCHEDULE

Tree No.	Variety	Calliper (±)	Canopy (±)	Height (±)	Location	Disposition	Serial Number
T1	Deciduous Tree	0.61	7.00	9.00	In City Property	To Stay	T-32034782
T2	Deciduous	0.65	7.00	9.00	In Subject Property	To Stay	T-32034781
A	Grobapple	0.05	1.20	3.00	In Subject Property	New	
B	Aspen	0.05	1.20	3.00	In Subject Property	New	

MAX SITE COVERAGE ALLOWED = 587.96 sq.m.x45%
264.58 sq.m.

ACTUAL SITE COVERAGE =

UNIT 'A'	92.98 sq.m.	(1000.83 sq.ft.)
UNIT 'B'	92.98 sq.m.	(1000.83 sq.ft.)
PORCHES	2.20 sq.m.	(23.66 sq.ft.)
GARAGE	74.32 sq.m.	(800.00 sq.ft.)
TOTAL	262.48 sq.m.	= 44.64%

PARKING REQUIRED 2 OFF STREET PARKING PER UNIT = 4 STALLS TOTAL
PARKING PROVIDED 2 CAR GARAGE PER UNIT = 4 STALLS TOTAL

GROSS FLOOR AREA

UNIT 'A'	MAIN FLOOR	=	92.98 sq.m.	(1000.83 sq.ft.)
UNIT 'B'	MAIN FLOOR	=	92.98 sq.m.	(1000.83 sq.ft.)
			185.96 sq.m.	(2001.66 sq.ft.)

3
OF
3

MODEL: CUSTOM SEMI-DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 21 BLOCK: 1 PLAN: 149He
ADDRESS: 22a & 22b GLADEVIEW CRESCENT S.W.

DRAWN BY: MET
DATE: DEC./25
SCALE: AS SHOWN
REVISED: N/A
JOB NO.: N/A

SPECIFICATION: CUSTOM
MAIN AREA: 2002 SQ.FT.
UPPER AREA: ---- SQ.FT.
DEV. BASEMENT: 1650 SQ.FT.
TOTAL AREA: 3652 SQ.FT.

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.

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