



NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

LEWISBURG COMMERCIAL

1100 140 AVENUE NE, CALGARY, AB

DEVELOPMENT PERMIT NUMBER: DP2024-05836

NORR PROJECT NUMBER:CO1124-0099



ISSUED FOR REVISIONS TO DP - 2025-12-11

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
PASQUINI & ASSOCIATES GEOMATICS LTD. 300, 929 - 11th Street S.E., CALGARY, AB, T2G 0R4 PHONE: 403 452 7677 FAX: 403 452 7660	JUBILEE ENGINEERING CONSULTANTS LTD. 3702 Edmonton Trail N.E. CALGARY, AB, T2E 3P4 PHONE: 403 264 4000 FAX: 403 269 721	NORR Suite 2300, 411 - 1st Street SE CALGARY, AB, T2G 4Y5 PHONE: 403 264 4000 FAX: 403 269 721	TRL & ASSOCIATES 100, 1615 - 10th Avenue SW CALGARY, AB, T3C 0J7 PHONE: 403 244 4944 FAX: 403 229 2110
MECHANICAL	ELECTRICAL	INTERIORS	LANDSCAPE
TLJ 301, 301 - 14th Street NW CALGARY, AB, T2N 2A1 PHONE: 403289 8852	TLJ 301, 301 - 14th Street NW CALGARY, AB, T2N 2A1 PHONE: 403289 8852	- -	GROUND CUBED Suite 25, 6020 2nd Street S.E. CALGARY, AB, T2H 2L8 PHONE: 403 475 0719

Site Information		
LAND USE DISTRICT	C-C1 (Commercial - Community 1)	
LEGAL DESCRIPTION	PLAN 2510849 (BLOCK 16, LOT 4)	
MUNICIPAL ADDRESS	1100 140 AVENUE NE, CALGARY, AB	
COMMUNITY	LEWISBURG	
SITE AREA	12,074 SM	129,966 SF
	2.98 AC	1.21 HA
Development Statistics		
PROPOSED USE	4 Commercial buildings, single storey wood frame structure	
FAR		
Maximum	1.00	
Proposed F.A.R	0.22	
Total GFA	2,701 SM	
BUILDING HEIGHT		
Maximum	10.0M	
SET BACK		
Front	3.0M	At P.L. shared with Street
Rear/Side	3.0M	At P.L. shared with Street
Rear/Side	5.0M	At P.L. shared with Residential district

Allocated Vehicle Parking						
	USE	GROSS USABLE FLOOR AREA (GUFA)		MINIMUM PROPOSED STALLS PER GUFA	PROPOSED STALLS	PROVIDED STALLS
Building 01	CRU (Commercial Retail)	914.81 SM	9846.97 SF	4 stalls per 100SM GUFA	37	37
	CRU (Commercial Retail)	636.03 SM	6846.16 SF	4 stalls per 100SM GUFA	26	26
Building 02	Child Care Service (75 students)	278.71 SM	3000.00 SF	1 stall /10 students (Pickup/ Drop off)	8	8
	CRU (Commercial Retail)	66.43 SM	715.00 SF	4 stalls per 100SM GUFA	4	4
Building 03	Liquor Store (Commercial Retail)	172.89 SM	1860.95 SF	4 stalls per 100SM GUFA	7	10
	Restaurant (Drive Through)	242.00 SM	2604.82 SF	5 stalls	5	11
Building 04	Restaurant (Drive Through)	280.08 SM	3014.78 SF	5 stalls	5	12
	Gas Bar (Convenience store)	280.08 SM	3014.78 SF	1 stalls per 100SM GUFA	3	3
Total Stalls					95 stalls	111 stalls
Deficiency						0
Surplus						16

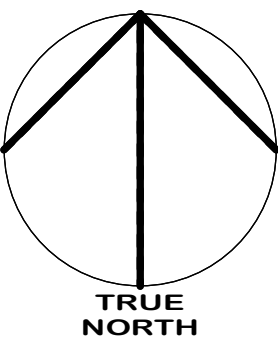
Barrier free (B.F) Vehicle Parking as per table 1.2 Land use Bylaw, and Alberta Building code - Table 3.8.2.5

	USE	GROSS USABLE FLOOR AREA (GUFA)		MINIMUM PROPOSED STALLS PER GUFA	TOTAL PARKING PROVIDED	B.F PARKING STALLS REQUIRED	B.F PARKING STALLS PROVIDED
Building 01	CRU (Commercial Retail)	914.81 SM	9846.97 SF	4 stalls per 100SM GUFA	37		
	CRU (Commercial Retail)	636.03 SM	6846.16 SF	4 stalls per 100SM GUFA	26		
Building 02	Child Care Service (75 students)	278.81 SM	3001.04 SF	1 stall /10 students (Pickup/ Drop off)	8		
	CRU (Commercial Retail)	66.43 SM	715.00 SF	4 stalls per 100SM GUFA	4		
Building 03	Restaurant (Drive Through)	242.00 SM	2604.82 SF	5 stalls	11		
	Liquor Store (Commercial Retail)	172.89SM	1860.95 SF	4 stalls per 100SM GUFA	10		
Building 04	Restaurant (Drive Through)	274.0 SM	2949.31 SF	5 stalls	12		
	Gas Bar (Convenience store)	274.0 SM	2949.31 SF	3 stalls	3		
Total Stalls					111 stalls	5 stalls	6 stalls
Deficiency							0
Surplus							1

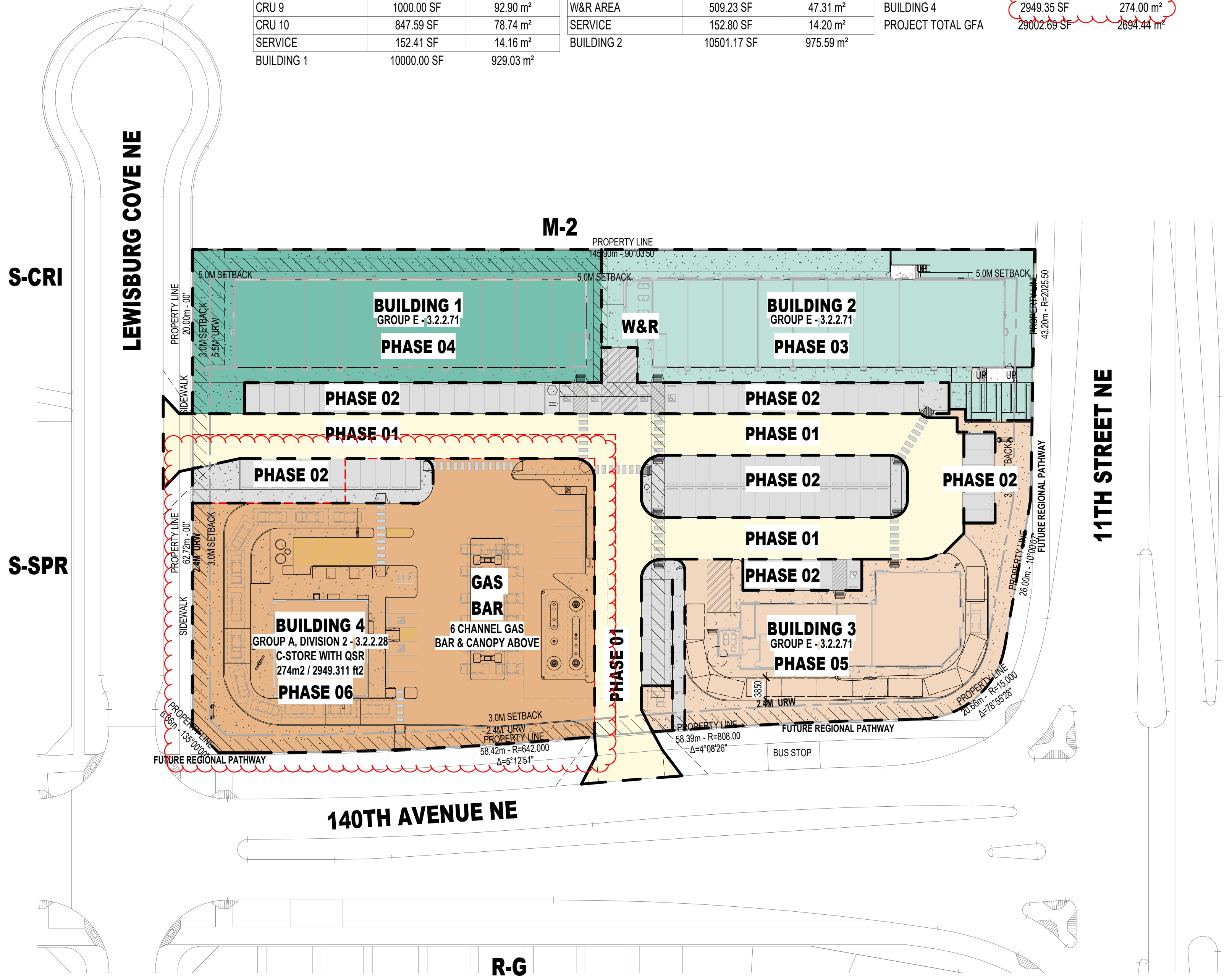
Note: Minimum parking required are calculated only for Barrier free Parking stall calculation

Bicycle Parking							
	USE	GROSS USABLE FLOOR AREA (GUFA)		TYPE	REQUIREMENT	PROPOSED	PROVIDED
		SM	SF			STALLS	STALLS
Building 01							
	CRU (Commercial Retail)	914.81 SM	9845.97 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	4	5
Building 02							
	CRU (Commercial Retail)	636.03 SM	6846.16 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	3	3
	Child Care Service	278.71 SM	3000.00 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 2000 SM GUFA	1	2
Building 03							
	CRU (Commercial Retail)	66.43 SM	715.00 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	1	2
	CRU (Liquor Store)	172.89 SM	1860.95 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	1	3
	Restaurant (Drive Through)	242.00 SM	2604.82 SF	Class 1	N/A	-	-
			Class 2	1 stalls per 250SM GUFA	1	3	
Building 04							
	Restaurant (Drive Through)	280.08 SM	3014.78 SF	Class 1	N/A	-	-
				Class 2	1 stalls per 250SM GUFA	2	2
Total Stalls						13	20
Deficiency							-
Surplus							7

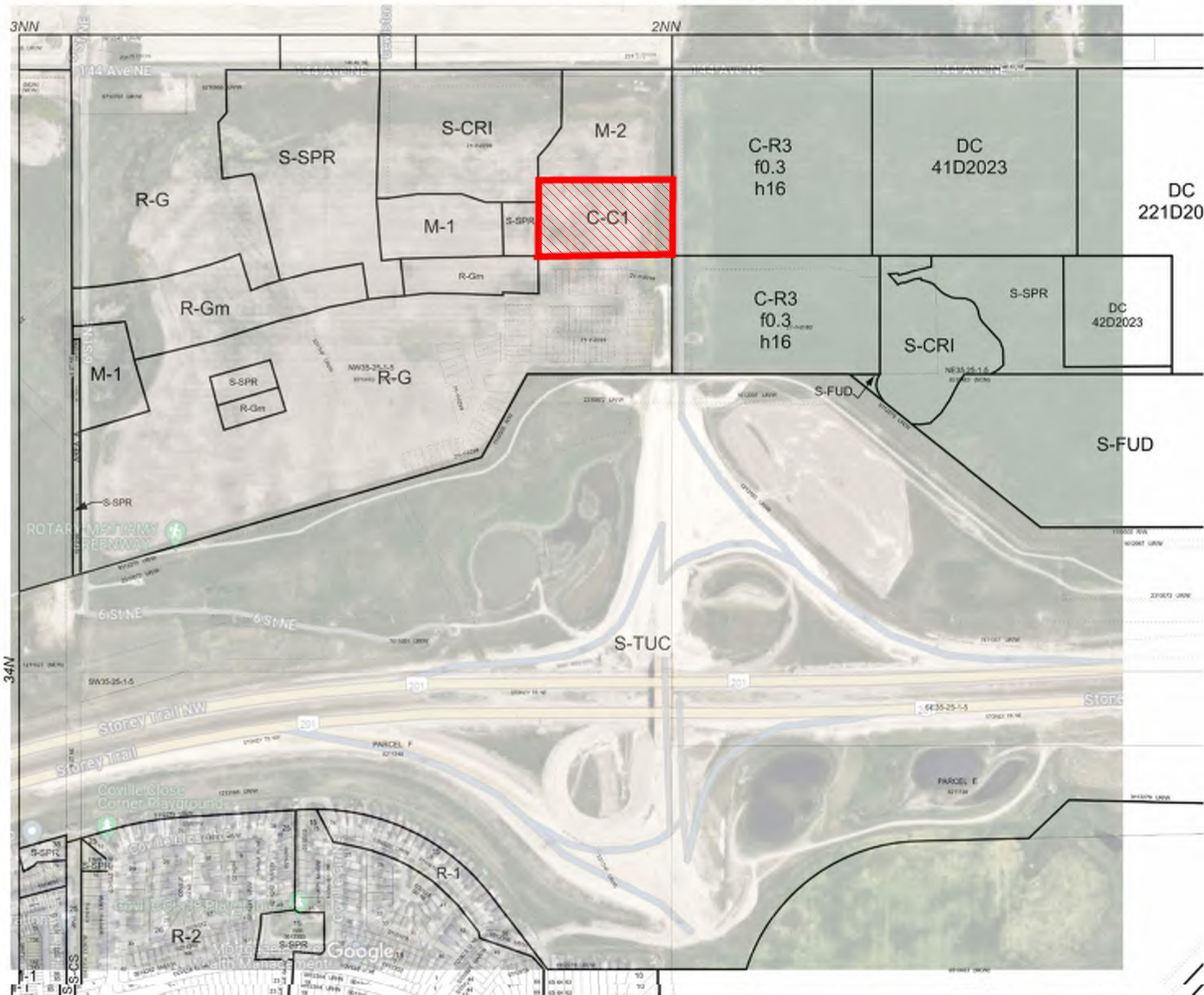
DRAWING INDEX	
SHEET NUMBER	SHEET NAME
ARCHITECTURE	
DP-00-00-00	COVER SHEET
DP-10-00-06	LOADING TRUCK SWEEP PATH & SITE DETAILS
DP-10-00-01	OVERALL SITE PLAN, VICINITY MAP, PHASING, SITE STATISTICS
DP-10-00-03	W&R TRUCK SWEEP PATH AND DETAILS
DP-10-00-05	FIRE ACCESS ROUTE
DP-10-00-02	SITE PLAN
DP-10-00-07	SITE SECTIONS
DP-31-00-01	BUILDING SECTIONS
DP-10-00-04	W&R TRUCK SWEEP PATH AND FRONT LOADING BIN DETAILS
DP-10-01-01	LEVEL 01 - MAIN FLOOR & ROOF PLANS
DP-30-01-01	EXTERIOR ELEVATIONS
DP-30-01-02	SCREENING 3D VIEWS
DP-10-02-01	LEVEL 01 - MAIN FLOOR & ROOF PLANS
DP-30-02-01	EXTERIOR ELEVATIONS
DP-30-02-02	SCREENING 3D VIEWS
DP-10-03-01	LEVEL 01 - MAIN FLOOR
DP-30-03-01	EXTERIOR ELEVATIONS
DP-30-03-02	SCREENING 3D VIEWS
CIVIL	
SP1	SITE SERVICING PLAN
SP2	SITE GRADING PLAN
ELECTRICAL	
E10-00-01	SITE LIGHTING LAYOUT
LANDSCAPE	
DP-L1	BYLAW PLAN
DP-L2	LANDSCAPE PLAN
DP-L3	DETAILS



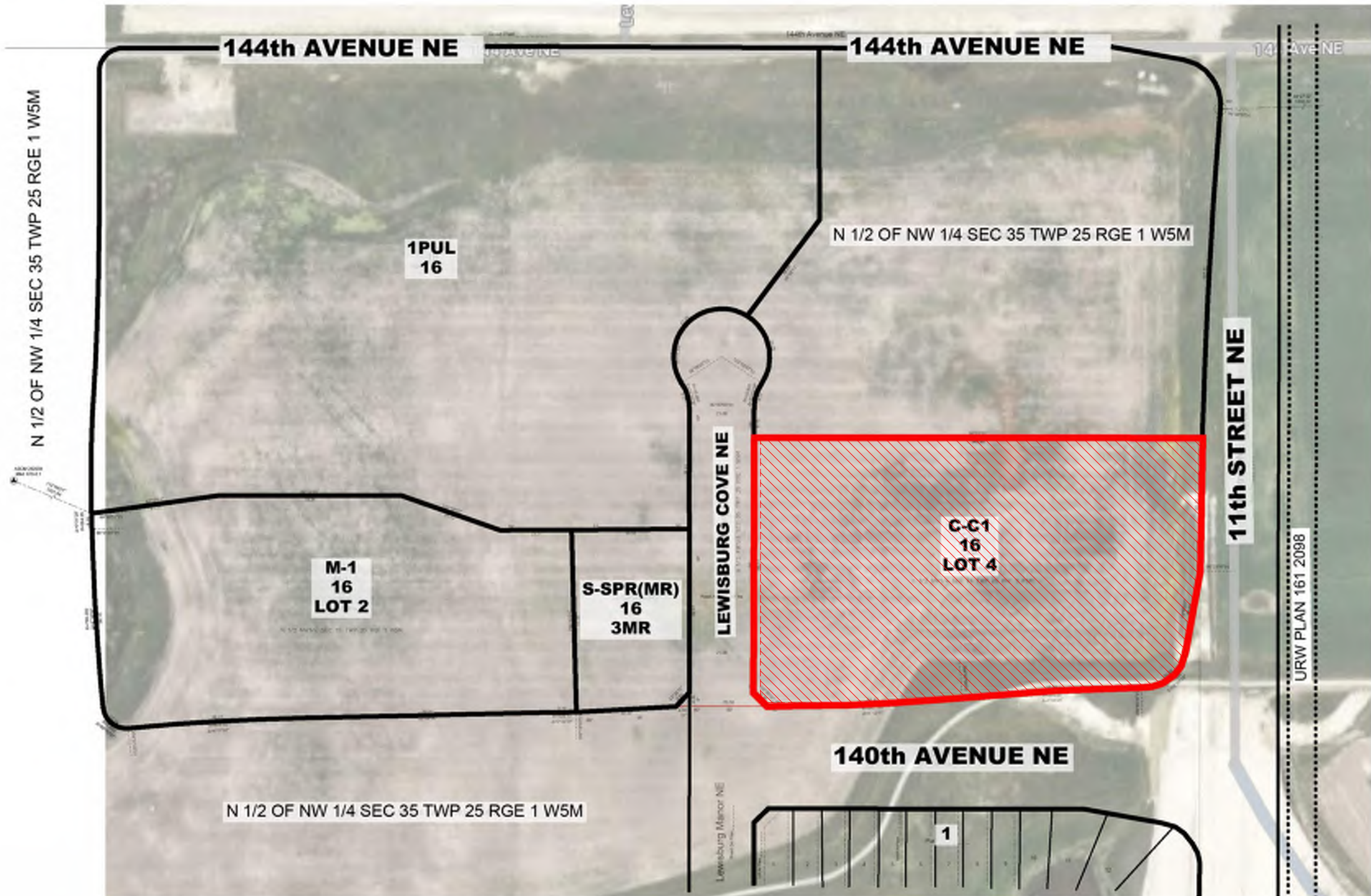
GROSS FLOOR AREA (GFA)			GROSS FLOOR AREA (GFA)			GROSS FLOOR AREA (GFA)		
	AREA SFT	AREA SQM		AREA SFT	AREA SQM		AREA SFT	AREA SQM
BUILDING 1								
CRU 1	1000.00 SF	92.90 m²	BUILDING 2			BUILDING 3		
CRU 2	1000.00 SF	92.90 m²	CRU 1	839.14 SF	77.96 m²	CRU - LIQUOR STORE	1860.95 SF	172.89 m²
CRU 3	1000.00 SF	92.90 m²	CRU 2	1000.00 SF	92.90 m²	CRU 1	715.00 SF	66.43 m²
CRU 4	1000.00 SF	92.90 m²	CRU 3	1000.00 SF	92.90 m²	CRU - RESTAURANT	2604.82 SF	242.00 m²
CRU 5	1000.00 SF	92.90 m²	CRU 4	1000.00 SF	92.90 m²	W&R AREA	211.49 SF	19.65 m²
CRU 6	1000.00 SF	92.90 m²	CRU 5	1000.00 SF	92.90 m²	SERVICE	159.92 SF	14.86 m²
CRU 7	1000.00 SF	92.90 m²	CRU 6	1000.00 SF	92.90 m²	BUILDING 3	5552.18 SF	515.81 m²
CRU 8	1000.00 SF	92.90 m²	CRU 7	1000.00 SF	92.90 m²	BUILDING 4		
CRU 9	1000.00 SF	92.90 m²	CRU-CHILD CARE	3000.00 SF	278.71 m²	C. STORE & QSR	2949.35 SF	274.00 m²
CRU 10	847.59 SF	78.74 m²	W&R AREA	509.23 SF	47.31 m²	BUILDING 4	2949.35 SF	274.00 m²
SERVICE	152.41 SF	14.16 m²	SERVICE	152.80 SF	14.20 m²	PROJECT TOTAL GFA	29002.69 SF	2694.44 m²
BUILDING 1	10000.00 SF	929.03 m²	BUILDING 2	10501.17 SF	975.59 m²			



- PHASE 01**
 - DEEP SERVICES AND CONNECTIONS TO EXISTING SERVICES
 - ROADWAYS (ASPHALT ONLY) DOES NOT INCLUDE ANY CONCRETE WORK (DRIVEWAYS OR WALKWAYS)
 - SHALLOW SERVICE AS REQUIRED.
- PHASE 02**
 - PARKING & DRIVEWAY
- PHASE 03**
 - BUILDING 02
 - WALKWAYS, SIDE WALKS INSTALLED
 - WASTER & RECYCLING ENCLOSURE AND STAGING APRON
 - LANDSCAPE AROUND BUILDING 02
 - RAMP
- PHASE 04**
 - BUILDING 01
 - WALKWAYS, SIDE WALKS INSTALLED
 - LANDSCAPE AROUND BUILDING 01
- PHASE 05**
 - BUILDING 03
 - WALKWAYS, SIDE WALKS INSTALLED
 - WASTER & RECYCLING ENCLOSURE AND STAGING APRON
 - BIKE STALLS
 - LANDSCAPE AROUND BUILDING 03
 - DRIVE THROUGH
- PHASE 06 (BY TENANT)**
 - BUILDING 04 AND GAS BAR
 - WALKWAYS, SIDE WALKS, PARKING INSTALLED
 - LANDSCAPE



2 ZONING MAP
DP-10-00-01 SCALE: 1 : 5000



1 SITE CONTEXT & VICINITY
DP-10-00-01 SCALE: 1 : 1500

DATE	ISSUED FOR	REV
2024-07-31	ISSUED FOR DEVELOPMENT PERMIT	1
2024-10-17	ISSUED FOR DR1	2
2024-12-13	DR2	3
2025-03-11	FULL SET DR2-R1	4
2025-04-09	PRIOR TO RELEASE	5
2025-12-11	ISSUED FOR REVISIONS TO DP	6

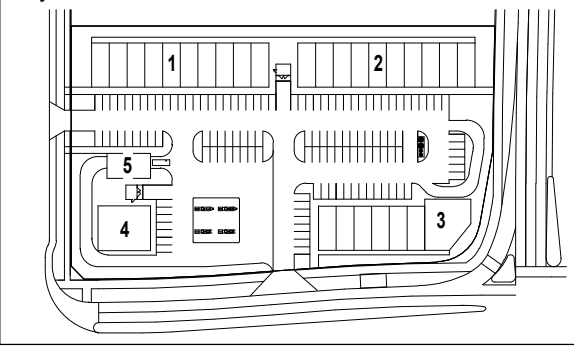
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Project Component

CONSTRUCTION

Key Plan



Consultants

Survey:

Civil:

Architecture:

Structural:

Mechanical:

Electrical:

Interiors:

Landscape:

PASQUINI & ASSOCIATES GEOMATICS LTD.

JUBILEE ENGINEERING CONSULTANTS LTD.

NORR

TRL & ASSOCIATES

TLJ

TLJ

-

GROUND CUBED

Seal(s)

JOINT FIRM

NORR Architects Engineers Planners

Issued by:

THE ALBERTA ASSOCIATION OF ARCHITECTS

Certificate No. AEC13504

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

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Jonathan Hughes, Architect, AAA, OAA, ABC, MAA, AANB, AAPE

Adrian Tobolski, P.Eng., APEGA

Chris Piel, P.Eng., APEGA

Project Manager

T.JAIN

Project Leader

K.ELDIALDE

Client

Drawn

S.KARVETI

Checked

T.JAIN



TRUMAN

2236, 10 ASPEN STONE BLVD SW

Project

LEWISBURG COMMERCIAL

1100 140 AVENUE NE, CALGARY, AB

Drawing Title

OVERALL SITE PLAN,
VICINITY MAP, PHASING,
SITE STATISTICS

Scale

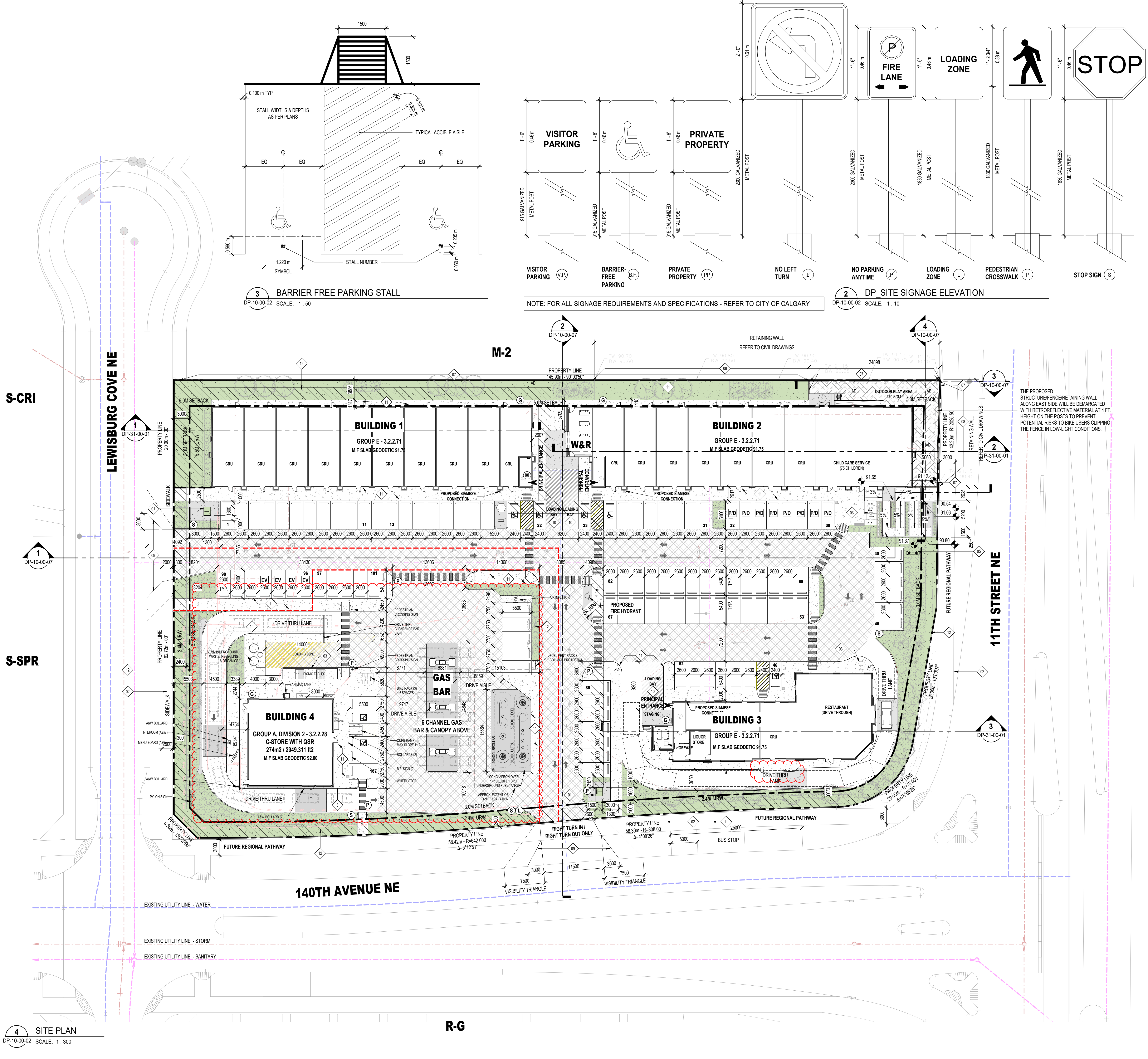
As indicated

Project No.

CO1124-0099

Drawing No.

DP-10-00-01



SITE KEYNOTES

- PROPOSED LOCATION OF ELECTRICAL TRANSFORMER
- PUBLIC WALKWAY
- PROPOSED CLASS 2 BIKE PARKING
- PROPOSED FIRE HYDRANT
- PROPOSED PYLON SIGN
- PROPOSED DRIVE THRU MENU BOARD AND ORDERING STATION. LOCATION TO BE COORDINATED WITH TENANT IMPROVEMENT
- 6FT HIGH FENCE
- PROPOSED RETAINING WALL. REFER TO CIVIL DRAWINGS
- PROPOSED ENTRANCE APRON
- PROPOSED LOADING BAY
- CONCRETE WALKWAY
- PLANTS REFER TO LANDSCAPE
- PULLBOX, REFER TO SHALLOWS DESIGN PLAN

SITE PLAN NOTES

- REGULAR ASPHALT ON PARKING STALLS
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (W.P.)
- NO PARKING ANYTIME/FIRE LANE SIGNAGE TO BE POSTED ON ALL INTERNAL ROADS LESS THAN 8.5m.
- REFER TO CIVIL DRAWINGS FOR SERVING AND GRADING.
- REFER TO LANDSCAPE DRAWINGS FOR DETAILS.

GENERAL NOTES

- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS AND FEATURES.
- REFER TO LIGHTING PLAN FOR SITE LIGHTING LAYOUT AND DETAILS. ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY.
- REFER TO DP10-00-03 FOR WASTE & RECYCLING DRAWINGS AND DETAILS.
- ALL PROPERTY LINES ARE EXISTING AND ALL ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE.
- NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION.
- ALL INFORMATION ABOUT SERVICES, UTILITY RIGHT OF WAY AND GRADING IS PROVIDED & EXTERIOR STEPS BY CIVIL ENGINEER AND IT'S SHOWN IN ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY AND FOR ADDITIONAL INFORMATION REFER TO CIVIL DRAWINGS.
- THIS DEVELOPMENT PERMIT DRAWING AND NOTED AREA CALCULATION IS FOR GENERAL REFERENCE ONLY. ALL BUILDINGS ARE APPROXIMATE AND ARE TO BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT.

SITE LEGEND

- PRINCIPAL ENTRY
- BARRIER FREE PARKING
- BARRIER FREE PARKING SIGNAGE
- NO LEFT TURN
- NO PARKING ANY TIME / FIRELANE
- STOP SIGN
- LOADING BAY
- PEDESTRIAN CROSSWALK
- GAS METER
- WATER METER
- CATCH BASIN
- GRATED TOP MANHOLE
- DIRECTION OF TRAVEL
- TRANSFORMER & CONC. PAD
- WHEELCHAIR RAMP
- NUMBER OF RISERS (REFER TO CIVIL DRAWINGS)
- FIRE HYDRANT EXISTING (E) & PROPOSED (P)
- MAIN FLOOR (ENTRY LEVEL)
- PAINTED PEDESTRIAN CROSSWALK
- RETAINING WALL
- CONCRETE SIDEWALK
- URW AREA
- HEAVY DUTY ASPHALT
- FIRE ACCESS ROUTE
- FIRE ACCESS ROUTE TO BE MINIMUM 6.0M WIDE MADE OF HEAVY DUTY ASPHALT (ABLE TO SUPPORT A MIN. OF 85,000 LB OR 38,556 KG)
- PROPERTY LINE
- SETBACK LINE
- UTILITY - GAS LINE
- UTILITY - WATER LINE
- UTILITY - SANITARY LINE
- UTILITY - STORM LINE
- STRATA LINE
- PARKING FOR ELECTRICAL VEHICLE
- PICK UP/ DROP OFF PARKING STALL (CHILD CARE SERVICE)

DATE	ISSUED FOR	REV
2024-07-31	ISSUED FOR DEVELOPMENT PERMIT	1
2024-10-17	ISSUED FOR DR1	2
2024-12-13	DR2	3
2025-01-08	DR2 - R1	4
2025-03-11	FULL SET DR2-R1	5
2025-04-09	PRIOR TO RELEASE	6
2025-12-05	BLDG 4 SITE REVISION	7
2025-12-11	ISSUED FOR REVISIONS TO DP	8

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Project Component
CONSTRUCTION

Key Plan

Consultants
Survey: PASQUINI & ASSOCIATES GEOMATICS LTD.
Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture: NORR
Structural: TRL & ASSOCIATES
Mechanical: TLJ
Electrical: TLJ
Interiors: TLJ
Landscape: GROUND CUBED

Seal(s)

NORR
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Calgary, AB, Canada T2G 4Y5
norr.com
NORR Architects Engineers Planners
A Partnership of Corporations
Jonathan Hughes, Architect, AIA, OAA, ASBC, MAA, AAN, AAPE
Adam Tiedes, P.Eng., APEGA
Chris Wu, P.Eng., APEGA

Project Manager	Drawn
T.JAIN	S.KARVETI
Project Leader	Checked
K.ELDIALDE	T.JAIN

Client

TRUMAN
2236, 10 ASPEN STONE BLVD SW
Project
LEWISBURG COMMERCIAL

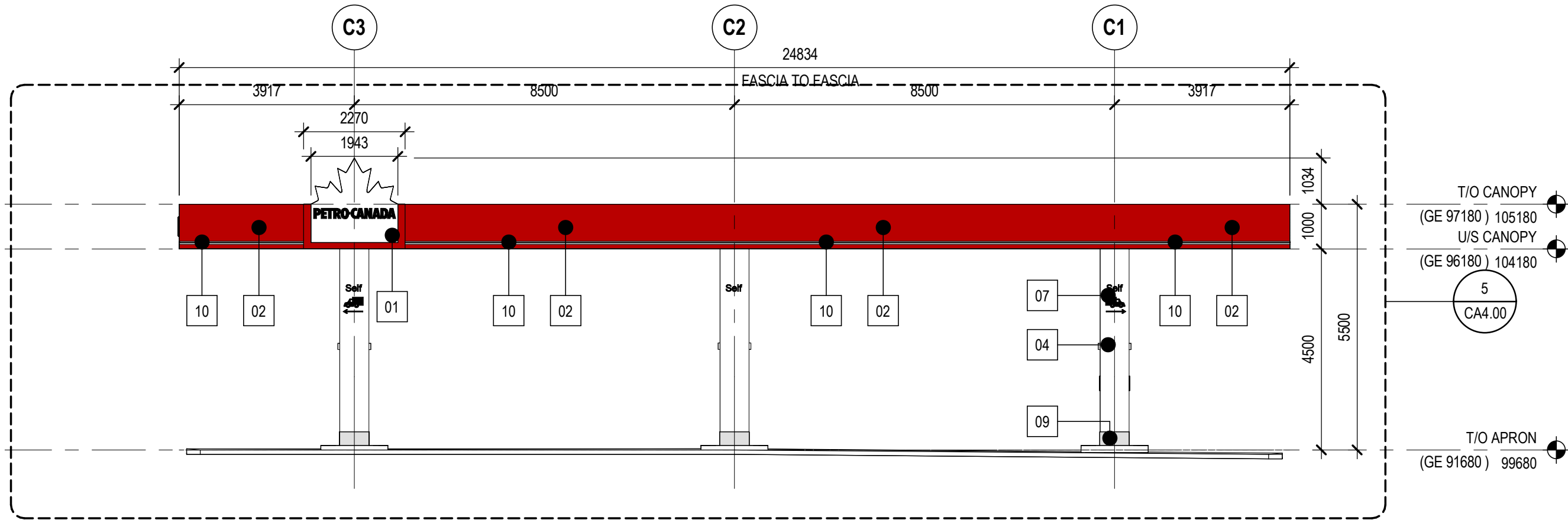
1100 140 AVENUE NE, CALGARY, AB
Drawing Title

SITE PLAN

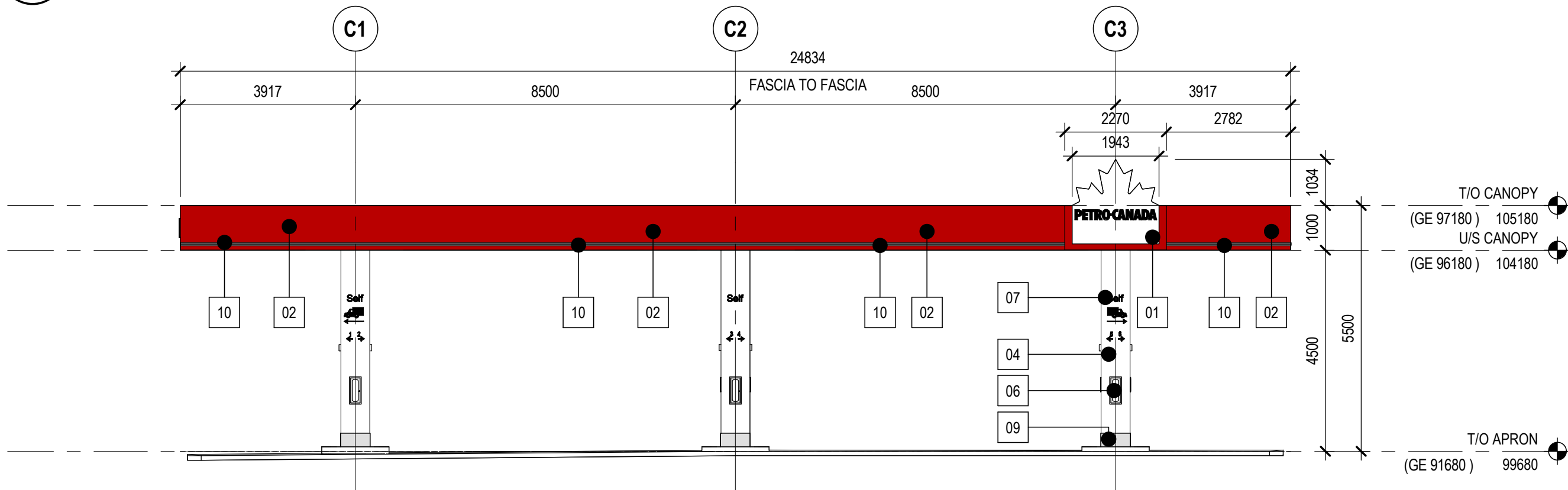
Scale
As indicated

Project No.
CO1124-0099

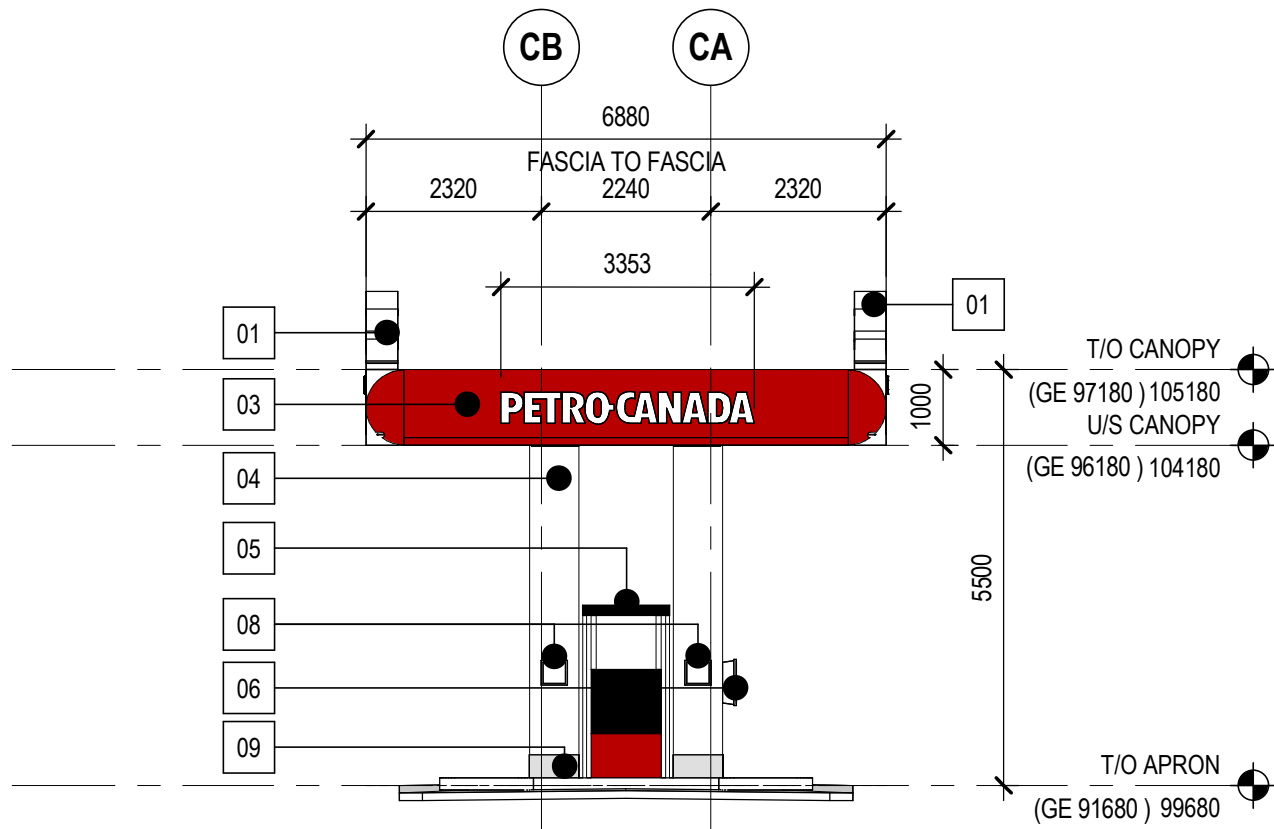
Drawing No.
DP-10-00-02



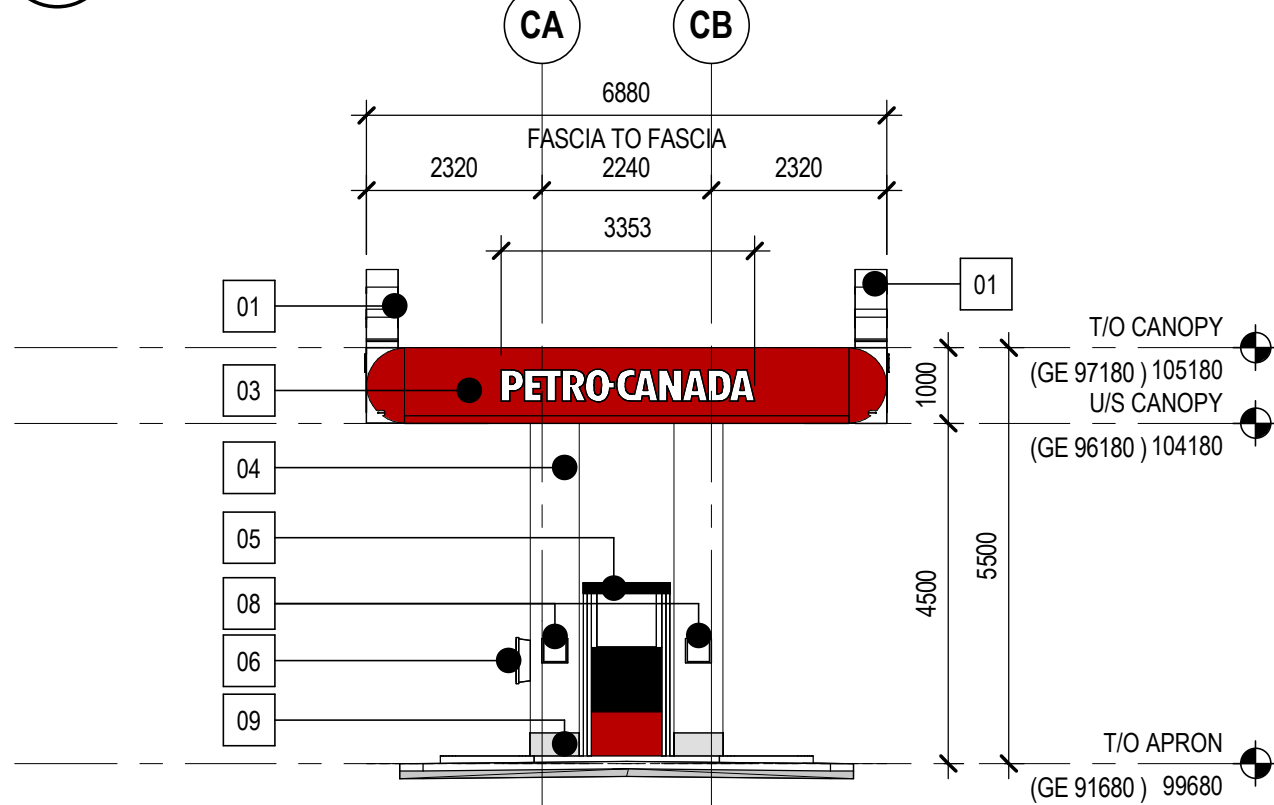
1 EAST ELEVATION
SCALE: 1 : 100



3 WEST ELEVATION
SCALE: 1 : 100



2 NORTH ELEVATION
SCALE: 1 : 100



4 SOUTH ELEVATION.
SCALE: 1 : 100

KEYNOTE LEGEND	
NUMBER	DESCRIPTION
01	ILLUMINATED SIGNAGE, SUPPLIED BY SIGN COMPANY
02	ALLUMINUM COMPOSITE METAL PANELS, 1000mm HALF ROUND WITH INTEGRAL REVEAL GLOSS RED C/W RED LED LIGHT STRIP IN REVEAL
03	ALLUMINUM COMPOSITE METAL PANELS, 1000mm GLOSS RED FLAT PANELS C/W INTEGRAL INTERNALLY ILLUMINATED SIGN BOX WITH WHITE ACRYLIC PUSH THROUGH LETTERS
04	ALLUMINUM COMPOSITE METAL PANEL, COLOUR PC WHITE
05	FUEL DISPENSER UNIT
06	FIRE EXTINGUISHER, ONE PER COLUMN
07	VINYL LETTER/GRAPHIC (COLOUR: BLACK)
08	SNAP FRAME DISPLAY UNIT
09	STAINLESS STEEL BASE WRAP
10	RED PERIMETER LED STRIP LIGHTING TUBING IN 75mm REVEAL

REVISION TABLE		
REV.	DESCRIPTION	DRAWN APP'D DATE

ISSUE TABLE		
1	DEVELOPER COORDINATION	2025-10-10

METRIC
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SEAL:

CONSULTANT:
DIALOG
Tel: _____



DRAWING TITLE:
EXTERIOR ELEVATIONS & BUILDING SECTIONS

PROJECT:
PETRO-CANADA LEWISTON
#400 1100 140 AVENUE NE CALGARY, AB

DRAWN: GA	SHEET SIZE: ANSI D 559mm x 854mm
DRAWN SCALE: 1 : 100	PETRO-CANADA FILE No.
DATE DRAWN: 2025-10-10	CONSULTANT FILE No.
CHECKED BY: KR	PLOT SCALE
APPROVED BY: Approver	PLOT DATE: 12/12/2025 11:39:07 AM
AB100728 - 2009463	PLOT CONFIGURATION
STD No./ OUTLET No. 68132	CA3-01

EXTERIOR FINISHES	
NUMBER	DESCRIPTION
01	COMPOSITE ALUMINUM PANEL, COLOUR: PC WHITE
02	BRICK VENEER, COLOUR: SLATE GREY SMOOTH, HERBORN MODULAR BRICK
03	WOOD GRAIN METAL SIDING, LUX - 152mm V-GROOVE SYSTEM, COLOUR: HEMLOCK
04	HORIZONTAL METAL SIDING, LUX - 152mm V-GROOVE SYSTEM, COLOUR: GLACIER WHITE
05	ARCHITECTURAL BLOCK BASE EXPOCRETE: TERRAZZO BLOCK, COLOUR: GRANITO
06	SILL CAP, COLOUR: TBD
07	METAL FLASHING PARAPET, COLOUR: PC WHITE
08	METAL FLASHING, PARAPET, COLOUR: HEMLOCK
09	METAL FLASHING, COLOUR: SLATE GREY SMOOTH
11	ALUMINUM WINDOW FRAMING, COLOUR: BLACK ANODIZED
13	ENTRANCE DOOR, COLOUR: BLACK ANODIZED
15	THERMAL PANEL GLASS DOUBLE GLAZED
16	INSULATED PANEL, COLOUR: BLACK ANODIZED
18	SECURITY DRAWER, COLOUR: SILVER ALUMINUM
19	EXTERIOR LIGHT FIXTURE, COLOUR: WHITE
20	EXTERIOR FEATURE WALL LIGHT FIXTURE, SPECIFICATION TO MATCH DEVELOPMENT T.B.D.
21	ILLUMINATED LED RED LEAF BAND, 75mm CONTINUOUS
22	INTERNALLY ILLUMINATED 'NEIGHBOURS' SIGN
23	A&W ILLUMINATED BOOMERANG LIGHT BOX, COLOUR: A&W ORANGE
24	INTERNALLY ILLUMINATED SIGN A&W SIZE 2591mm
26	NON-ILLUMINATED LETTER SIGN A&W, COLOUR: BLACK
27	NON-ILLUMINATED LETTER SIGN A&W, COLOUR: WHITE

REVISION TABLE		
REV.	DESCRIPTION	DRAWN/APP'D DATE

ISSUE TABLE		
1	DEVELOPER COORDINATION	2025-10-10

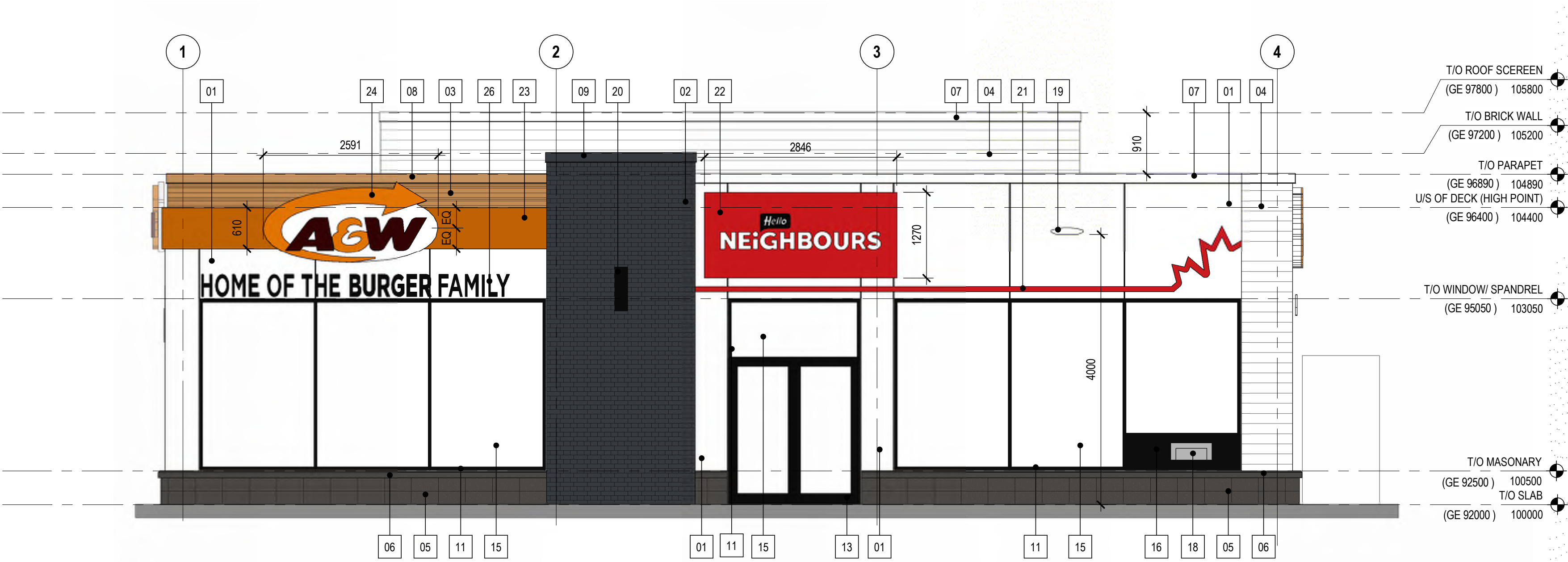
METRIC	
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SEAL:	

CONSULTANT:
DIALOG [®]
300-134-11 AVENUE SE CALGARY, AB T2G 0X5 Tel: 403 245 5501
 A Suncor business

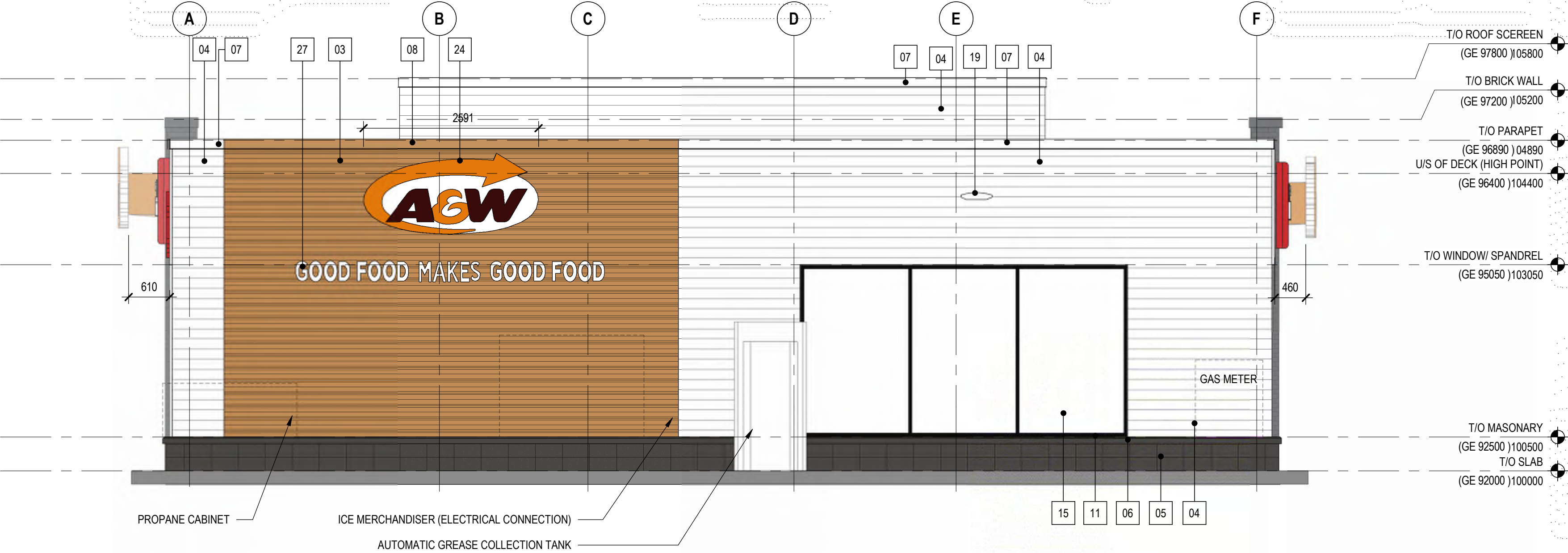
DRAWING TITLE:
EXTERIOR ELEVATIONS

PROJECT:
PETRO-CANADA LEWISTON
#400 1100 140 AVENUE NE, CALGARY, AB

DRAWN: GA	SHEET SIZE: ANSI D 559mm x 854mm
DRAWN SCALE: 1 : 50	PETRO-CANADA FILE No.
DATE DRAWN: 2025-10-10	CONSULTANT FILE No.
CHECKED BY: KR	PLOT SCALE
APPROVED BY: KR	PLOT DATE: 12/12/2025 11:17:42 AM
AB100728 - 2009463	PLOT CONFIGURATION
STD. No./ OUTLET No.	A4.00
02563	



1 EAST ELEVATION
SCALE: 1 : 50



2 NORTH ELEVATION
SCALE: 1 : 50

EXTERIOR FINISHES	
NUMBER	DESCRIPTION
01	COMPOSITE ALUMINUM PANEL, COLOUR: PC WHITE
02	BRICK VENEER, COLOUR: SLATE GREY SMOOTH, HERBORN MODULAR BRICK
03	WOOD GRAIN METAL SIDING, LUX - 152mm V-GROOVE SYSTEM, COLOUR: HEMLOCK
04	HORIZONTAL METAL SIDING, LUX - 152mm V-GROOVE SYSTEM, COLOUR: GLACIER WHITE
05	ARCHITECTURAL BLOCK BASE EXPOCRETE: TERRAZZO BLOCK, COLOUR: GRANITO
06	SILL CAP, COLOUR: TBD
07	METAL FLASHING PARAPET, COLOUR: PC WHITE
08	METAL FLASHING, PARAPET, COLOUR: HEMLOCK
11	ALUMINUM WINDOW FRAMING, COLOUR: BLACK ANODIZED
12	DRIVE-THRU WINDOW QSR, ULTIMATE DRIVE THRU WINDOWS, BLACK ANODIZED
13	ENTRANCE DOOR, COLOUR: BLACK ANODIZED
14	SPANDREL GLASS PANEL, PPG EXTRUSION COATINGS:DURANAR COATINGS - UC43352 COLONIAL GREY
15	THERMAL PANEL GLASS DOUBLE GLAZED
17	3M WINDOW FILM, INTERIOR APPLICATION, COLOUR: CHARCOAL
20	EXTERIOR FEATURE WALL LIGHT FIXTURE, SPECIFICATION TO MATCH DEVELOPMENT T.B.D.
22	INTERNALLY ILLUMINATED 'NEIGHBOURS' SIGN
23	A&W ILLUMINATED BOOMERANG LIGHT BOX, COLOUR: A&W ORANGE
24	INTERNALLY ILLUMINATED SIGN A&W SIZE 2591mm
25	INTERNALLY ILLUMINATED SIGN A&W SIZE 2146mm
26	NON-ILLUMINATED LETTER SIGN A&W, COLOUR: BLACK
28	A&W NON ILLUMINATED "BURGER FAMILY DECAL", SURFACE MOUNTED
29	A&W POSTER SNAP FRAME, SURFACE MOUNTED



1 WEST ELEVATION
A4.01 SCALE: 1:50



2 SOUTH ELEVATION
A4.01 SCALE: 1:50

REVISION TABLE		
REV.	DESCRIPTION	DRAWN/ APP'D DATE

ISSUE TABLE		
1	DEVELOPER COORDINATION	2025-10-10

METRIC

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SEAL:

CONSULTANT:

DIALOG

300-134-11 AVENUE SE
CALGARY, AB T2G 0X5
Tel: 403 245 5501



DRAWING TITLE:

EXTERIOR ELEVATIONS

PROJECT:

PETRO-CANADA LEWISTON

**#400 1100 140 AVENUE NE,
CALGARY, AB**

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AB100728 - 2009463	PLOT CONFIGURATION
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