

View from SW across St



View Facing North



View Facing Facing SE

All views have lighting from Sep 21st at 4:00 PM

CONTENTS	
A1	- Cover Page
A2	- Block Plan
A3	- Site Plan
A4	- Exterior Elevations
A5	- Landscape Plan
A6	- Basement Floor Plan
A7	- Main Floor Plan
A8	- 1st Floor Plan
A9	- 2nd Floor Plan
A10	- Roof Plan View
A11	- Exterior Elevations N/S
A12	- Exterior Elevations E/W
A13	- Cross Section E/W
A14	- Cross Section N/S



View from SE Corner

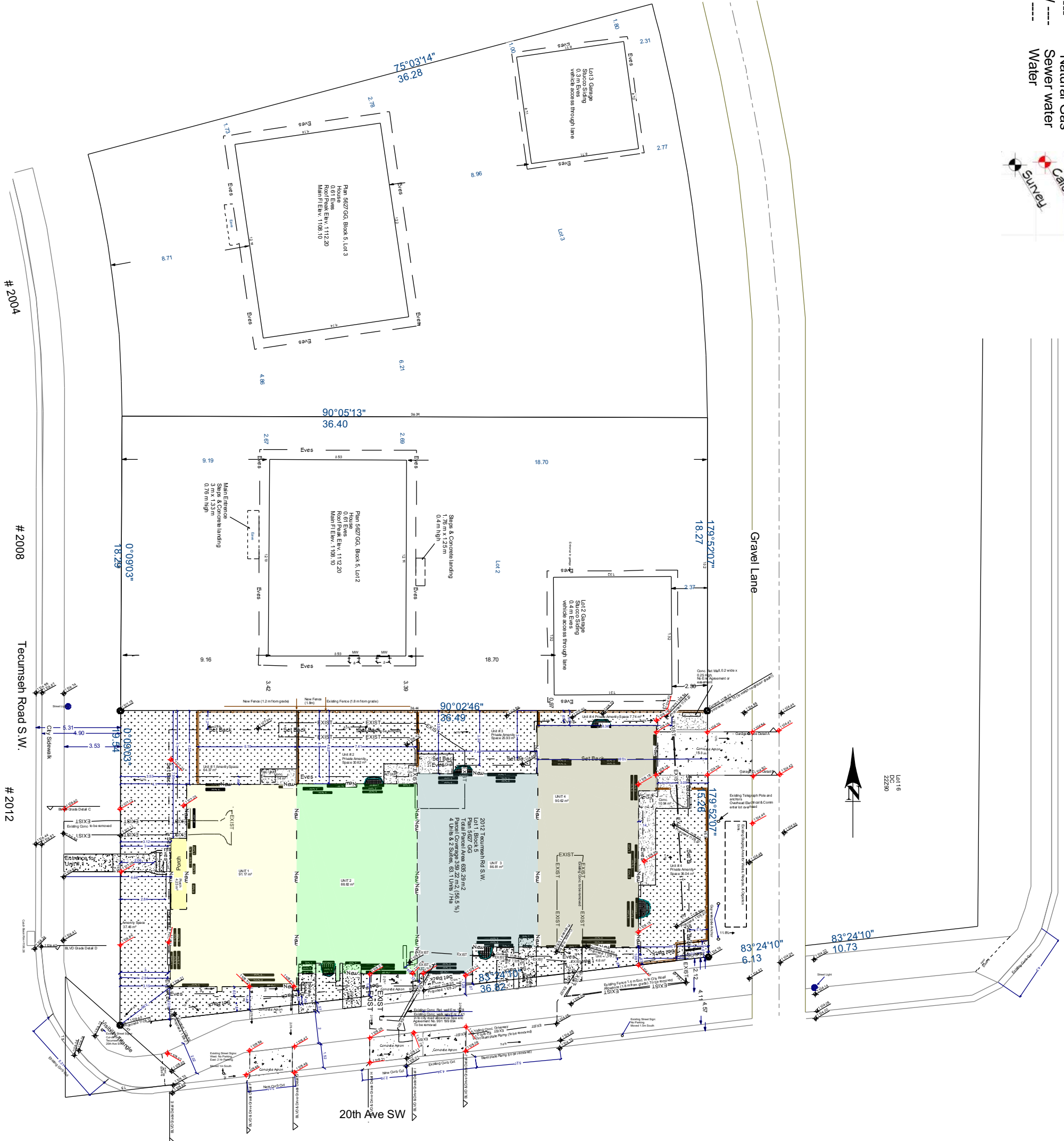


View across street tecumseh sidewalk height

2012 Tecumseh Road SW, T2T 5C5  
Lot 1, Block 5, Plan 5627 GG  
4 Townhouse Build

- Openings Legend:
- EXIST--- Existing
  - W - Window
  - D - Door
  - EW - Egress window
  - GD - Garage door
  - MW - Main floor window
  - FL # - Floor #
  - EVE--- Roof Eaves
  - Set Back--- Lot Set Back
  - GAS--- Natural Gas
  - S/W--- Sewer water
  - W--- Water

NOTES:  
All dimensions are in meters.



# 2004 # 2008 Tecumseh Road S.W. # 2012

Richmond Road SW

Lot 16  
E 22280



83°24'10"  
10.73

Gravel Lane

20th Ave SW

**A2**  
**Block Plan**

**2012 Tecumseh Road SW, T2T 5C5**  
**Lot 1, Block 5, Plan 5627 GG**  
**4 Townhouse Build**

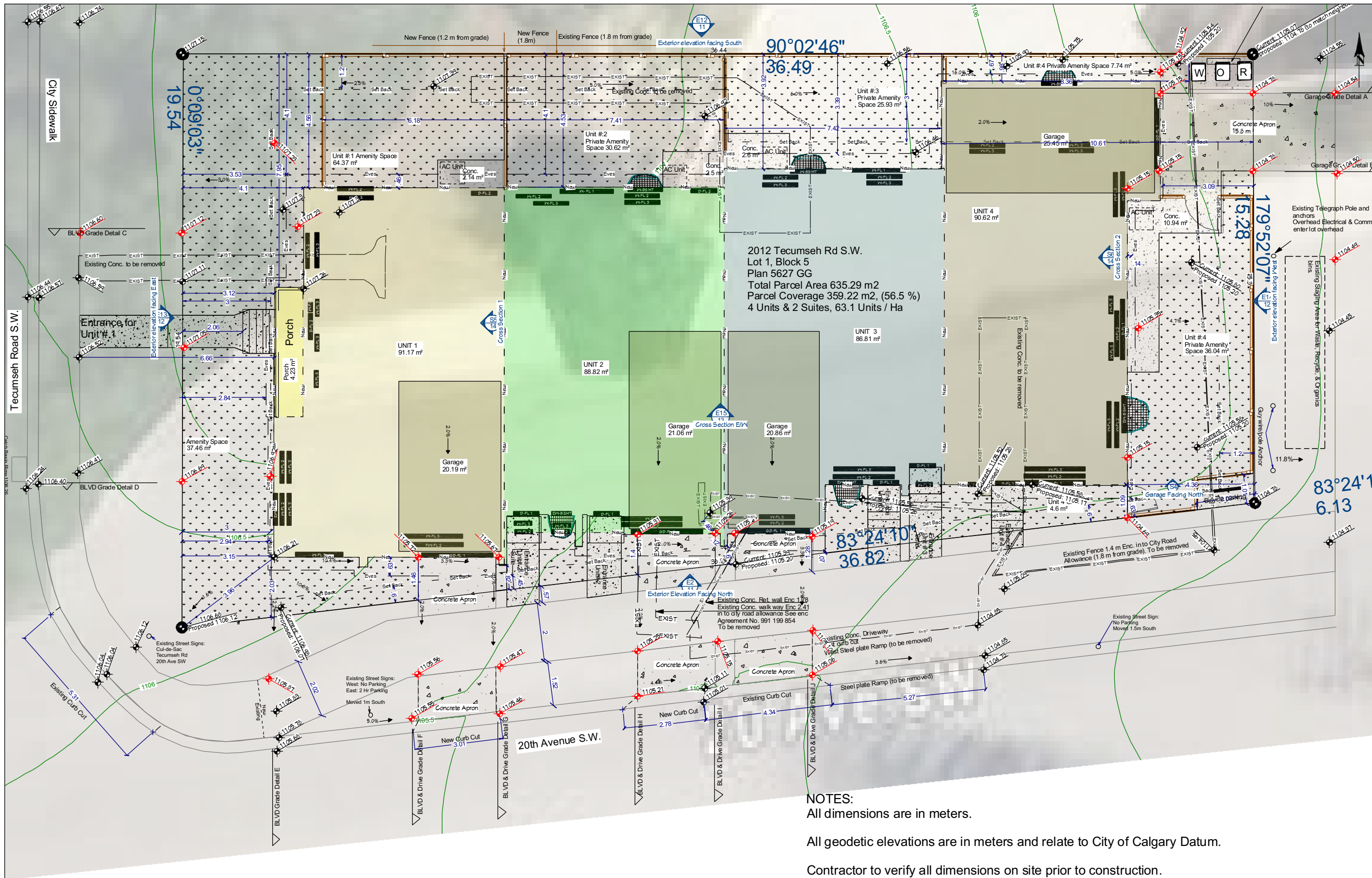
Scale:  
1:250

Date:  
6/20/2026

Drawn By:  
JR

Sheet #  
**2**

**2012 Tecumseh Road SW, T2T 5C5  
Lot 1, Block 5, Plan 5627 GG  
4 Townhouse Build**



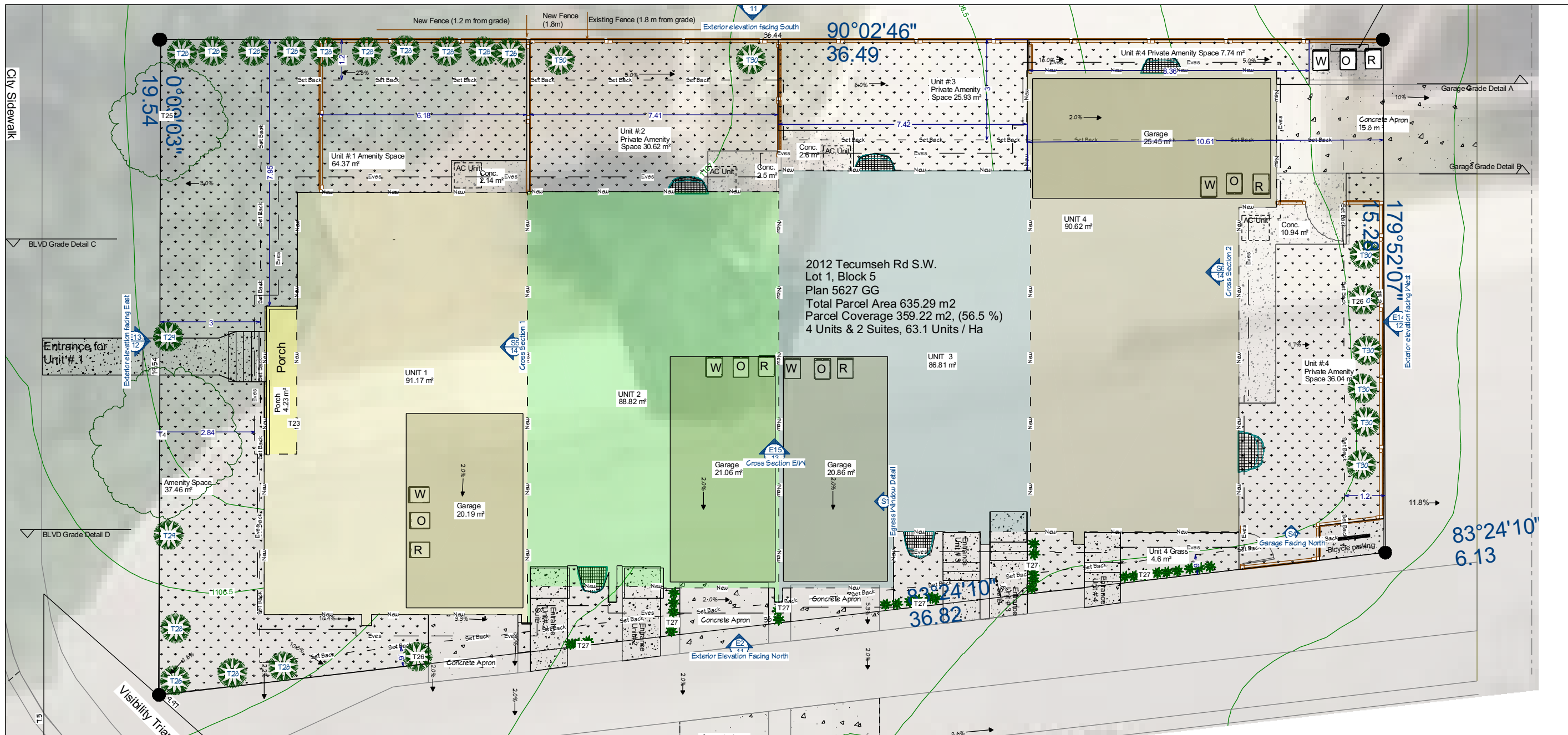
**NOTES:**  
 All dimensions are in meters.  
 All geodetic elevations are in meters and relate to City of Calgary Datum.  
 Contractor to verify all dimensions on site prior to construction.  
 Final grades to be in accordance with the approved Development Site Servicing Plan (DSSP).  
 Surface drainage to be directed to the City right-of-way (lane/street) and not onto adjacent properties.  
 Parking stalls are provided for exclusive use of the dwelling units.  
 All existing and new curb cuts to be rolled curbs where practical.  
 \*Overhead power lines exist in the rear lane; contractor to maintain safe clearance.

**Openings Legend:**

- W - Window
- D - Door
- EW - Egress window
- GD - Garage door
- MW - Main floor window
- FL # - Floor #
- EXIST--- Existing
- EVE--- Roof Eves
- Set Back--- Lot Set Back
- GAS--- Natural Gas
- S/W--- Sewer water
- W--- Water

GFA & Distinct Use Areas (m)				
Unit	main	F1	FL2	GFA
1	70.98	91.17	91.17	253.32
2	67.76	88.82	88.82	245.4
3	65.95	88.61	88.61	243.17
4	65.17	90.62	90.62	246.41
<b>Total</b>				<b>988.3</b>

**A3 Site Plan**



**NOTES:**  
Maintenance: Landscaping shall be maintained for the life of the development.

Irrigation: All soft landscaping areas to be provided with an underground irrigation system (or low-water irrigation system)

Grading: All final grades to match the approved Development Site Servicing Plan (DSSP).

Drainage: Lot drainage will be directed away from the building and towards the street/lane, not onto adjacent private property.

Permeable Surfaces: Hard surfaced areas (patios/walkways) to be permeable pavers or concrete draining to soft landscaping where possible.

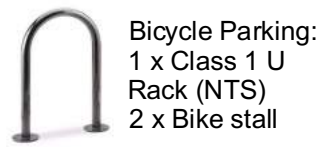
Where required Tree Protection Zone (TPZ) fencing to be installed around existing trees prior to construction as per City of Calgary Parks specs

No excavation or storage of materials within TPZ.

# of Trees: Minimum 6, Actual: Deciduous:4 , Coniferous: 3 , Total: 7

# of Shrubs: Minimum 18, Actual: 19

Soft Landscape area (m2)	217.34
Total Parcel area (m2)	635.29
Ratio:	34.21%



PLANT SCHEDULE (meters)							
#	Qt.	DIA.	SPRD.	HGT.	SPECIES	STATUS	
T1	1	---	3.5	4	Bush	Existing , City land, to remain	
T2	1	0.35	7	7	Deciduous	Existing Apple Tree, damaged by Fire, to be replaced with T25	
T3	1	---	2	1.5	Bush	Dead, City land, over grown by sucker/Poplar, to be removed	
T4	1	0.2	4	4	Deciduous	Existing, Apple Tree, to remain	
T5	1	0.4	7	16	Coniferous	Existing, Pine Tree, to be removed	
T6	1	0.6	11	9	Deciduous	Existing, Crab Apple, to be removed, Interfering with Pine to the West	
T7	1	---	3	3	Bush	Existing, to be removed	
T8	1	---	3	3	Bush	Existing, to be removed	
T9	1	---	1.5	1.5	Bush	Existing, to be removed	
T10	1	---	2	2	Bush	Existing, to be removed	
T11	1	---	3	1	Bush	Existing, to be removed	
T12	1	---	3	4	Bush	Existing, to be removed	
T13	1	---	3	2	Bush	Existing, to be removed	
T14	1	---	2.5	2.5	Bush	Existing, to be removed	
T15	1	0.1	2	6	Deciduous	Dead, City land, over grown by sucker/Poplar, to be removed	
T18	1	---	3.5	3	Bush	Existing, to remain	
T19	1	---	3	4	Bush	Existing, to be removed	
T20	1	---	2	1.5	Bush	Existing, to be removed	
T21	1	0.25	4	10	Deciduous	Existing, Interfering with powerline, to be removed	
T22	1	1.2	12	10	Deciduous	Existing, Nankin Cherry, Interfering with powerline, to be removed	
T23	1	---	3	4	Bush	Existing, to be removed	
T24	1	---	3	4	Bush	Existing, Interfering with powerline, to be removed	
T25	1	0.6	4	4	Deciduous	New, Apple Tree planted SPRD. 1, HGT. 1	
T26	3	0.35	0.8	1.75	Coniferous	New, Pine	
T27	30	---	0.9	0.9	Bush	New, Feather Reed Grass	
T28	11	---	0.5	1	Shrub	New, Cotoneaster (hedge cotoneaster)	
T29	2	0.6	1	2	Deciduous	New, Amur maple	
T30	8	---	1	0.5	Shrub	New, Mugo Pine	

# Exterior elevation facing North



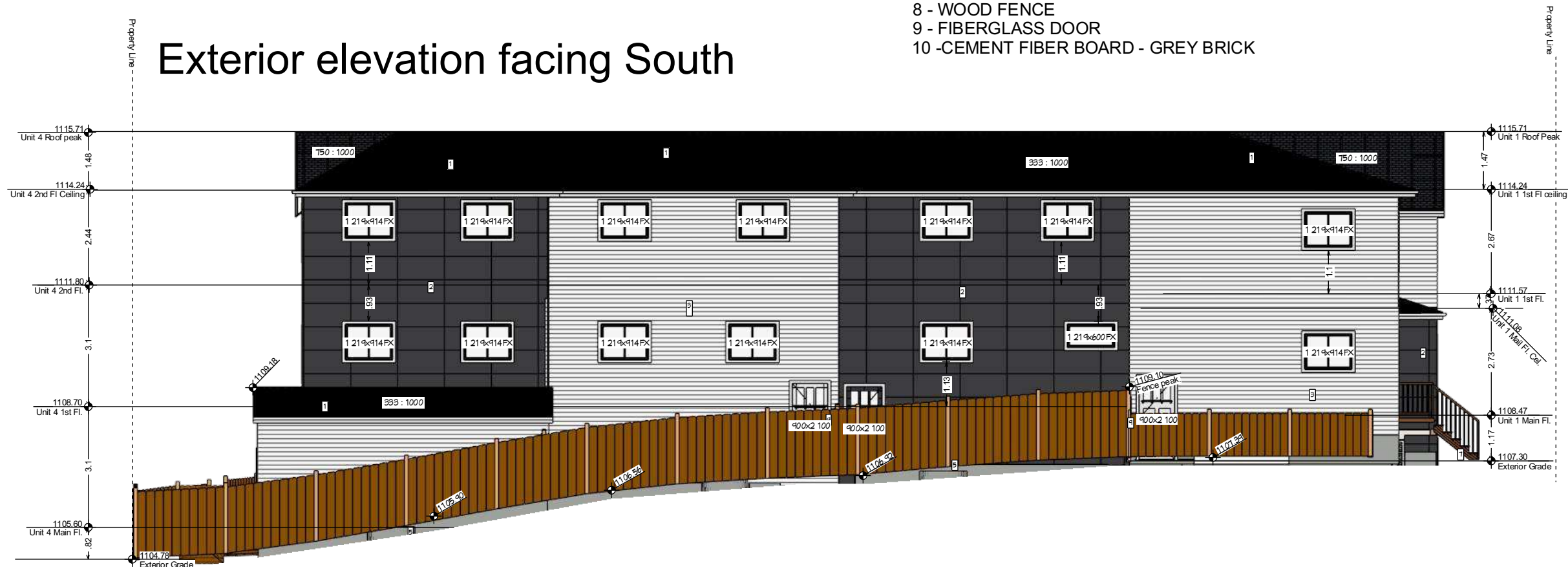
## NOTES:

- All dimensions are in meters.
- Egress Window: Min. 0.35m<sup>2</sup> unobstructed opening, no dimension less than 380mm. Window well clearance min 760mm.
- Gas/Electric meters located on side elevation, screened from street view
- All side windows facing neighbors & considered overlooking will be Frosted/Obscured Glass
- 0.318 m Floor Structure typical for all floors

## Exterior Finishes:

- 1- ASPHALT SHINGLES / EPDM MEMBRANE (As Req.)
- 2 - CEMENT FIBER BOARD - GREY PANEL
- 3 - CEMENT FIBER BOARD - WHITE HORIZONTAL LAP
- 4 - CEMENT FIBER BOARD - WOOD VERTICAL LAP
- 5 - CONCRETE
- 6 - STEEL INSULATED GARAGE DOOR
- 7 - WOOD STAIRS AND RAILING
- 8 - WOOD FENCE
- 9 - FIBERGLASS DOOR
- 10 - CEMENT FIBER BOARD - GREY BRICK

# Exterior elevation facing South



Sheet #

11

Drawn By:

JR

Date:

6/20/2026

Scale:

1:125

2012 Tecumseh Road SW, T2T 5C5  
 Lot 1, Block 5, Plan 5627 GG  
 4 Townhouse Build

Exterior  
 Elevation N/S

**Exterior Finishes:**

- 1- ASPHALT SHINGLES / EPDM MEMBRANE (As Req.)
- 2 - CEMENT FIBER BOARD - GREY PANEL
- 3 - CEMENT FIBER BOARD - WHITE HORIZONTAL LAP
- 4 - CEMENT FIBER BOARD - WOOD VERTICAL LAP
- 5 - CONCRETE
- 6 - STEEL INSULATED GARAGE DOOR
- 7 - WOOD STAIRS AND RAILING
- 8 - WOOD FENCE
- 9 - FIBERGLASS DOOR
- 10 -CEMENT FIBER BOARD - GREY BRICK

**NOTES:**

All dimensions are in meters.

Egress Window: Min. 0.35m<sup>2</sup> unobstructed opening, no dimension less than 380mm. Window well clearance min 760mm.

Gas/Electric meters located on side elevation, screened from street view

All side windows facing neighbors & considered overlooking will be Frosted/ Obscured Glass

Exterior elevation facing East



Exterior elevation facing West

