

SITE PLAN

LEGEND
 ELEVATIONS ARE SHOWN THUS: * = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

- THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- denotes Calculation points
 - X--- denotes Water Valve
 - ◇--- denotes Gas Valve
 - denotes Manhole
 - (T)--- denotes Tree
 - ⊕--- denotes Power Pole
 - △--- denotes Sign
 - ⊙--- denotes Light Standard
 - X---X--- denotes Fence
 - S--- denotes Sanitary Line
 - ST--- denotes Storm Line
 - W--- denotes Water Line
 - G--- denotes Gas Line
 - E--- denotes Electrical Line
 - A.G.T--- denotes A.G.T Line
 - denotes Utility Right of Way Line
 - denotes Property Line
 - denotes Door
 - denotes Main Floor Windows
 - denotes Second Floor Windows
 - denotes Basement Floor Windows
 - denotes Shed Hatch
 - denotes Detached Garage Hatch
 - denotes Main Building Hatch
 - denotes Concrete and Asphalt Hatch
 - denotes Wood Hatch

**DEVELOPMENT
 PERMIT
 DECISION
 RENDERED
 ON THIS PLAN**

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE: 1:200

LEGAL DESCRIPTION:
 Lots 53 & 54
 Block 19
 Plan 5151 0

MUNICIPAL ADDRESS:
 1611 BOWNESS RD N.W.
 Calgary, Alberta

LOT COVERAGE DETAIL:
 (MULTI HOUSE)
 LOT SIZE: 580,546 SQ M
 HOUSE #: 237,347 SQ M
 MAIN CANT.: :0.000 SQ M
 GARAGE : 76,191 SQ M
 COVERED PORCH: 2,013 SQ M
 WING WALL: 1,074 SQ M

TOTAL UNITS: 4
 LOT SIZE: 580,546 SQ M (0.0580546 ha)
 DENSITY: 68 UNITS/ha

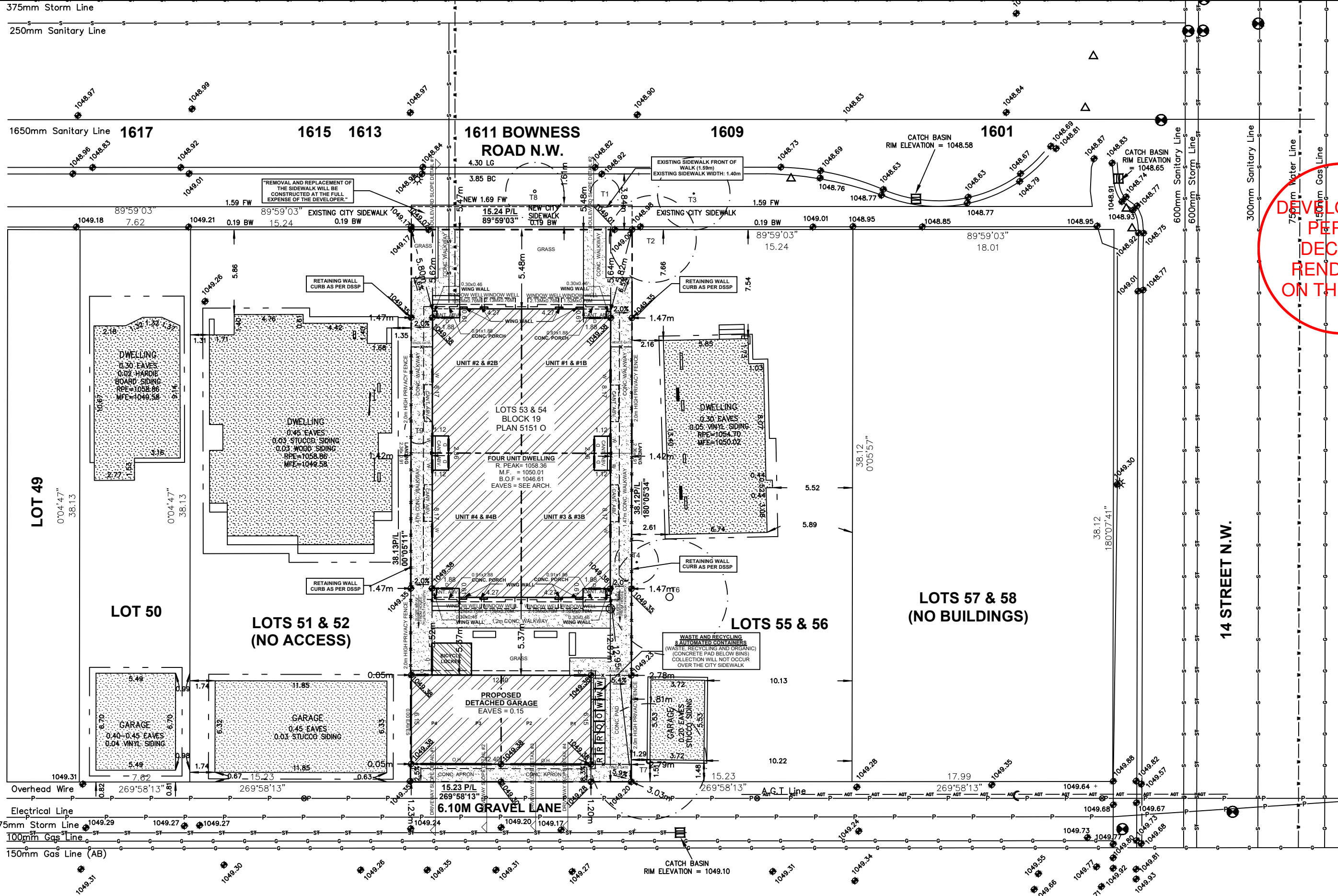
PARKING PROVIDED: 4 STALLS
 CLASS#1 BIKE STORAGE: 4 STALLS

TOTAL : 328,199/580,546
 = 56.53%

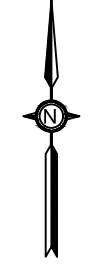
SITE PLAN
 SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	12.12.2025	DP SITEPLAN	T.Y.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
1611 Bowness Road N.W. Calgary, Alberta	Multi-Family	1:200
Lot 53 & 54 Block 19 Plan 5151 0	DATE: DEC 12, 2025	DIVISION NUMBER: S 01



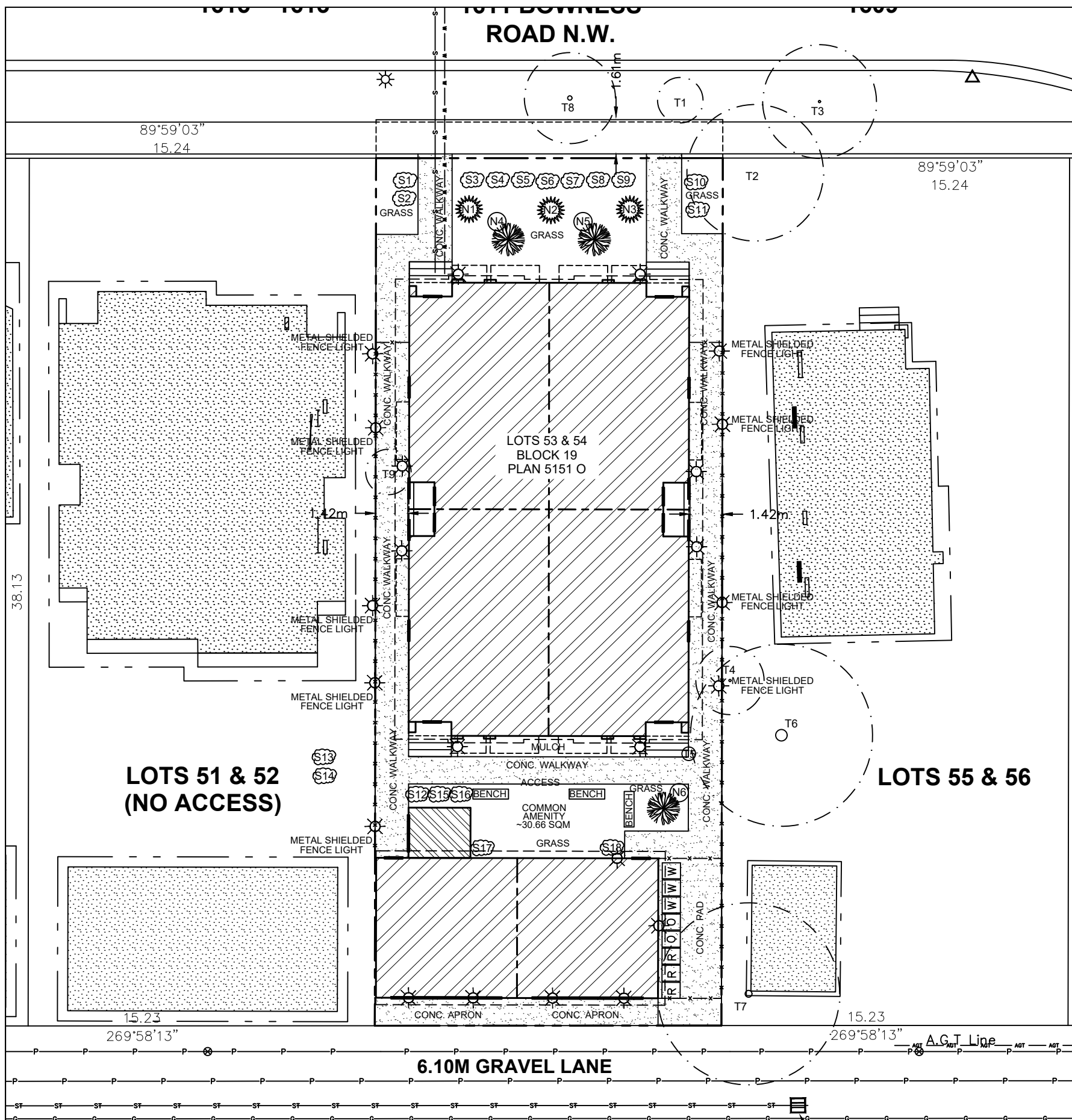
DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	12.12.2025	DP SITEPLAN	T.Y.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS: 1611 Bowness Road N.W. Calgary, Alberta Lot 53 & 54 Block 19 Plan 5151 O	PROJECT: Multi-Family	SCALE: 1:250
DATE: DEC 12, 2025	DIVISION NUMBER: S 02	



TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Cotoneaster Shrub	-	2.00	1.00	In City Property	To Stay
T2	Bush	-	6.00	3.00	In Adjacent Property	To Stay
T3	Bur Oak	0.10	5.00	4.00	In City Property	To Stay
T4	Deciduous	0.10	3.00	3.00	In Adjacent Property	To Stay
T5	Deciduous	0.60	15.00	12.00	In Subject Property	To Be Removed
T6	Deciduous	0.50	8.00	6.00	In Adjacent Property	To Stay
T7	Deciduous	0.30	8.00	8.00	In Adjacent Property	To Stay
T8	Green Ash	0.19	4.00	6.00	In City Property	To Stay
T9	Bush	-	2.00	3.00	In Subject Property	To Be Removed

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs
- denotes Light

LANDSCAPING REQUIREMENTS:

LOT SIZE: 580,546 SQ M
 1 TREE PER/110,000 SQM
 3 SHRUBS PER/110,000 SQM
 556.618/110,000 = 5.060
 6 TREES
 18 SHRUBS

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Blue Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
S1	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S2	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S3	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S4	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S5	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S6	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S7	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S8	Hawthorn (Crataegus Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S9	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S10	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S11	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S12	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S13	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S14	Mugo Pine (Pinus Mugo) (Shrub)	---	0.61	0.61	In Subject Property	New
S15	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S16	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S17	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New
S18	Lilac (Syringa Spp.) (Shrub)	---	0.61	0.61	In Subject Property	New

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

NOTE:
 "If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

NOTE:
 "Lilac Medians are located in close proximity to the subject site. All construction activities shall be conducted in a manner that fully protects this resource, and no disturbance, alteration, or modification to the heritage resource shall be permitted".

LANDSCAPE COVERAGE

LOT SIZE = 556.618 SQ. M
 LANDSCAPE AREA = 214.208 SQ. M
 HARD LANDSCAPE (CONC. WALKWAY, APRONS AND CONC. PADS) = 128.085 SQ. M
 SOFT LANDSCAPE (GRASS + MULCH) = 86.123 SQ. M

128.085 / 214.208 = 59.79% OF HARD LANDSCAPE
 86.123 / 214.208 = 40.21% OF SOFT LANDSCAPE

LANDSCAPING PLAN
 SCALE: 1:250

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

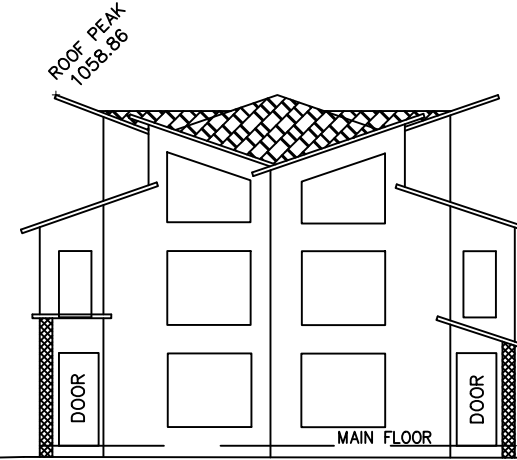
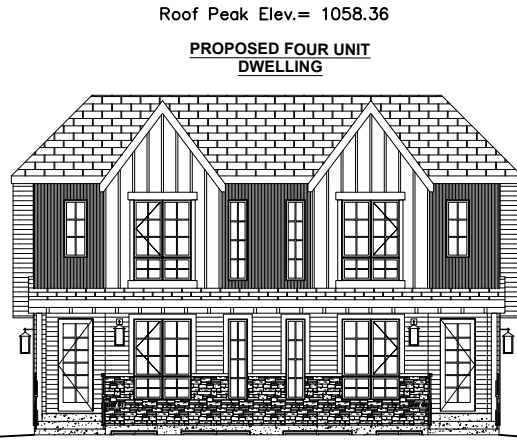
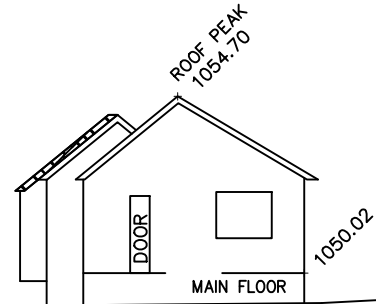
MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	12.12.2025	DP SITEPLAN	T.Y.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
1611 Bowness Road N.W. Calgary, Alberta	Multi-Family	1: 200
Lot 53 & 54 Block 19 Plan 5151 O	DATE: DEC 12, 2025	DIVISION NUMBER: S 03

14 STREET N.W.

NO BUILDINGS



DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

LOT 49

1601 BOWNESS ROAD N.W.
(LOTS 57 & 58, BLOCK 19, PLAN 5151 O)
FACING BOWNESS ROAD N.W.

1609 BOWNESS ROAD N.W.
(LOTS 55 & 56, BLOCK 19, PLAN 5151 O)
FACING BOWNESS ROAD N.W.

1611 BOWNESS ROAD N.W.
(LOTS 53 & 54, BLOCK 19, PLAN 5151 O)
FACING BOWNESS ROAD N.W.

1613 & 1615 BOWNESS ROAD N.W.
(LOTS 53 & 54, BLOCK 19, PLAN 5151 O)
FACING BOWNESS ROAD N.W.

1617 BOWNESS
ROAD N.W.
(LOT 50, BLOCK 19,
PLAN 5151 O)
FACING BOWNESS
ROAD N.W.

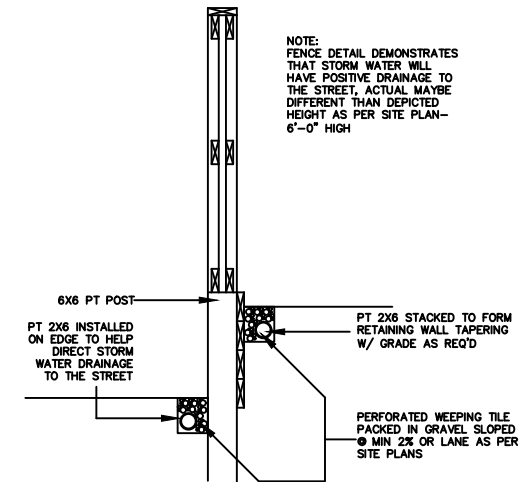
STREETSCAPE
SCALE: 1:200

NORTH STREETSCAPE

BUILDING AREA

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA
BASEMENT	658.78 SQ.FT.	658.78 SQ.FT.	658.78 SQ.FT.	658.78 SQ.FT.
MAIN FLOOR	638.69 SQ.FT.	638.69 SQ.FT.	638.69 SQ.FT.	638.69 SQ.FT.
UPPER FLOOR	674.02 SQ.FT.	674.02 SQ.FT.	674.02 SQ.FT.	674.02 SQ.FT.
TOTAL AREA	1312.71 SQ.FT.	1312.71 SQ.FT.	1312.71 SQ.FT.	1312.71 SQ.FT.

IF APPLICABLE



FENCE SECTION DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	12.12.2025	DP SITEPLAN	T.Y.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:
1611 Bowness Road N.W.
Calgary, Alberta
Lot 53 & 54
Block 19
Plan 5151 O

PROJECT:
Multi-Family
DATE:
DEC 12, 2025

SCALE:
AS SHOWN
DIVISION NUMBER:
S 04



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left & Right Elevation
A-3.0	Garage Plans & Elevations

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

FLOOR AREA - UNIT #1
BASEMENT (SUITE) = 658.78 SQ. FT.
MAIN = 638.69 SQ. FT.
UPPER = 674.02 SQ. FT.
TOTAL = 1312.71 SQ. FT.

FLOOR AREA - UNIT #2
BASEMENT (SUITE) = 658.78 SQ. FT.
MAIN = 638.69 SQ. FT.
UPPER = 674.02 SQ. FT.
TOTAL = 1312.71 SQ. FT.

FLOOR AREA - UNIT #3
BASEMENT (SUITE) = 658.78 SQ. FT.
MAIN = 638.69 SQ. FT.
UPPER = 674.02 SQ. FT.
TOTAL = 1312.71 SQ. FT.

FLOOR AREA - UNIT #4
BASEMENT (SUITE) = 658.78 SQ. FT.
MAIN = 638.69 SQ. FT.
UPPER = 674.02 SQ. FT.
TOTAL = 1312.71 SQ. FT.



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NO.	DATE(D/M/Y)	DETAIL	BY
01.	12.12.25	DP PLANS	T.Y.
02.	--	--	--
03.	--	--	--
04.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

MUNICIPAL ADDRESS:
1611 Bowness Road N.W.
CALGARY, ALBERTA
PROJECT:
TOWN HOUSE

STATUS:
DP

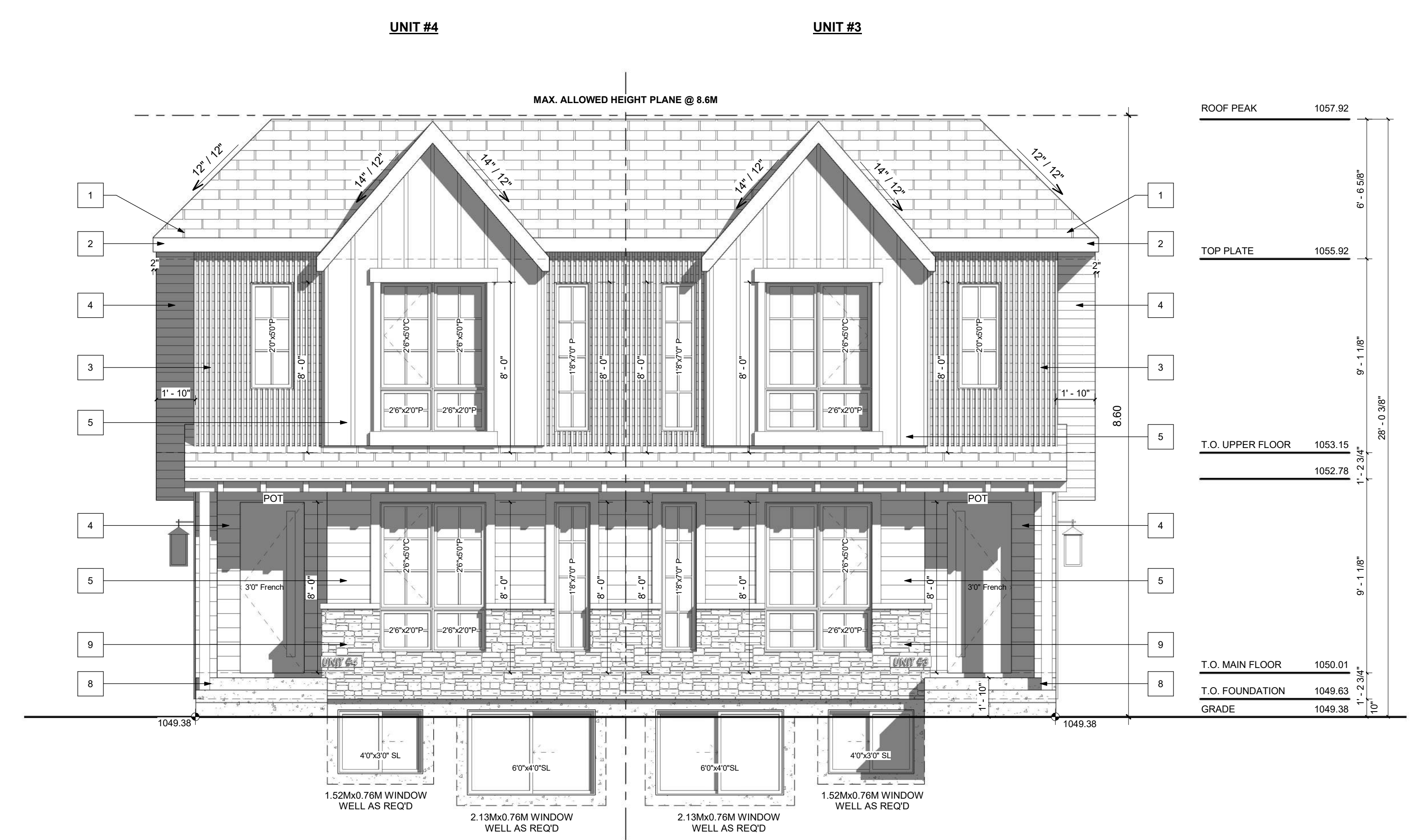
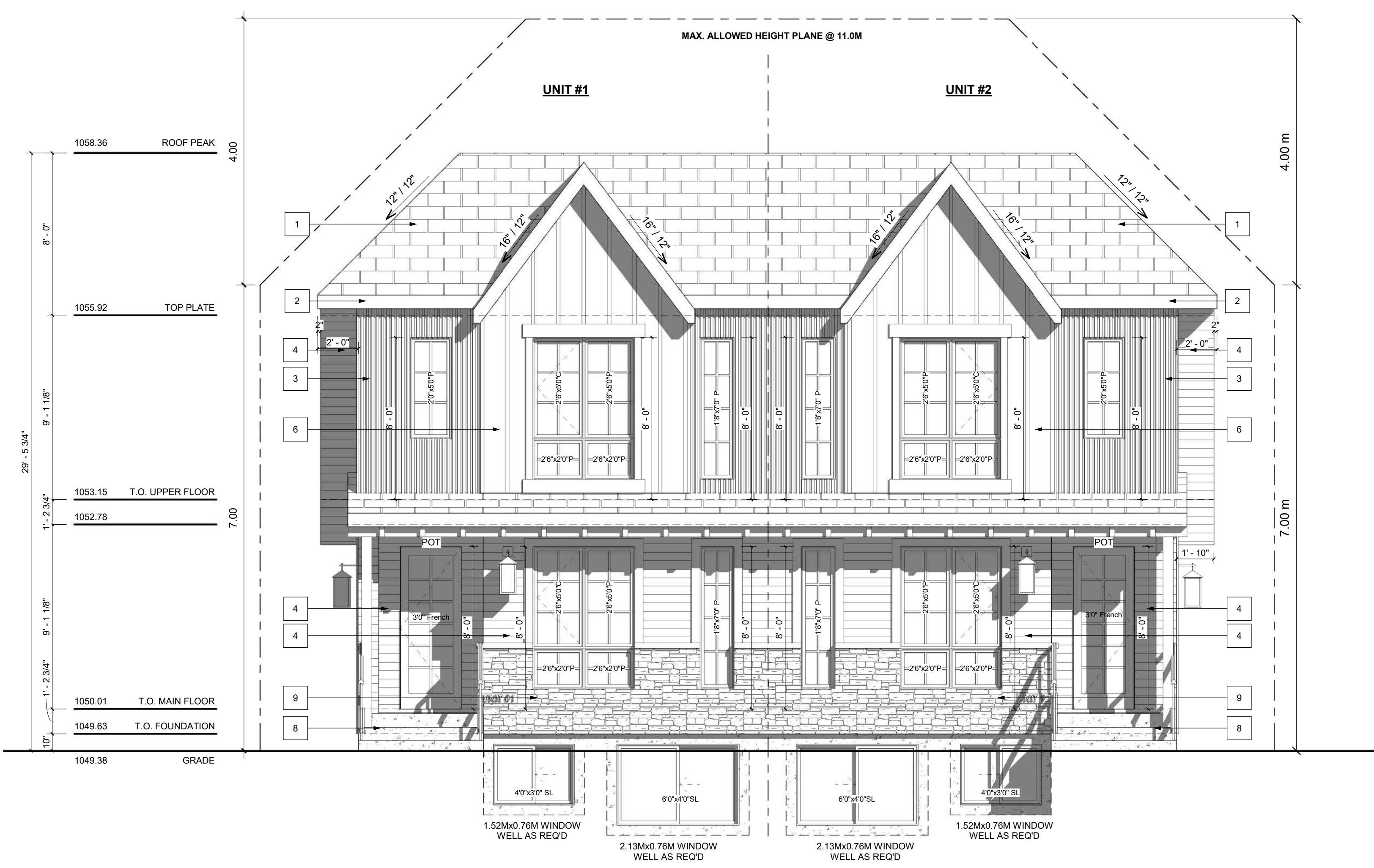
LEGAL LAND DISCRPTION:
LOT: BLOCK: PLAN:
53/54 19 5151 0

PROJECT NUMBER: 24 - 26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE:
SCALE:

DRAWING SET:
DP
SHEET NAME:
Cover Page
PAGE:

A-0.0

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

EXTERIOR FINISHES:

- | | |
|---------------------------------|-------------------------------------|
| 1 ASPHALT SHINGLES | 6 BOARD & BATTEN FINISH - DARK GREY |
| 2 6" ALUMINUM FASCIA - BLACK | 7 CONCRETE PARGING |
| 3 WOOD SLAT AS SPEC'D | 8 PRECAST CONCRETE |
| 4 HARDIE PANEL - DARK GREY | 9 STONE |
| 5 BOARD & BATTEN FINISH - WHITE | |

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	12.12.25	DP PLANS	T.Y.
02.	-	-	-
03.	-	-	-
04.	-	-	-



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MUNICIPAL ADDRESS:
1611 Bowness Road N.W.
CALGARY, ALBERTA
PROJECT:
TOWN HOUSE

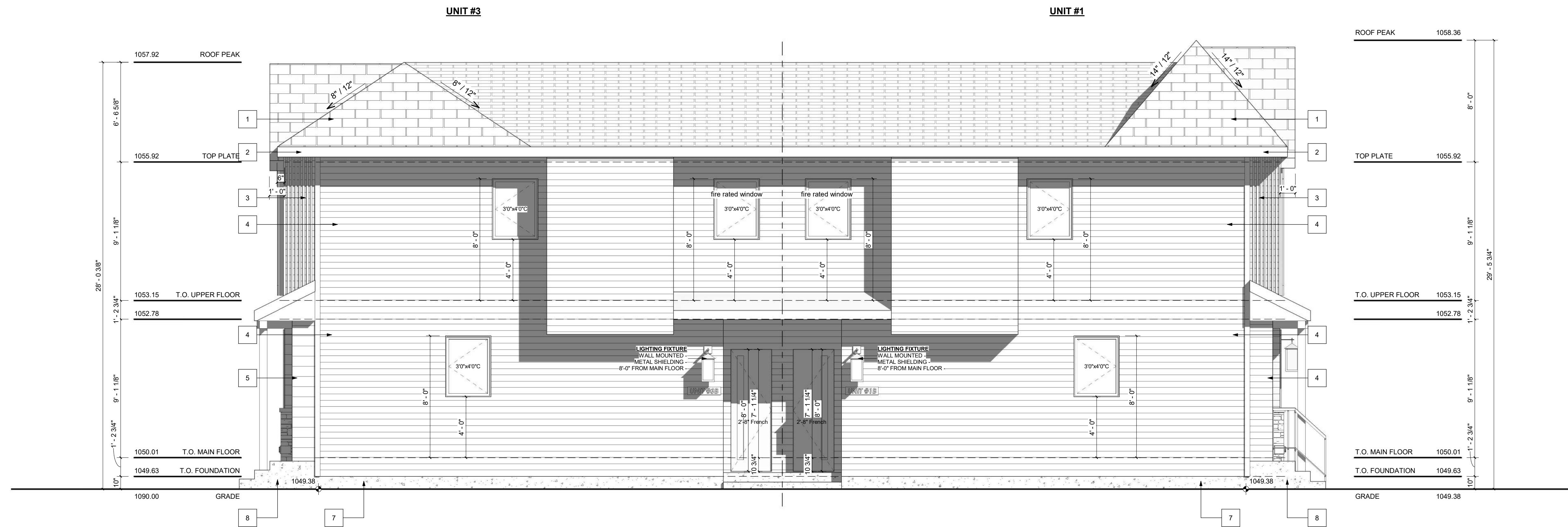
STATUS:
DP

LEGAL LAND DESCRIPTION:
LOT: BLOCK: PLAN:

PROJECT NUMBER: 24-26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE:
SCALE: 1/4" = 1'-0"

DRAWING SET:
DP
SHEET NAME:
Front & Rear Elevation

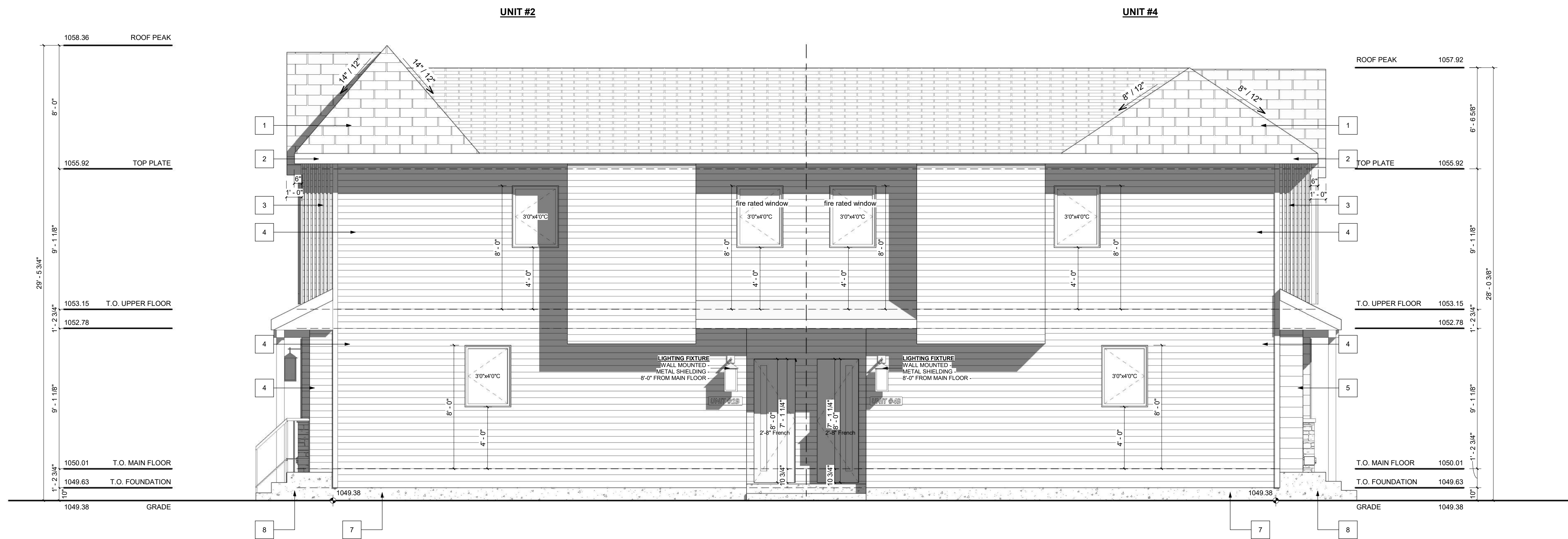
A-2.0



UNIT #1 & #3 WINDOW CALCULATION:
 @ 1.47m LIMITING DISTANCE
 WALL AREA = 1408.50 SQ. FT.
 WINDOW AREA = 57.28 SQ. FT.
 TOTAL: 57.28 / 1408.50 = 4.07%

DEVELOPMENT
 PERMIT
 DECISION
 RENDERED
 ON THIS PLAN

LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



UNIT #2 & #4 WINDOW CALCULATION:
 @ 1.47m LIMITING DISTANCE
 WALL AREA = 1408.50 SQ. FT.
 WINDOW AREA = 57.28 SQ. FT.
 TOTAL: 57.28 / 1408.50 = 4.07%

RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

EXTERIOR FINISHES:

- | | |
|---------------------------------|-------------------------------------|
| 1 ASPHALT SHINGLES | 6 BOARD & BATTEN FINISH - DARK GREY |
| 2 6" ALUMINUM FASCIA - BLACK | 7 CONCRETE PAVING |
| 3 WOOD SLAT AS SPEC'D | 8 PRECAST CONCRETE |
| 4 HARDIE PANEL - DARK GREY | 9 STONE |
| 5 BOARD & BATTEN FINISH - WHITE | |

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	12.12.25	DP PLANS	T.Y.
02.	-	-	-
03.	-	-	-
04.	-	-	-

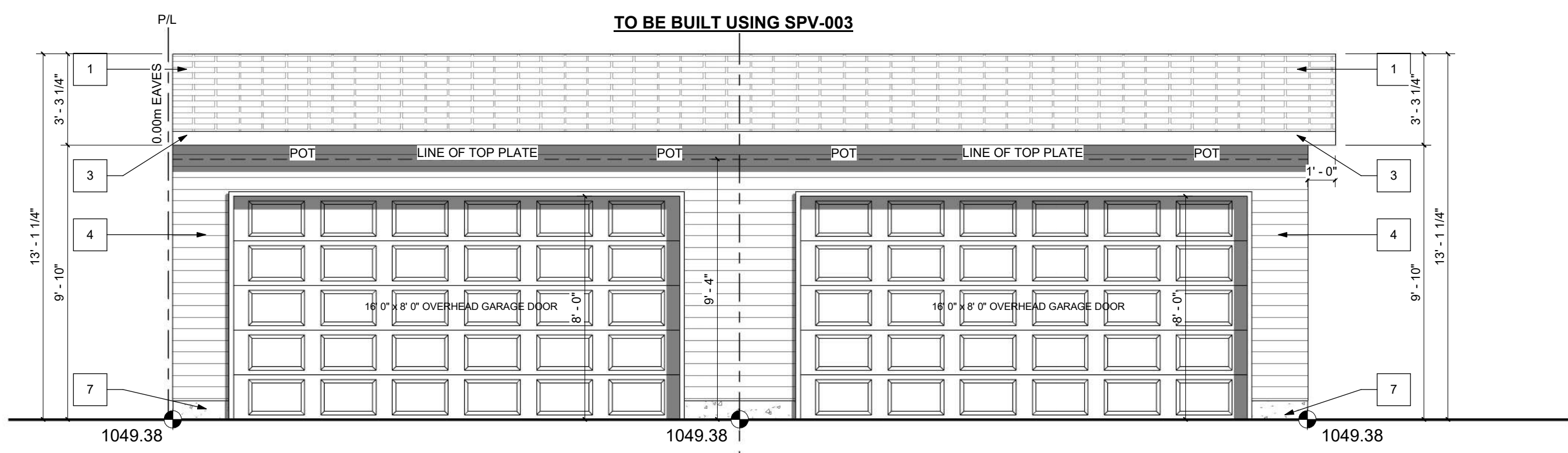


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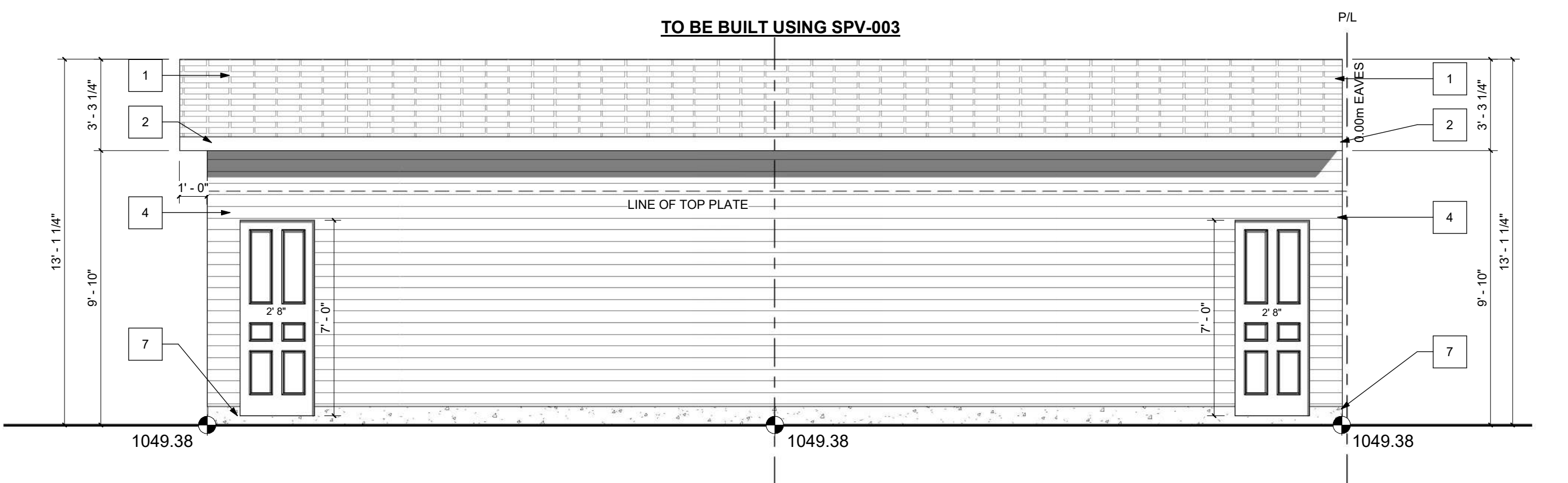
MUNICIPAL ADDRESS:
 1611 Bowness Road N.W.
 CALGARY, ALBERTA
 PROJECT:
 TOWN HOUSE
 STATUS:
 DP
LEGAL LAND DISCRPTION:
 LOT: BLOCK: PLAN:

PROJECT NUMBER: 24-26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE:
SCALE: 1/4" = 1'-0"

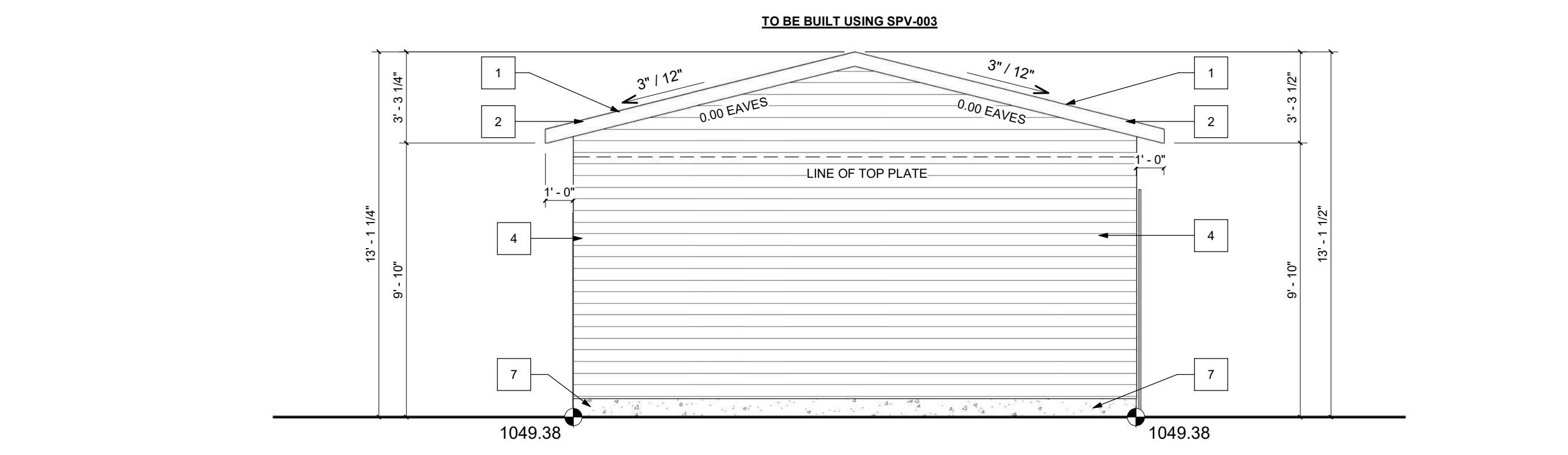
DRAWING SET: DP
SHEET NAME: Left & Right Elevation



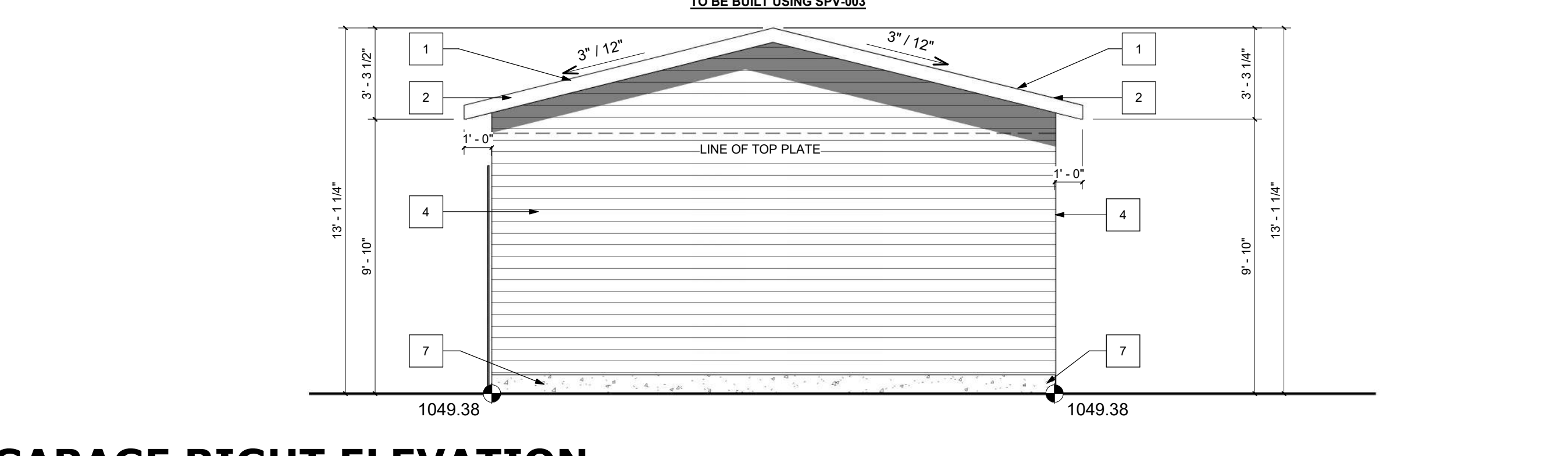
GARAGE FRONT ELEVATION (LANE)
SCALE: 1/4" = 1'-0"



GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE LEFT ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:
VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

POTENTIAL OPTIONS FOR SOLAR PV READY DETAILS MAY INCLUDE, AT LEAST 25 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, ELECTRICAL METALLIC TUBING OR CABLES WITH A METAL ARMOUR OR METAL SHEATH. ALTERNATELY, A 2" VACUUM TUBE WITH TWINE PULLED THROUGH AND A CARD ON EACH END, TO ACCOMMODATE FUTURE INSTALLATION, WILL MEET THE INTENT OF THE CONDITION.
SOLAR READY AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC PANELS FOR ELECTRICITY GENERATION. SOLAR PV READY DETAILS SHALL CONSIDER SECTION 84 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RENEWABLE ENERGY SYSTEMS."

GARAGE TO BE BUILT USING SPV-003

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	12.12.25	DP PLANS	T.Y.
02.	--	--	--
03.	--	--	--
04.	--	--	--



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NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

MUNICIPAL ADDRESS:
**1611 Bowness Road N.W.
CALGARY, ALBERTA
TOWN HOUSE**
STATUS:
DP
LEGAL LAND DISCRPTION:
LOT: BLOCK: PLAN:

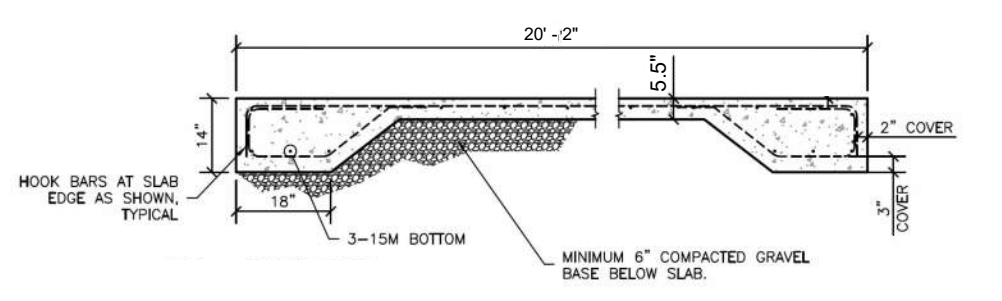
PROJECT NUMBER: 24-26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE:
SCALE: As indicated

DRAWING SET:
DP
SHEET NAME:
Garage Plans & Elevations
PAGE:
A-3.0

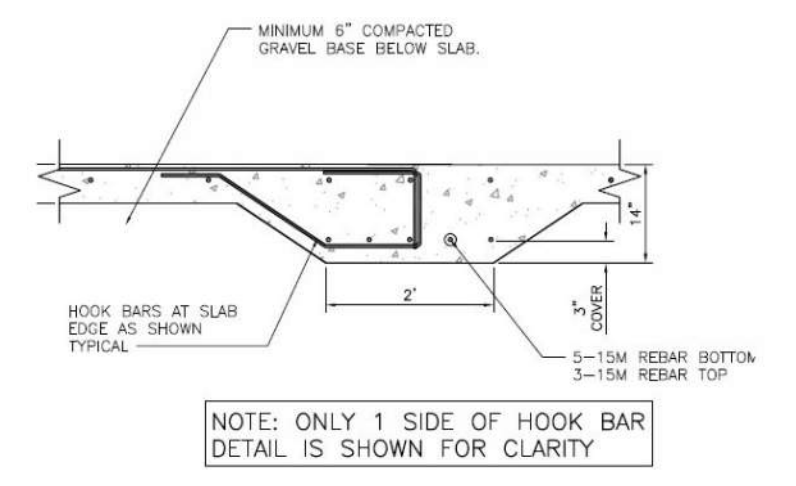
- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 WOOD SLAT AS SPEC'D
 - 4 HARDIE PANEL - DARK GREY
 - 5 BOARD & BATTEN FINISH - WHITE
 - 6 BOARD & BATTEN FINISH - DARK GREY
 - 7 CONCRETE PAVING
 - 8 PRECAST CONCRETE
 - 9 STONE



DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



SECTION A
SCALE: NTS



SECTION @ PARTY WALL
SCALE: NTS