

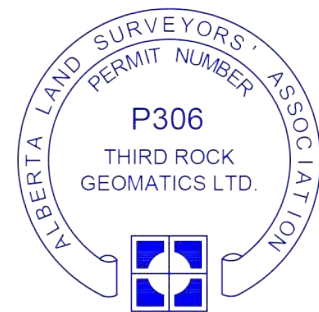
SITE PLAN SHOWING EXISTING FEATURES

Description of Property

Civic Address: 22 Varwood Place NW, Calgary, Alberta
Legal Address: Lot 11, Block 37, Plan 5224JK

Date of Survey: January 16 and 19, 2026

Mark A. Sutter, A.L.S., P.Surv. (Copyright reserved)
Dated at the City of Calgary, Alberta, January 22, 2026



Area Table (m²)

	Parcel	House	Garage	Building	Coverage
18 Varwood Place NW	1325.1	211.6			16.0 %
20 Varwood Place NW	832.2	158.4			19.0 %
22 Varwood Place NW	678.3	175.5			25.9 %
24 Varwood Place NW	724.3	92.7	44.4	4.9	19.6 %
26 Varwood Place NW	698.2	152.4	10.4		23.3 %

Tree Table (m)

	Trunk Ø	Drip Ø	Height	Species
T1	0.50	2.0	18	Coniferous
T2	0.60	3.0	8	Deciduous
T3	0.60	3.0	18	Coniferous

Notes

- Distances are in metres and decimals thereof.
Bearings are assumed from plan 5224JK.
All ties are perpendicular to property line.
Side yard and setback distances are measured to concrete walls.
Title Boundary shown thus: ————
Wood Fence shown thus: ————
O/H Powerline & Telephone: ————
Sewer: ————
Elevations are geodetic, derived from ASCM 202689 Elev = 1107.414
Roof Peak - RP
Main Floor - MF
Utility Pole - ○ Utility Pole
Light Standard - ○ LS
Drillhole found - ⊗ Fd. Drillhole
Elevation Point - ⊕

All buried utility information shown or omitted is subject to verification.
Buried utilities drawn from City of Calgary Block Profiles.

Disclaimer

This Drawing, prepared by Third Rock Geomatics Ltd., and all information contained herein is provided for the purpose of a Development Permit Application for:
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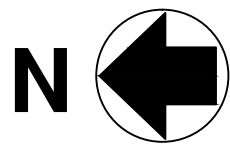


UtilitySafety.ca 1-800-242-3447

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File: 26-0014 5224JK:37:11 | Drawing Name: 26-0014-DP.dwg | Plot Date: 2026-01-22 06:13 PM





PRIME ARCHITECT

SEAL

Consultant

SEAL

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REVISIONS

REV #	DATE	DESCRIPTION
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7		
6		
5		
4		
3		
2		
1		

CLIENT

PROJECT

ADDRESS

CIVIC:

#22 VARWOOD PL NW
CALGARY, AB
LOT 11, BLOCK 37, PLAN 5224JK

DRAWING TITLE

PROPOSED SITE PLAN

SCALE

1/4" = 1'-0"

DRAWN BY

RH

DATE

DEC.14, 2025

PROJECT NO.

SHEET NO.

A1

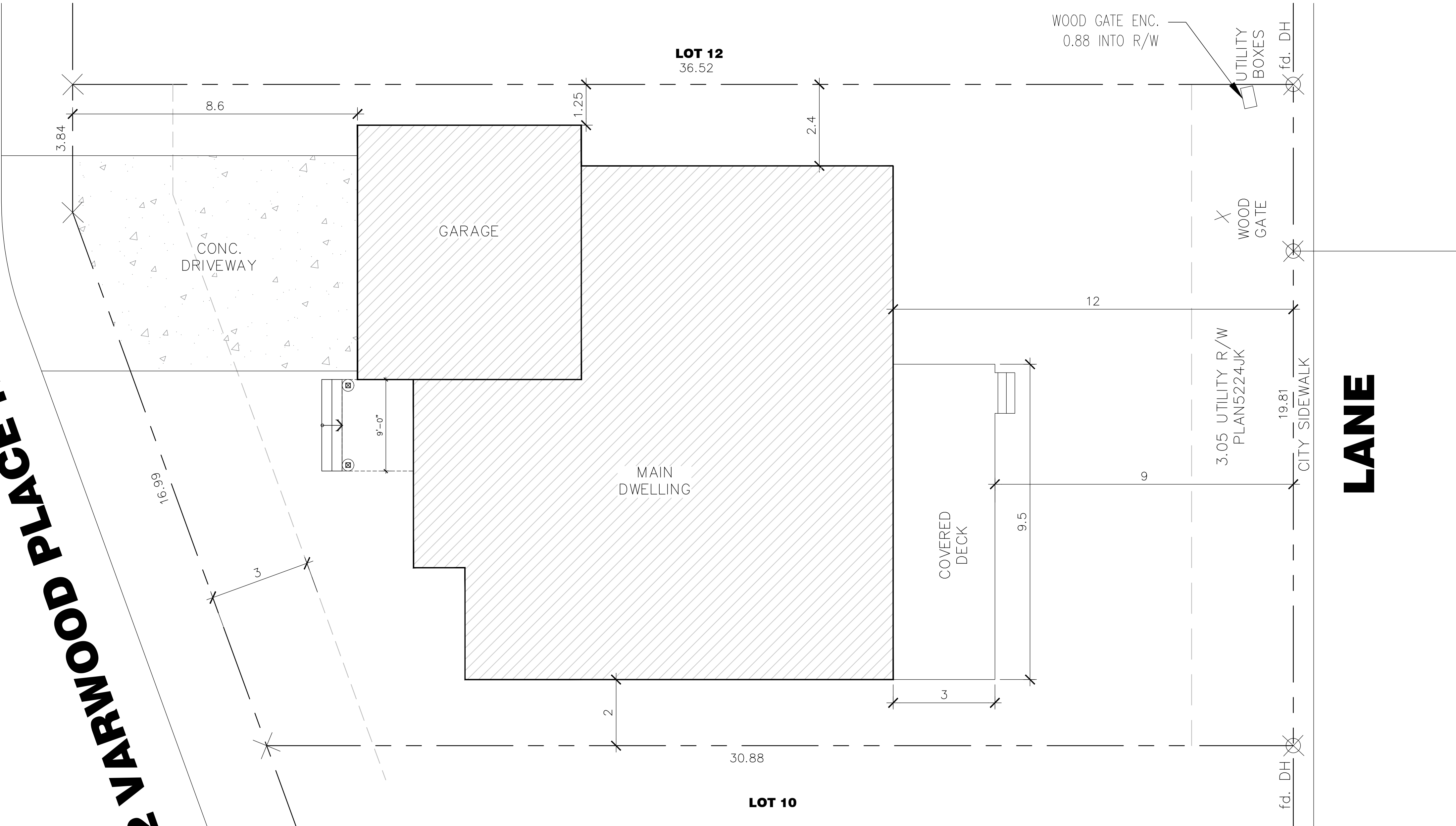
LOT AREA: = ± 7299 SQ.FT. (678 SQ.M.)

PROPOSED LOT COVERAGE: =± 2529 SQ.FT. (235 SQ.M.) (34.6 %)

GENERAL NOTES:

- ALL CONSTRUCTION TO CONFORM TO N.B.C 2023, ALBERTA EDITION.
- BUILDER SHALL BE RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND INFORMATION ON DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR PROPER ADJUSTMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.
- ALL BEAMS AND LINTELS TO BE #2 AND BETTER DRY SPRUCE UNLESS NOTIFIED OTHERWISE. AND SHALL HAVE A FULL END BEARING SUPPORT . ALL EXTERIOR LINTELS TO BE 2-2X10 #2 AND BETTER DRY SPRUCE UNLESS NOTIFIED OTHERWISE.
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE ALBERTA BUILDING CODE AND LOCAL BUILDING BY-LAWS.
- WALLS ARE DIMENSIONED TO EDGE EDGE OF FRAMING. OPENING ARE DIM. TO CENTRE OF R.O.
- CONTRACTOR TO DETERMINE SOIL CONDITIONS ARE SUITABLE BEFORE START OF CONSTRUCTION.
- ALL FOOTINGS TO BE A MIN. OF 4' BELOW GRADE, WHERE STEP FOOTING ARE USED, THE VERTICAL DIMENSION OF EACH STEP SHALL NOT EXCEED 2'-0" AND HORIZONTAL DIMENSION OF EACH STEP SHALL NOT BE LESS THAN 2'-0" AS PER 9-15-3-8.
- ALL MATERIALS SHALL BE INSTALLED AND/OR APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- BUILDER SHALL VERIFY ALL LOCATIONS AND ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION.
- BUILDER TO VERIFY THAT ALL WOOD FRAMING MATERIAL IS GRADE STAMPED AND HAS LESS THAN 19% MOISTURE CONTENT.
- WRITTEN AND APPROVED SPECIFICATIONS WILL ALWAYS OVERRIDE DRAWINGS.
- ALL PLANS AND PLOT PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND APPROVALS.
- DOORS AND WINDOWS ARE SHOWN IN NOMINAL SIZES. ROUGH OPENING SHALL BE AS MANUFACTURE'S SPECIFICATIONS.
- DO NOT SCALE FROM DRAWINGS
- CONTRACTOR TO CALL CITY – PRIOR TO EXCAVATION – TO MARK THE UTILITY LINES INSIDE THE PROPERTY, CONTRACTOR TO CONFIRM THAT ALL EXCAVATION IS FAR FROM ANY UTILITY LINES AND TO INFORM THE DESIGNER WITH ANY ENCROACHMENT BETWEEN THE EXCAVATION AND THE UTILITY LINES.

22 VARWOOD PLACE N.W.



SITE PLAN
SCALE: 1" = 75'

PRIME ARCHITECT

SEAL

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REVISIONS

REV #	DATE	DESCRIPTION
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CLIENT

PROJECT

ADDRESS

CIVIC:

#22 VARWOOD PL NW
CALGARY, AB

LEGAL:

LOT 11, BLOCK 37, PLAN 5224JK

DRAWING TITLE

PROPOSED FRONT & REAR ELEVATIONS

SCALE

1/4" = 1'-0"

DATE

DEC.14, 2025

SHEET NO.

DRAWN BY

RH

PROJECT NO.

A2.1



1 FRONT ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUM, AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE DESIGNER. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.



1 **RIGHT ELEVATION**
A2.2 SCALE: 1/4" = 1'-0"



2 **LEFT ELEVATION**
A2.2 SCALE: 1/4" = 1'-0"

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REV #	DATE	DESCRIPTION
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DRAWING TITLE

**PROPOSED RIGHT & LEFT
ELEVATIONS**

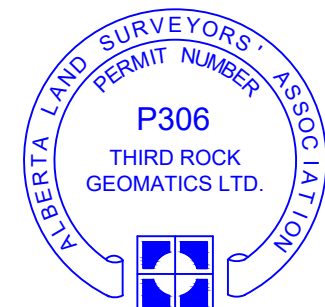
SCALE: 1/4" = 1'-0"	DATE: DEC.14, 2025	SHEET NO.:
DRAWN BY: RH	PROJECT NO.:	A2.2

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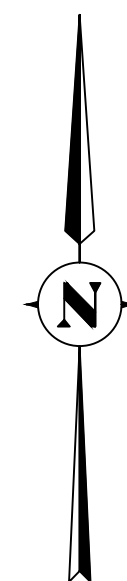
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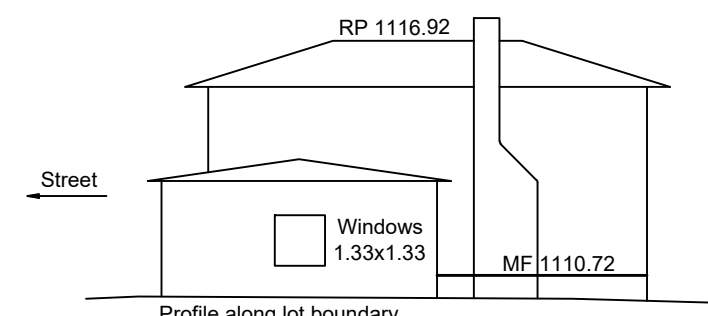
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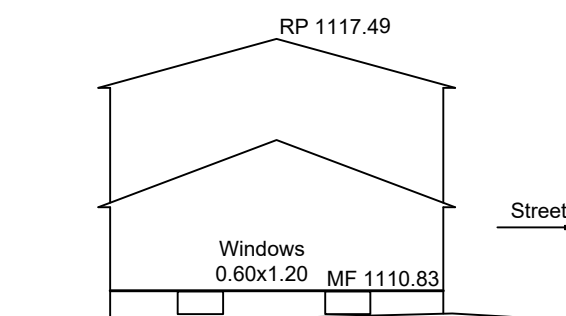
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24 Varwood Place NW
Looking East
RP 1116.92
MF 1110.72



20 Varwood Place NW
Looking West
RP 1117.49
MF 1110.83

STREETSCAPE

Looking South
Scale 1:200

