

View from SW across St



View Facing North



View Facing Facing SE

All views have lighting from Sep 21st at 4:00 PM

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View from SE Corner

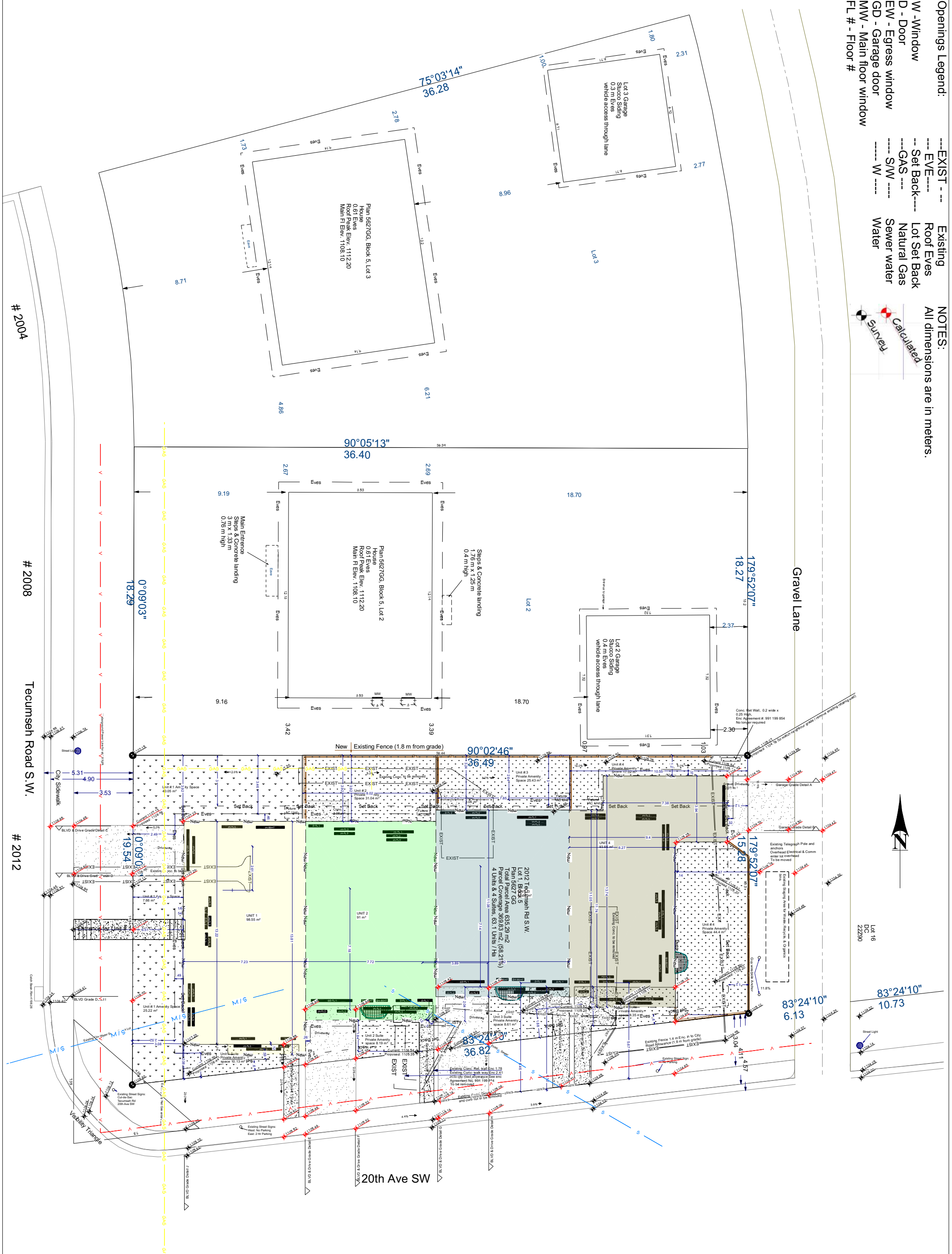


View across street tecumseh sidewalk height

2012 Tecumseh Road SW, T2T 5C5
Lot 1, Block 5, Plan 5627 GG
4 Townhouse Build

- Openings Legend:**
- EXIST --- Existing
 - W --- Window
 - D --- Door
 - GD --- Garage door
 - MW --- Main floor window
 - FL # --- Floor #
 - Roof Eaves
 - Lot Set Back
 - Natural Gas
 - Sewer water
 - Water

NOTES:
All dimensions are in meters.



2004

2008

Tecumseh Road S.W.

2012

Lot 16
DC
222290



83°24'10"
10.73

**A2
Block Plan**

**2012 Tecumseh Road SW, T2T 5C5
Lot 1, Block 5, Plan 5627 GG
4 Townhouse Build**

Scale:
1:200

Date:
2/13/2026

Drawn By:
JR

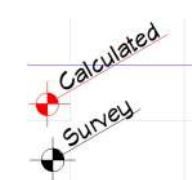
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2



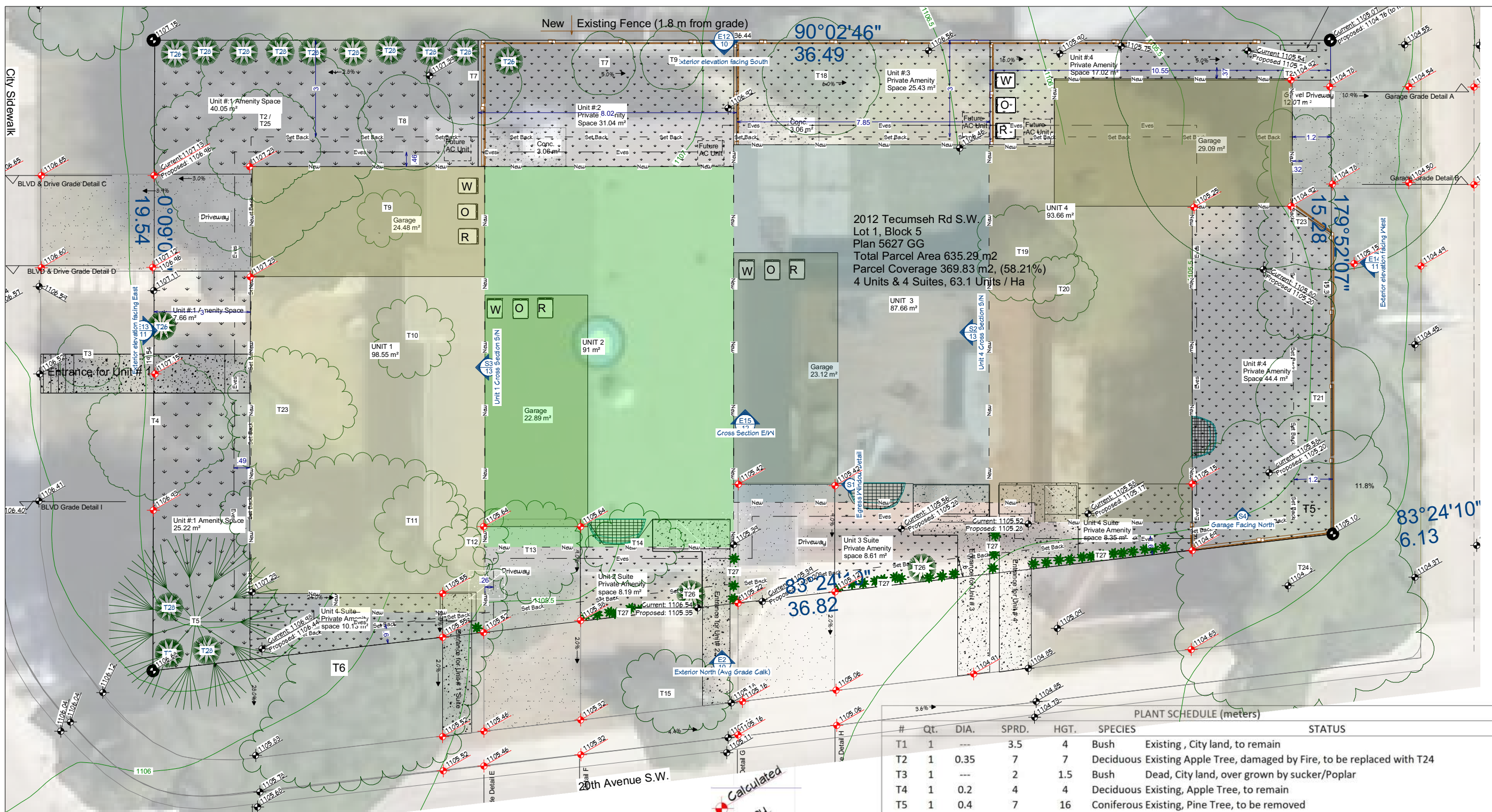
GFA & Distinct Use Areas (m)				
Unit	main	F11	FL2	GFA
1	71.38	98.55		169.93
2	63.19	91	91	245.19
3	60.37	87.66	87.66	235.69
4	57.69	72.73	72.73	203.15
Total				853.96

Openings Legend:

- W - Window
- D - Door
- EW - Egress window
- GD - Garage door
- MW - Main floor window
- FL # - Floor #
- EXIST---
- EVE---
- Set Back---
- GAS---
- S/W---
- W ----
- Existing Roof Eves
- Lot Set Back
- Natural Gas
- Sewer water
- Water



NOTES:
 All dimensions are in meters.
 All geodetic elevations are in meters and relate to City of Calgary Datum.
 Contractor to verify all dimensions on site prior to construction.
 Final grades to be in accordance with the approved Development Site Servicing Plan (DSSP).
 Surface drainage to be directed to the City right-of-way (lane/street) and not onto adjacent properties.
 Parking stalls are provided for exclusive use of the dwelling units.
 "Overhead power lines exist in the rear lane; contractor to maintain safe clearance.



NOTES:
 Maintenance: Landscaping shall be maintained for the life of the development.
 Irrigation: All soft landscaping areas to be provided with an underground irrigation system (or low-water irrigation system).
 Grading: All final grades to match the approved Development Site Servicing Plan (DSSP).
 Drainage: Lot drainage will be directed away from the building and towards the street/lane, not onto adjacent private property.
 Permeable Surfaces: Hard surfaced areas (patios/walkways) to be permeable pavers or concrete draining to soft landscaping where possible.
 Where required Tree Protection Zone (TPZ) fencing to be installed around existing trees prior to construction as per City of Calgary Parks specs
 No excavation or storage of materials within TPZ.
 # of Trees: Minimum 6, Actual: Deciduous:2, Coniferous: 6, Total: 8
 # of Shrubs: Minimum 18, Actual: 33

Soft Landscape area (m2)	226.15
Total Parcel area (m2)	635.29
Ratio:	35.60%

PLANT SCHEDULE (meters)						
#	Qt.	DIA.	SPRD.	HGT.	SPECIES	STATUS
T1	1	---	3.5	4	Bush	Existing, City land, to remain
T2	1	0.35	7	7	Deciduous	Existing Apple Tree, damaged by Fire, to be replaced with T24
T3	1	---	2	1.5	Bush	Dead, City land, over grown by sucker/Poplar
T4	1	0.2	4	4	Deciduous	Existing, Apple Tree, to remain
T5	1	0.4	7	16	Coniferous	Existing, Pine Tree, to be removed
T6	1	0.6	11	9	Deciduous	Existing, Crab Apple, to be removed, Interfering with Pine to the West
T7	1	---	3	3	Bush	Existing, to remain
T8	1	---	3	3	Bush	Existing, to remain
T9	1	---	1.5	1.5	Bush	Existing to be removed
T10	1	---	2	2	Bush	Existing to be removed
T11	1	---	3	1	Bush	Existing to be removed
T12	1	---	3	4	Bush	Existing to be removed
T13	1	---	3	2	Bush	Existing to be removed
T14	1	---	2.5	2.5	Bush	Existing to be removed
T15	1	0.1	2	6	Deciduous	Dead, City land, over grown by sucker/Poplar, to be removed
T18	1	---	3.5	3	Bush	Existing, to remain
T19	1	---	3	4	Bush	Existing to be removed
T20	1	---	2	1.5	Bush	Existing to be removed
T21	1	0.25	4	10	Deciduous	Existing, Interfering with powerline, to be removed
T22	1	1.2	12	10	Deciduous	Existing, Nankin Cherry, deceased, Interfering with powerline, to be removed
T23	1	---	3	4	Bush	Existing to be removed
T24	1	---	3	4	Bush	Existing, Interfering with powerline, to be removed
T25	1	0.3	4	4	Deciduous	New, Apple Tree planted SPRD. 1, HGT. 1
T26	6	0.2	1	2	Coniferous	New, Pine
T27	42	---	0.9	0.9	Bush	New, Feather Reed Grass
T28	12	---	0.5	1	Bush	New, Cotoneaster (hedge cotoneaster)

Sheet # **5**

Drawn By: **JR**

Date: **2/13/2026**

Scale: **1:125**

**2012 Tecumseh Road SW, T2T 5C5
 Lot 1, Block 5, Plan 5627 GG
 4 Townhouse Build**

A5 Landscape Plan

Exterior elevation facing North



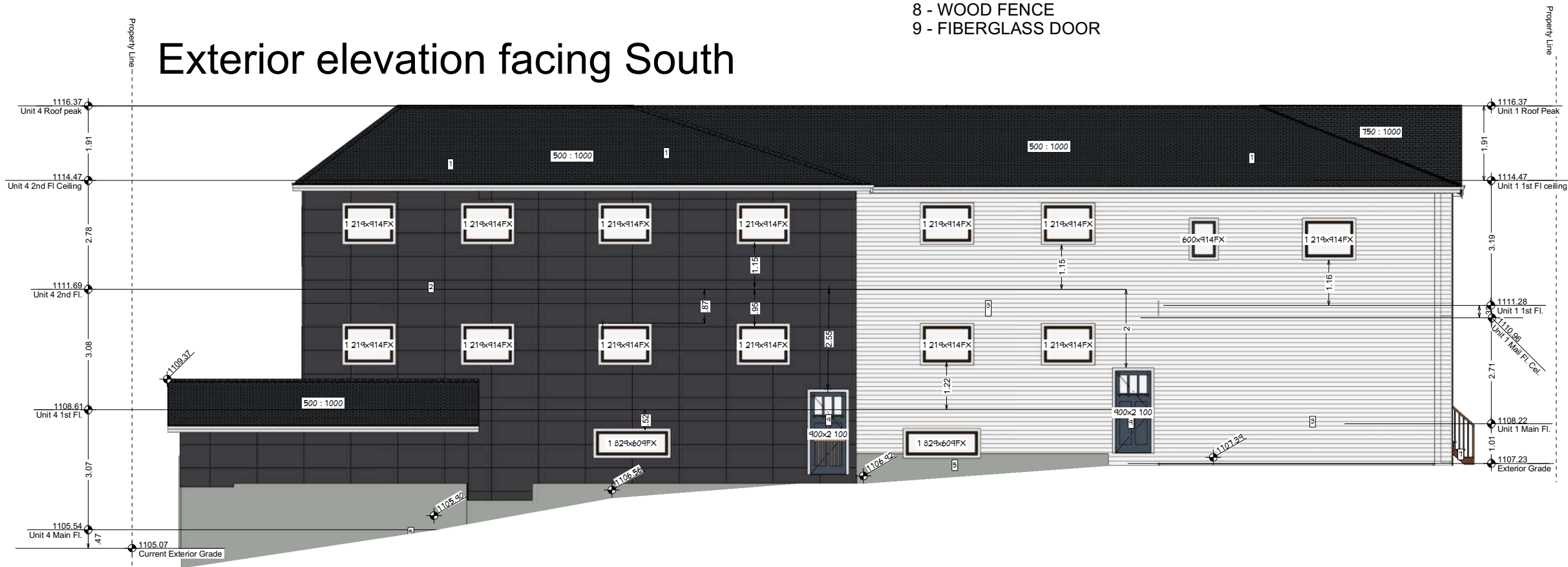
NOTES:

- All dimensions are in meters.
- Egress Window: Min. 0.35m² unobstructed opening, no dimension less than 380mm. Window well clearance min 760mm.
- Gas/Electric meters located on side elevation, screened from street view
- All side windows facing neighbors & considered overlooking will be Frosted/Obscured Glass
- 0.318 m Floor Structure typical for all floors

Exterior Finishes:

- 1- ASPHALT SHINGLES
- 2 - CEMENT FIBER BOARD - GREY PANEL
- 3 - CEMENT FIBER BOARD - WHITE HORIZONTAL LAP
- 4 - CEMENT FIBER BOARD - WOOD VERTICAL LAP
- 5 - CONCRETE
- 6 - STEEL INSULATED GARAGE DOOR
- 7 - WOOD STAIRS AND RAILING
- 8 - WOOD FENCE
- 9 - FIBERGLASS DOOR

Exterior elevation facing South



Sheet #

10

Drawn By:

JR

Date:

2/13/2026

Scale:

1:125

**2012 Tecumseh Road SW, T2T 5C5
 Lot 1, Block 5, Plan 5627 GG
 4 Townhouse Build**

**Exterior
 Elevation N/S**

Exterior Finishes:

- 1- ASPHALT SHINGLES
- 2 - CEMENT FIBER BOARD - GREY PANEL
- 3 - CEMENT FIBER BOARD - WHITE HORIZONTAL LAP
- 4 - CEMENT FIBER BOARD - WOOD VERTICAL LAP
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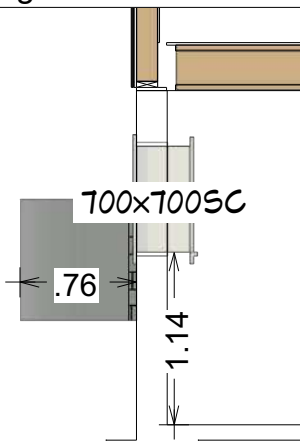
Exterior elevation facing East



Exterior elevation facing West



Egress Window Detail



NOTES:

All dimensions are in meters.

Egress Window: Min. 0.35m² unobstructed opening, no dimension less than 380mm. Window well clearance min 760mm.

Gas/Electric meters located on side elevation, screened from street view

All side windows facing neighbors & considered overlooking will be Frosted/ Obscured Glass