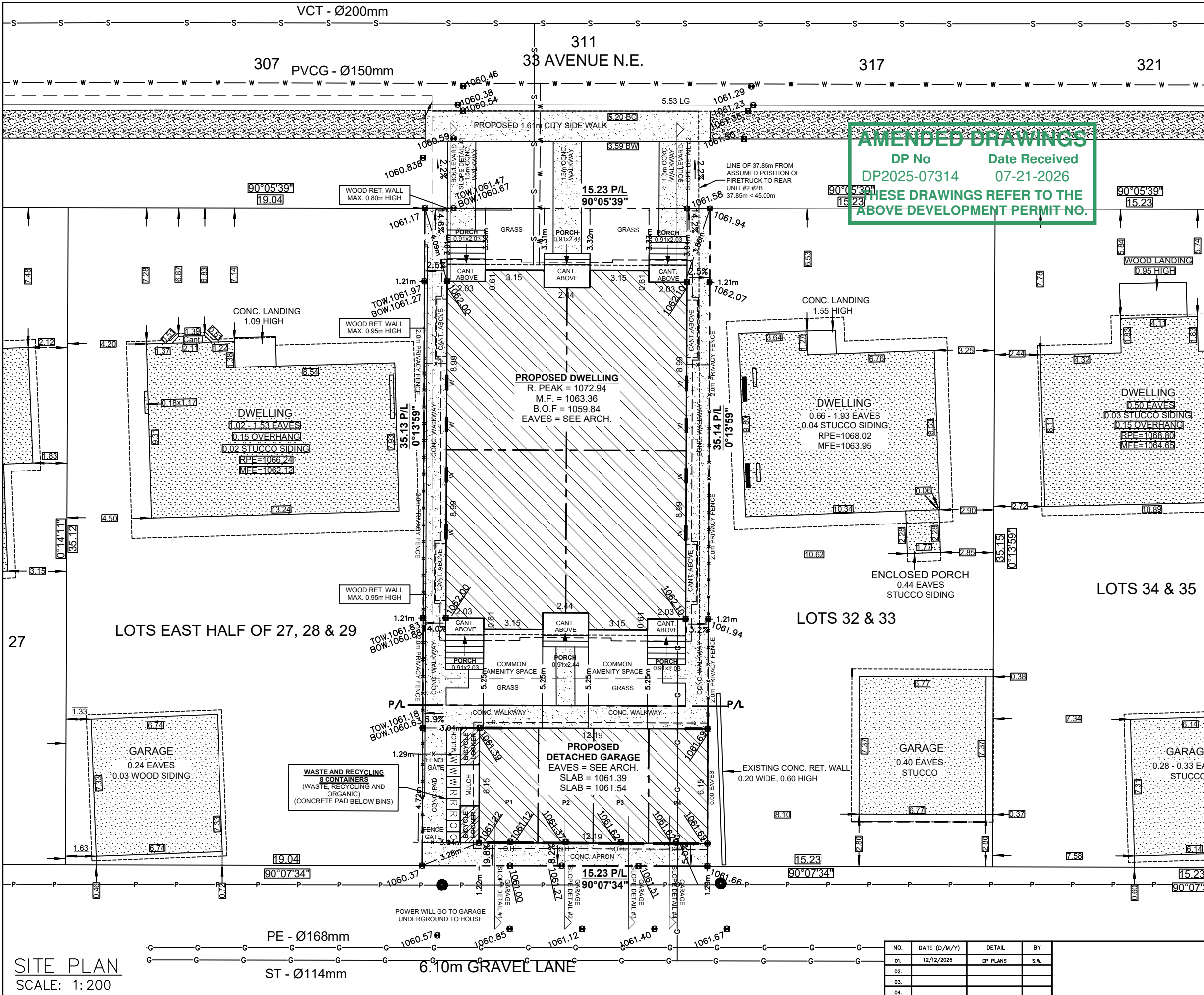




SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\blacksquare$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\blacksquare$ ----- denotes Calculation points
- $\blacksquare$ ----- denotes Water Valve
- $\blacklozenge$ ----- denotes Gas Valve
- $\bullet$ ----- denotes Manhole
- $\odot$ ----- denotes Tree
- $\bullet$ ----- denotes Power Pole
- $\triangle$ ----- denotes Sign
- $\odot$ ----- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T. Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:
Lots 30 & 31
Block 3
Plan 5942 AD

MUNICIPAL ADDRESS:
311 33 AVENUE N.E.
Calgary, Alberta

LOT COVERAGE DETAIL:
(ROW HOUSE)
LOT SIZE: 534.964 SQ M
HOUSE SIZE: 236.407 SQ M
CANT.: 0.000 SQ M
COVERED PORCH: 4.430 SQ M
GARAGE: 74.942 SQ M
WINGWALL: 0.000 SQ M

DENSITY:
TOTAL UNITS: 4
LOT SIZE: 534.964 SQ M (0.0534964 ha)
DENSITY: 75 UNITS/ha

PARKING:
PARKING PROVIDED: 4 STALLS

TOTAL: 315,779/534,964
= 59.03%

NO.	DATE (D/M/Y)	DETAIL	BY
01.	12/12/2025	DP PLANS	S.W.
02.			
03.			
04.			

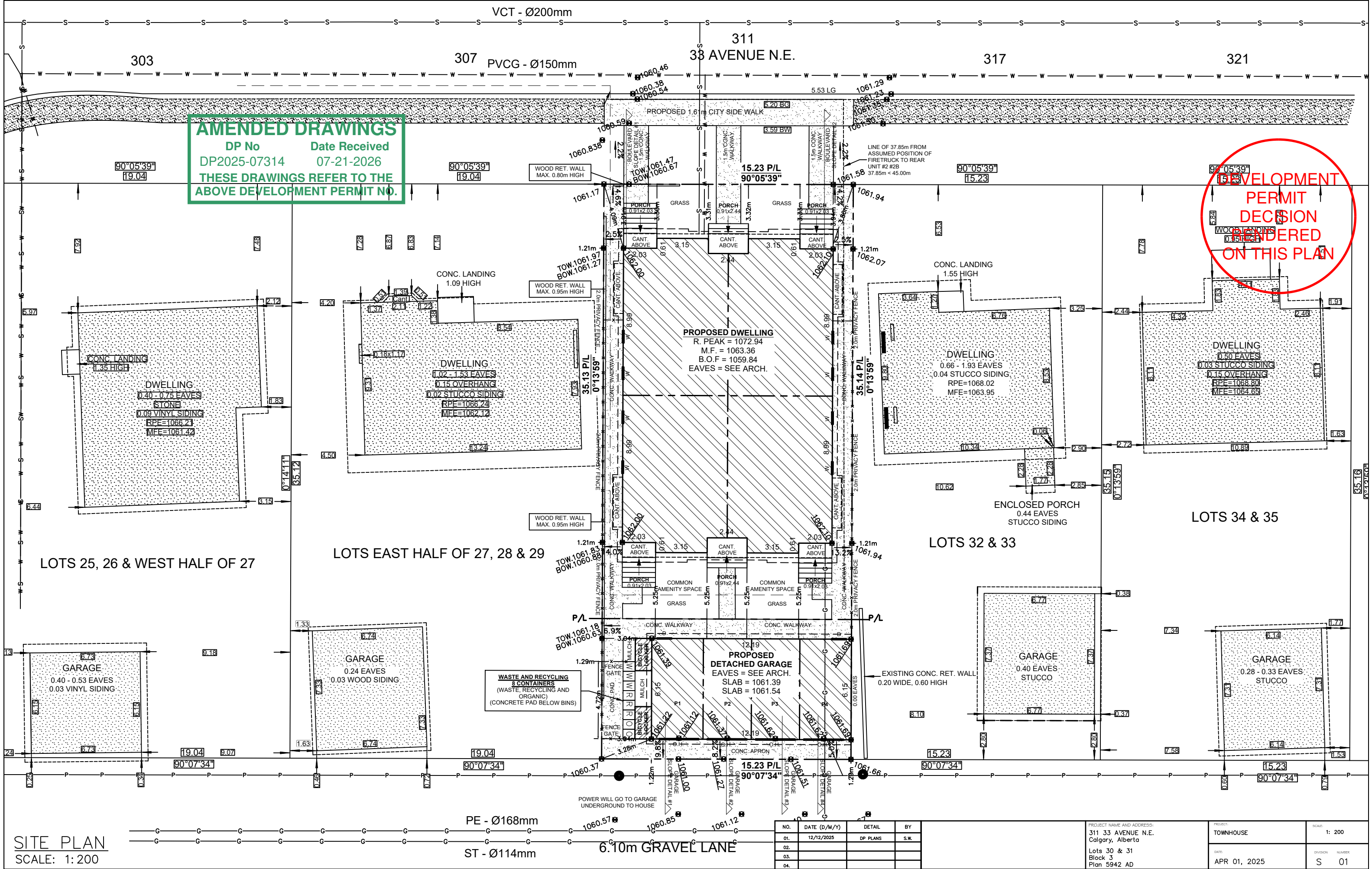
PROJECT NAME AND ADDRESS:
311 33 AVENUE N.E.
Calgary, Alberta
Lots 30 & 31
Block 3
Plan 5942 AD

PROJECT:
TOWNHOUSE

DATE:
APR 01, 2025

SCALE:
1: 200

DIVISION NUMBER:
S 01



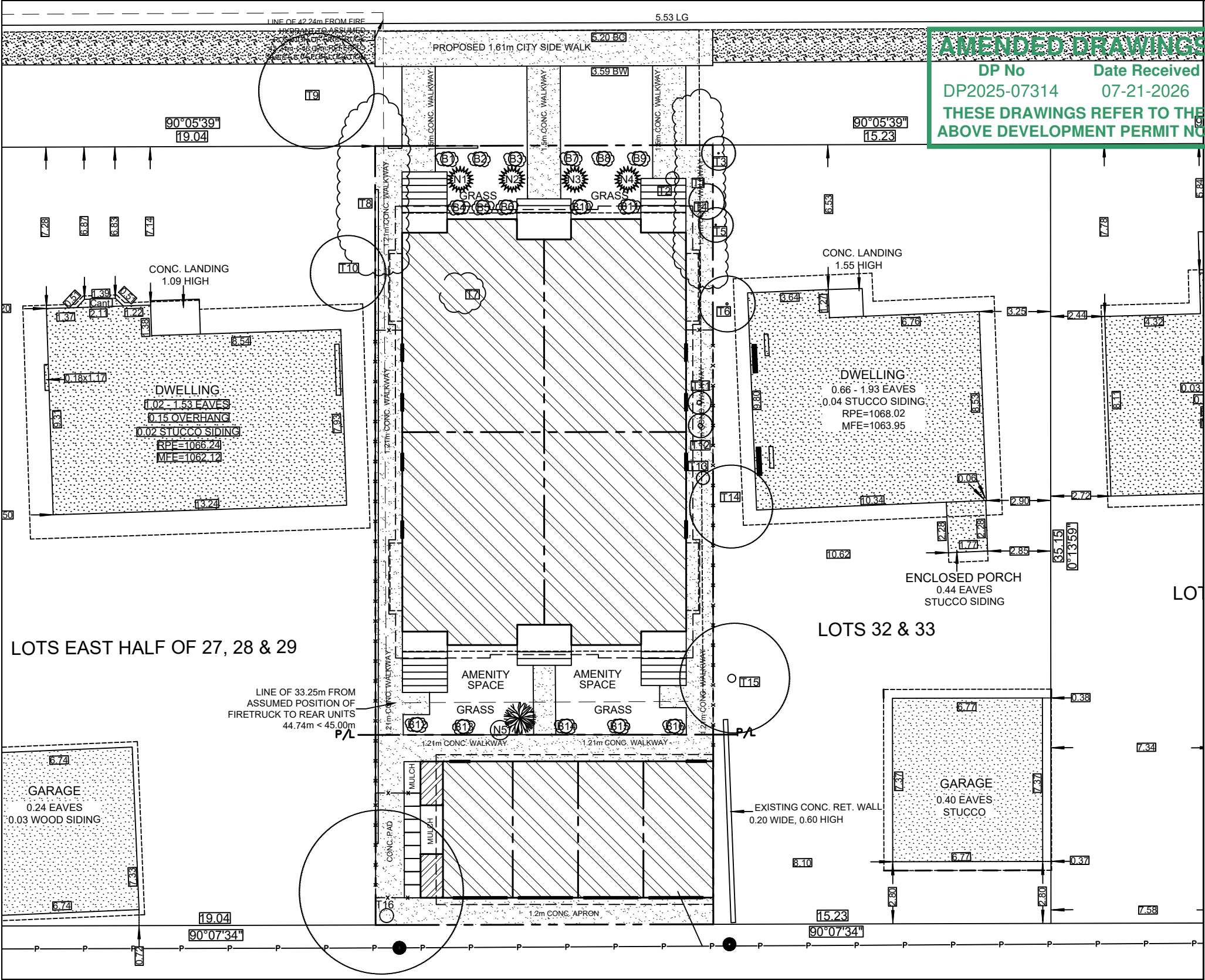
SITE PLAN
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	12/12/2025	DP PLANS	S.W.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:
311 33 AVENUE N.E.
Calgary, Alberta
Lots 30 & 31
Block 3
Plan 5942 AD

PROJECT:
TOWNHOUSE
DATE:
APR 01, 2025

SCALE:
1: 200
DIVISION NUMBER:
S 01



AMENDED DRAWINGS
DP No DP2025-07314
Date Received 07-21-2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	DISPOSITION
T1	Shrubs	-	2.27	1.80	On Property Line	To Stay
T2	Stump	-	-	0.94	In Subject Property	To Be Removed
T3	Poplar	0.06	1.52	3.15	In Adjacent Property	To Stay
T4	Poplar	0.04	1.60	3.75	In Subject Property	To Be Removed
T5	Poplar	0.06	1.56	3.65	In Adjacent Property	To Stay
T6	Poplar	0.10	2.52	3.80	In Adjacent Property	To Stay
T7	Shrubs	-	1.93	1.18	In Subject Property	To Be Removed
T8	Shrubs	-	3.28	1.20	On Property Line	To Be Removed
T9	Amur Maple	-	5.20	3.85	In City Property	To Stay
T10	Service Berry	-	3.40	3.75	In Adjacent Property	To Stay
T11	Spruce	0.20	1.08	1.48	In Subject Property	To Be Removed
T12	Spruce	0.20	1.08	1.48	In Subject Property	To Be Removed
T13	Service Berry	-	0.58	2.20	In Subject Property	To Be Removed
T14	Service Berry	-	3.74	4.11	In Adjacent Property	To Stay
T15	Poplar	0.36	4.95	5.23	In Adjacent Property	To Stay
T16	Mountain Ash	0.61	7.39	5.72	In Subject Property	To Be Removed

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Amur Maple (Deciduous Tree)	0.09	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
B1	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B2	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B3	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B4	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B5	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B6	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B7	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B8	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B9	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B10	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B11	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B12	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B13	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B14	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B15	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B16	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs

LANDSCAPE COVERAGE

LOT SIZE = 534.964 SQ. M
LANDSCAPE AREA = 171.423 SQ. M
HARD LANDSCAPE (CONC. WALKWAY AND CONC. PADS) = 107.648 SQ. M
SOFT LANDSCAPE (GRASS + MULCH) = 63.775 SQ. M

107.648 / 171.423 = 62.80% OF HARD LANDSCAPING
63.775 / 171.423 = 37.20% OF SOFT LANDSCAPING

NOTE:
"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS
WITH SHRUBS AND 300MM IN ALL OTHER AREAS

"All sodded areas are planted with a drought tolerant grass species".

LANDSCAPING PLAN
SCALE: 1: 200

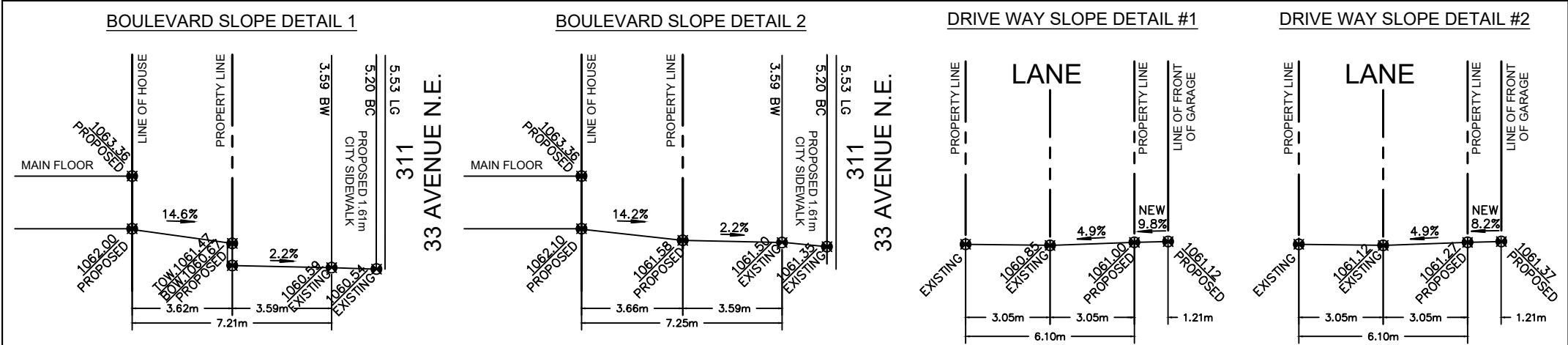
"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

NO.	DATE (D/M/Y)	DETAIL	BY
01.	12/12/2025	DP PLANS	S.W.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:
311 33 AVENUE N.E.
Calgary, Alberta
Lots 30 & 31
Block 3
Plan 5942 AD

PROJECT:
TOWNHOUSE
DATE:
APR 01, 2025

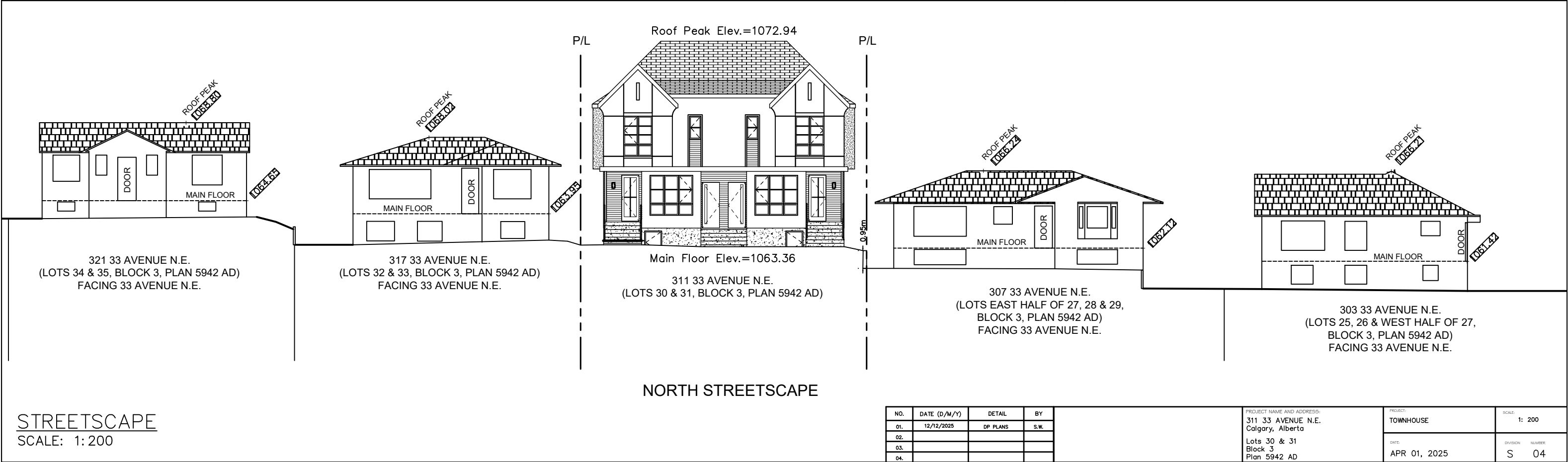
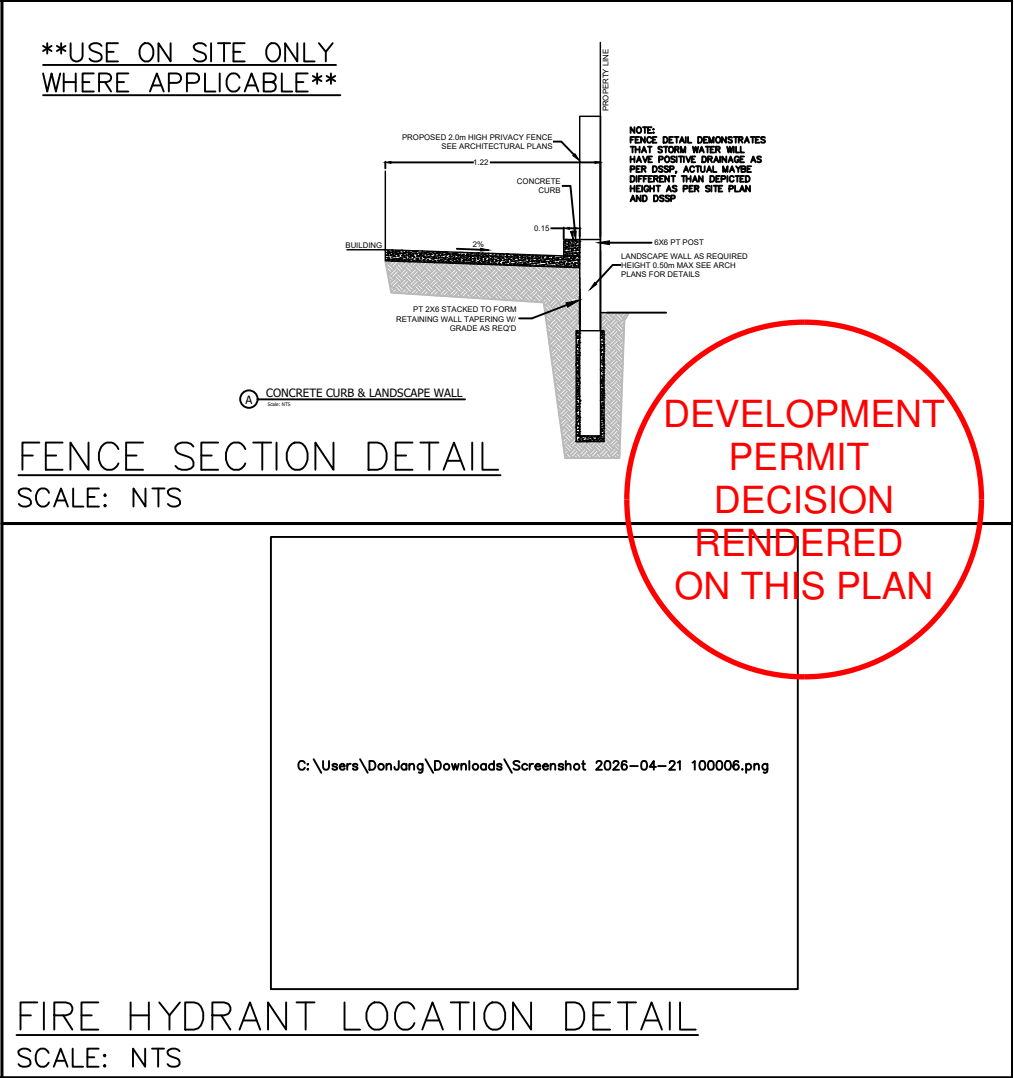
SCALE:
1: 200
DIVISION NUMBER:
S 03



AMENDED DRAWINGS
DP No Date Received
DP2025-07314 07-21-2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

AREA OF TOWNHOUSE

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA
BASEMENT	661.50 SQ FT	661.50 SQ FT	661.50 SQ FT	661.50 SQ FT
MAIN FLOOR	636.17 SQ FT	636.17 SQ FT	636.17 SQ FT	636.17 SQ FT
UPPER FLOOR	702.75 SQ FT	702.75 SQ FT	702.75 SQ FT	702.75 SQ FT
TOTAL AREA	1338.92 SQ FT	1338.92 SQ FT	1338.92 SQ FT	1338.92 SQ FT





LIST OF DRAWINGS	
A-0.0	Cover Page
A-0.1	Assemblies
A-1.0	Foundation Plan & Basement Plan
A-1.2	Main Floor Plan & Upper Floor Plan
A-1.3	Roof Plan
A-2.0	Building Elevations
A-3.0	Garage Plan

LIST OF DRAWINGS	
A-4.0	Building Sections
A-4.1	SPV-006 SECTIONS
A-5.0	Detail 1
A-5.1	Detail 2
A-5.2	Detail 3
A-5.3	Tail Wall
E-1.0	Electrical Plans



GENERAL NOTES:

MUNICIPAL ADDRESS:
311 - 33 Ave NE
CALGARY, ALBERTA

PROJECT:
Multi-plex

PROJECT NUMBER:
30-26

STATUS:
BP

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01.	12/12/2025	DP PLAN	S.W.
02.	20/04/2026	BP PLANS	D.J.
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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FLOOR AREA - UNIT #1
BASEMENT = 661.50 SQ. FT.

MAIN = 636.17 SQ. FT.
UPPER = 702.75 SQ. FT.

TOTAL = 1338.92 SQ. FT.

FLOOR AREA - UNIT #2
BASEMENT = 661.50 SQ. FT.

MAIN = 636.17 SQ. FT.
UPPER = 702.75 SQ. FT.

TOTAL = 1338.92 SQ. FT.

FLOOR AREA - UNIT #3
BASEMENT = 661.50 SQ. FT.

MAIN = 636.17 SQ. FT.
UPPER = 702.75 SQ. FT.

TOTAL = 1338.92 SQ. FT.

FLOOR AREA - UNIT #4
BASEMENT = 661.50 SQ. FT.

MAIN = 636.17 SQ. FT.
UPPER = 702.75 SQ. FT.

TOTAL = 1338.92 SQ. FT.

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-15 10:23:09 AM

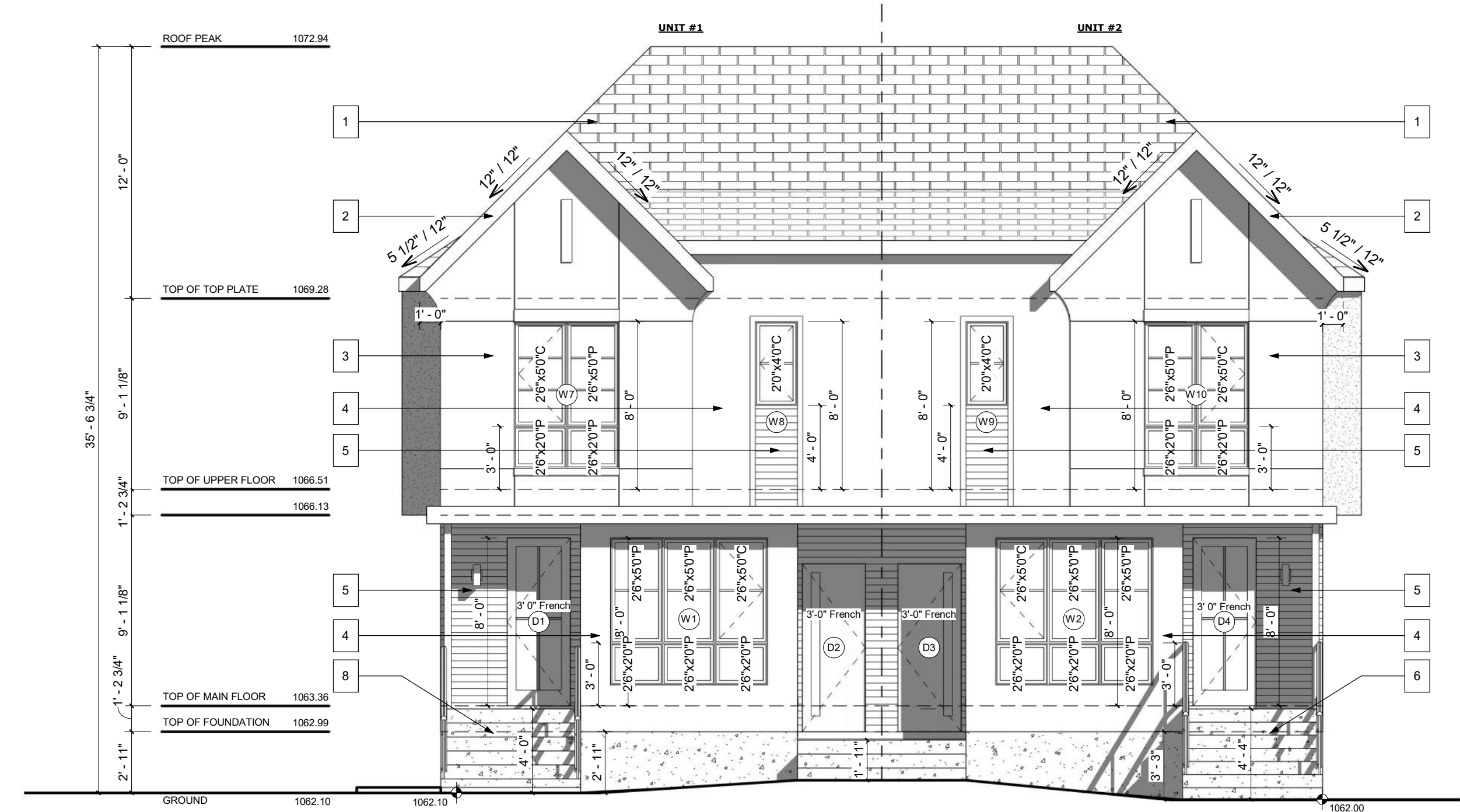
SCALE:

PAGE:

A-0.0

- EXTERIOR FINISHES:
- | | | |
|------------------------------|-------------------------------|--------------------------|
| 1 ASPHALT SHINGLES | 4 SMOOTH STUCCO FINISH- WHITE | 7 CONC. PAVING |
| 2 6" ALUMINUM FASCIA - BLACK | 5 CLADDING FINISH - RED | 8 CAST-IN PLACE CONCRETE |
| 3 PANEL SMART BOARD - BLACK | 6 STUCCO FINISH - WHITE | |

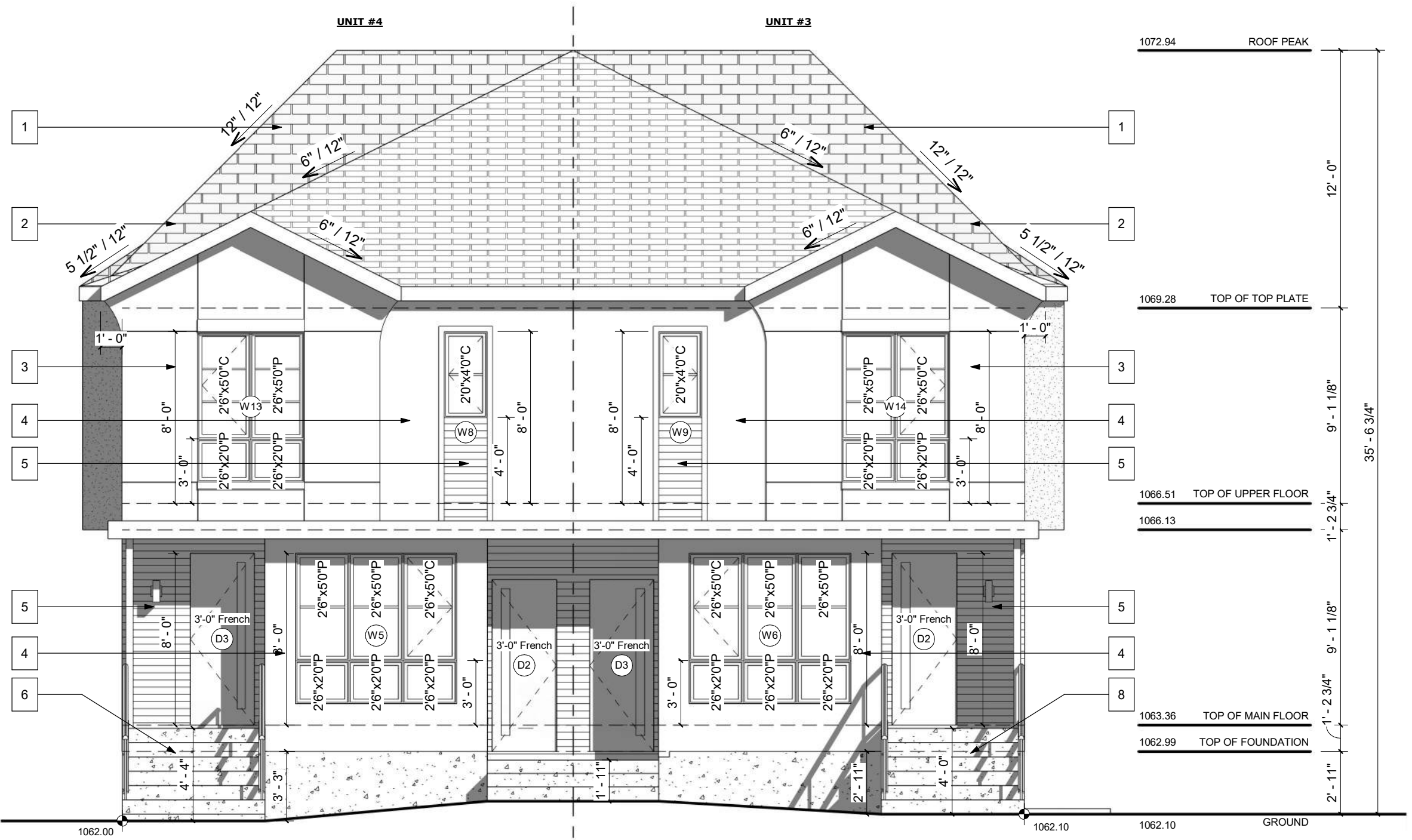
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DP No Date Received
DP2025-07314 07-21-2026
THESE DRAWINGS REFER TO THE
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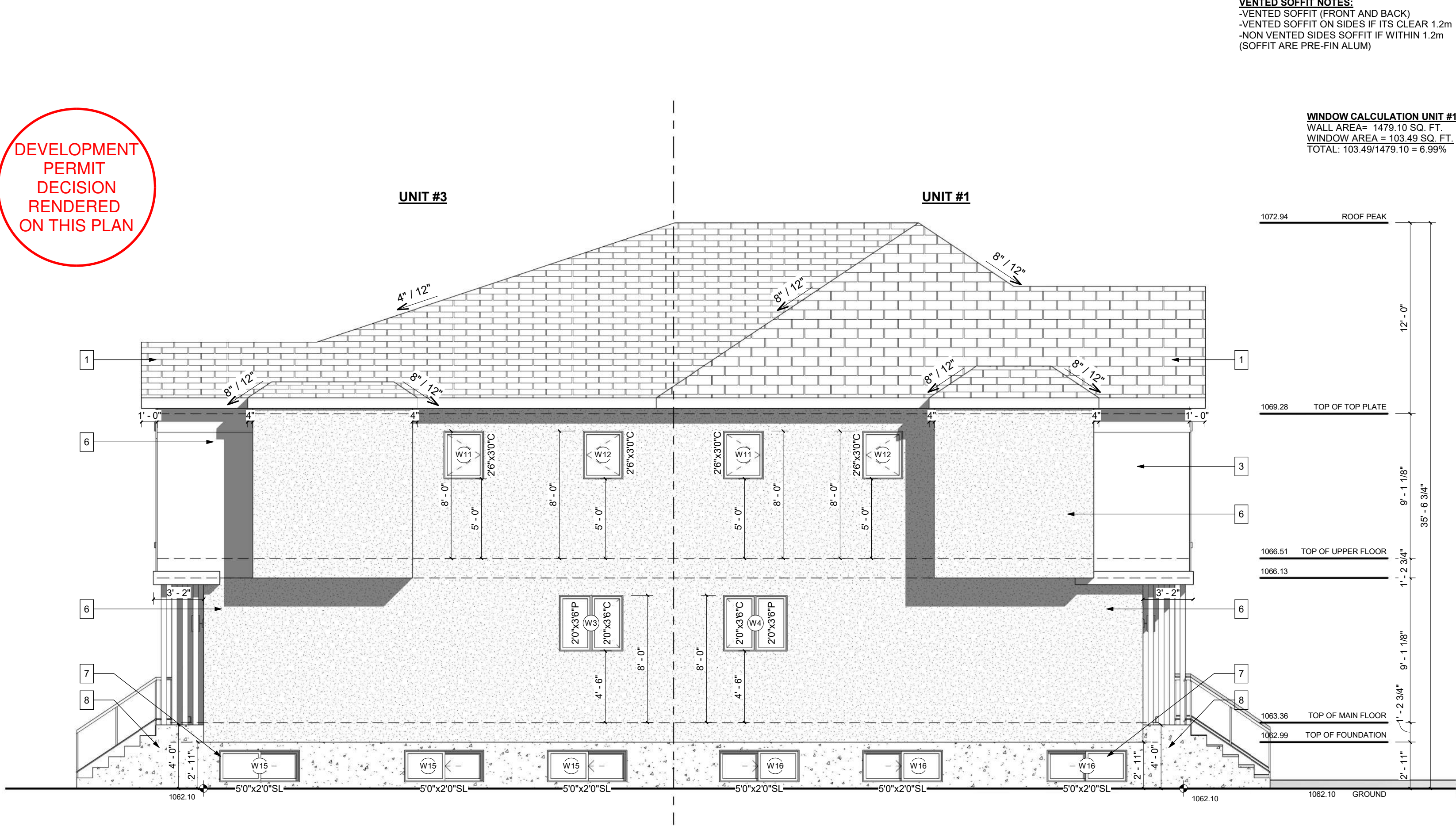
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

WINDOW CALCULATION UNIT #3
WALL AREA= 500.75 SQ. FT.
WINDOW AREA = 112.58 SQ. FT.
TOTAL: 112.58/500.75 = 22.46%

WINDOW CALCULATION UNIT #4
WALL AREA= 495.47 SQ. FT.
WINDOW AREA = 111.88 SQ. FT.
TOTAL: 111.88/495.47 = 22.58%



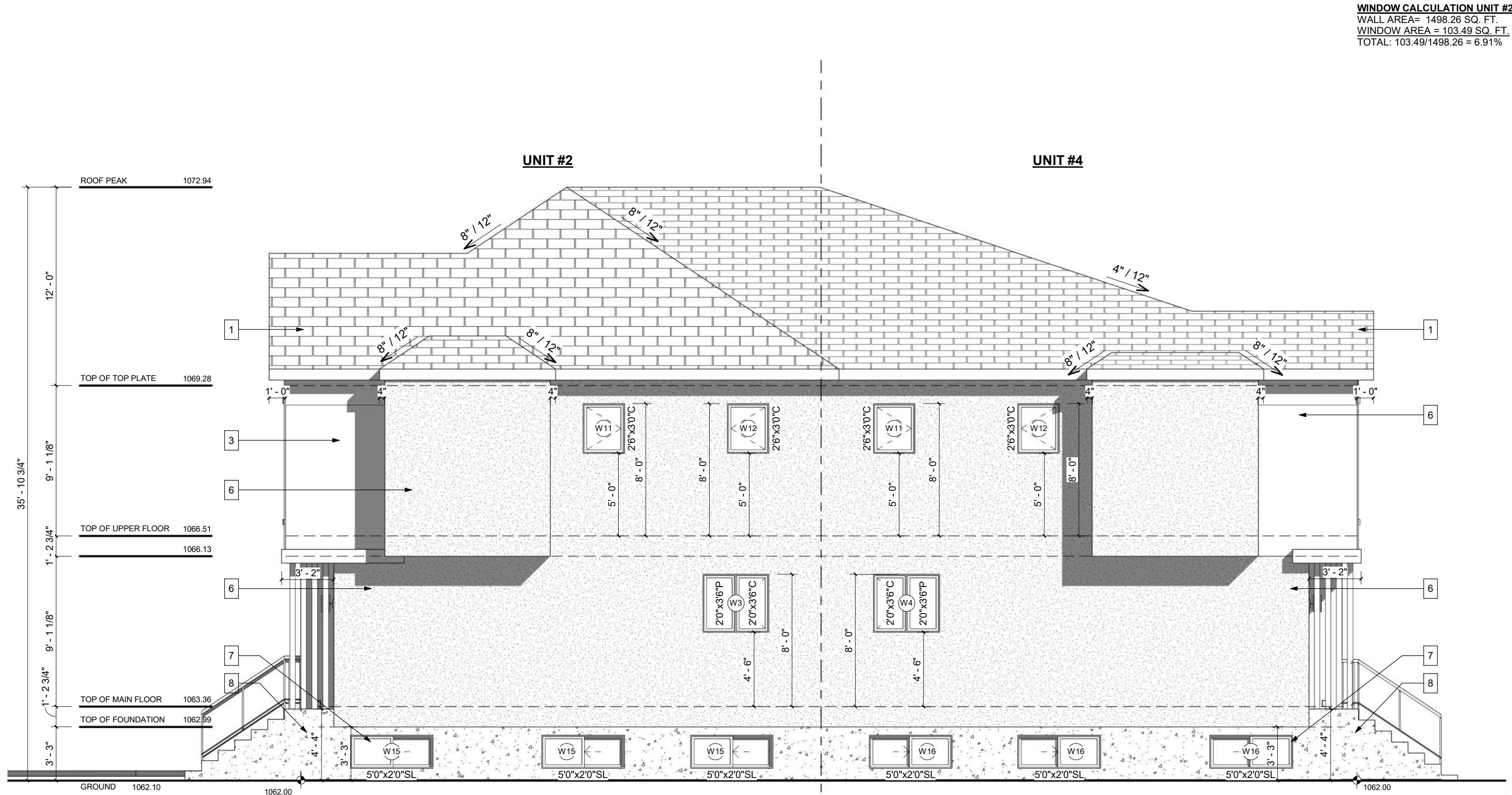
REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION UNIT #1, #3
WALL AREA= 1479.10 SQ. FT.
WINDOW AREA = 103.49 SQ. FT.
TOTAL: 103.49/1479.10 = 6.99%



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
311 - 33 Ave NE
CALGARY, ALBERTA

PROJECT:
Multi-plex

PROJECT NUMBER:
30-26

STATUS:
BP

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01.	12/12/2025	DP PLAN	S.W.
02.	20/04/2026	BP PLANS	D.J.
03.	--	--	--
04.	--	--	--
05.	--	--	--
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DRAWING SET:

SHEET NAME:
Building Elevations

DESIGN BY: JT

DRAWN BY: JT

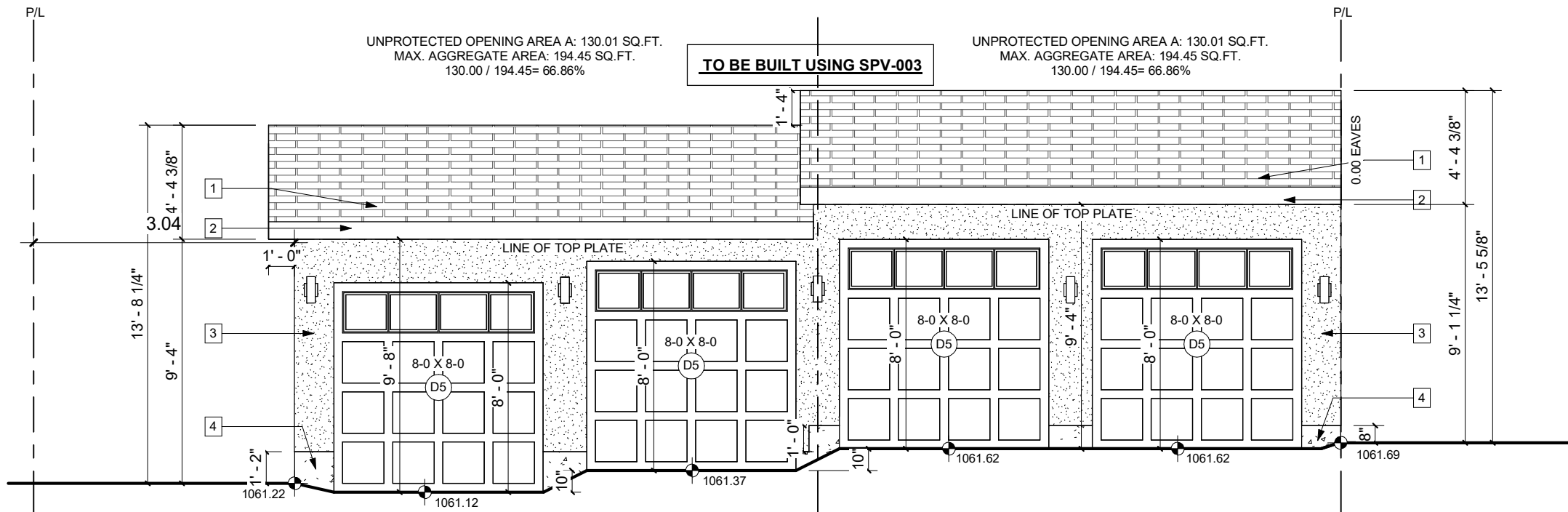
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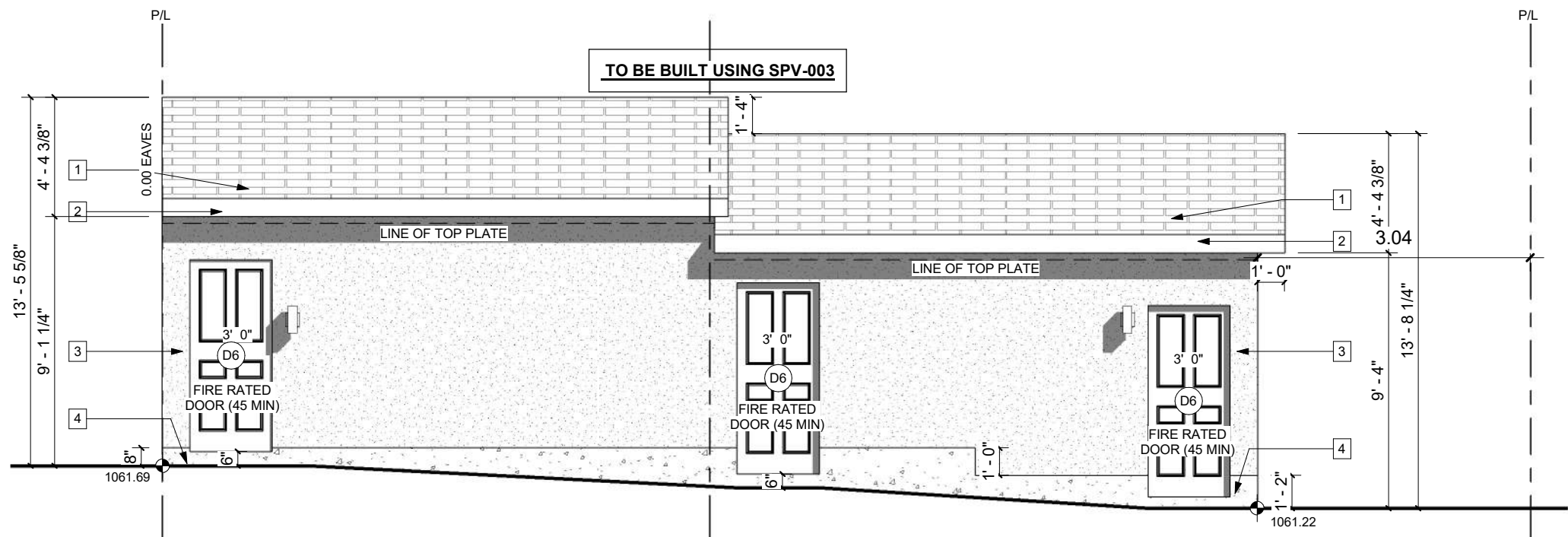
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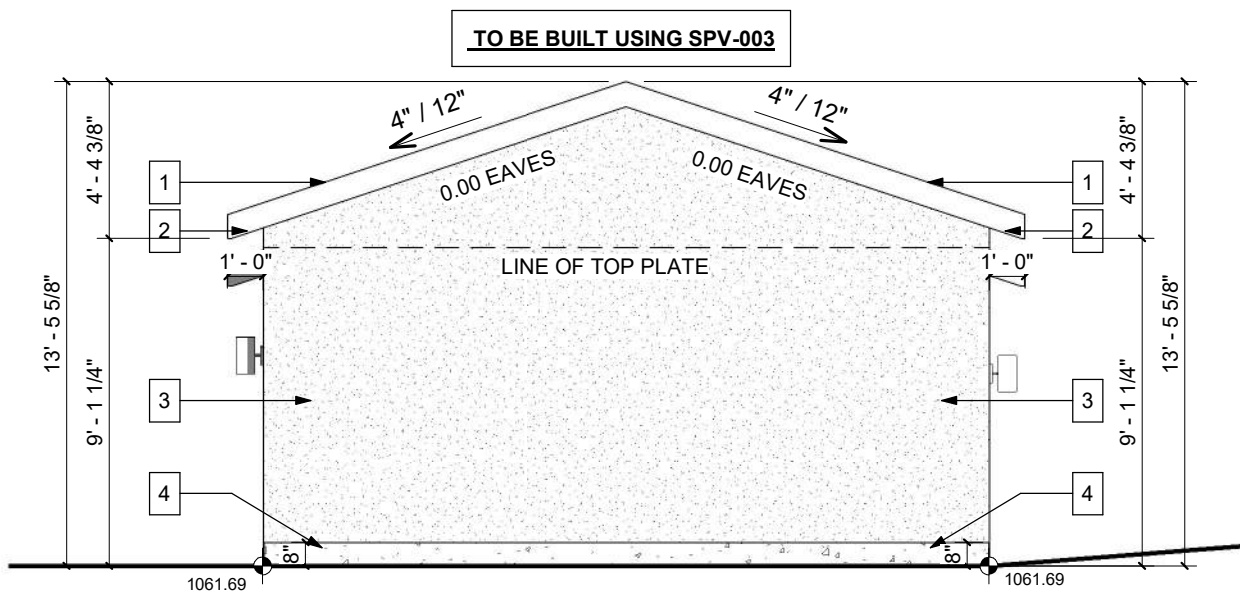
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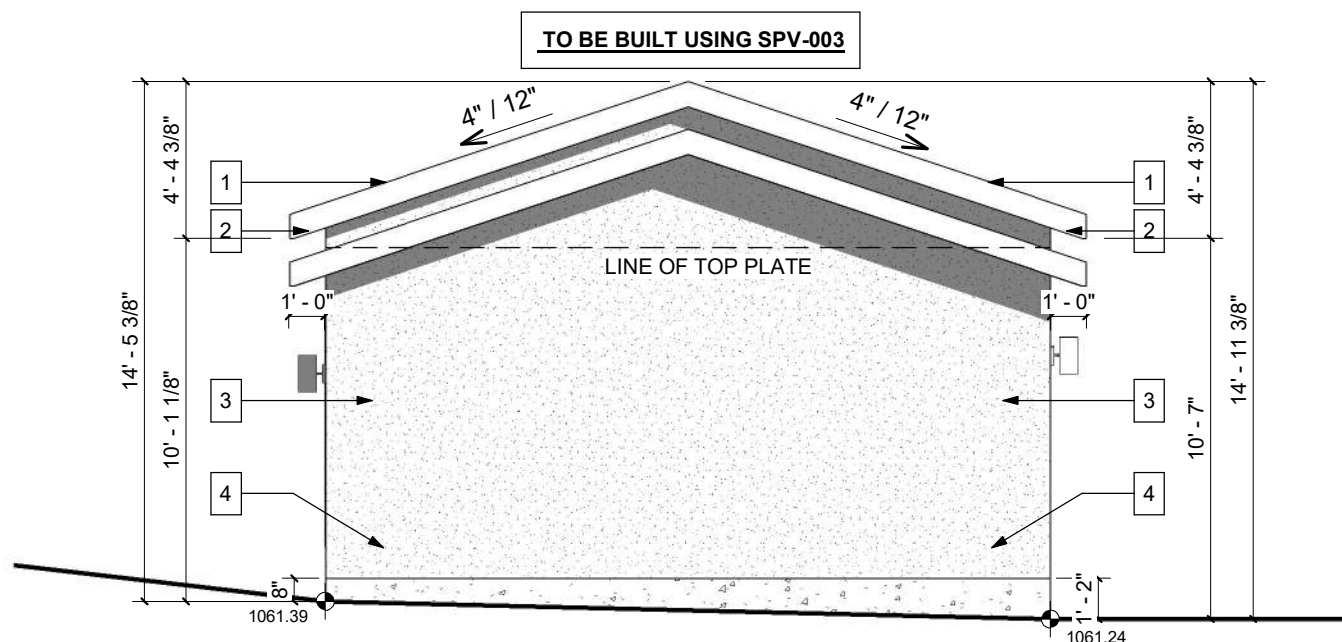
GARAGE FRONT ELEVATION (LANE)
SCALE: 1/4" = 1'-0"



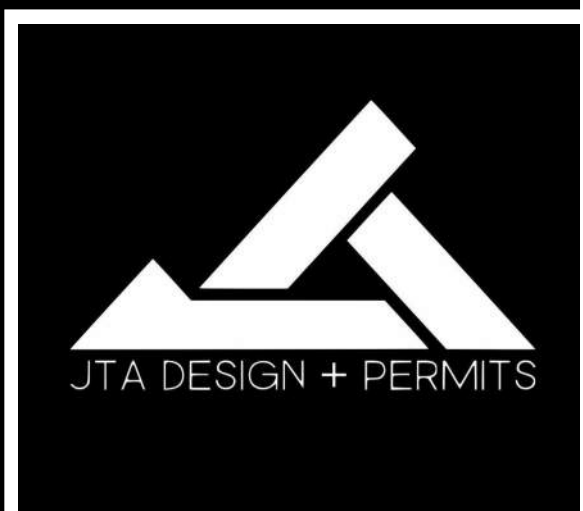
GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE LEFT ELEVATION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

PROFESSIONAL ENGINEER ALBERTA
LEO LEUNG
FOUNDER ONLY
APR 20, 2026

PERMIT TO PRACTICE
INNOFLEX ENGINEERING LTD.

Signature: [Signature]
APEGA ID: 138487
Date: APR 20, 2026
PERMIT NUMBER: P 14112
The Association of Professional Engineers and Geoscientists of Alberta

MUNICIPAL ADDRESS:
311 - 33 Ave NE
CALGARY, ALBERTA

PROJECT:
Multi-plex

PROJECT NUMBER:
30-26

STATUS:
BP

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DRAWING SET:

SHEET NAME:
Garage Plan

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2026-06-15 10:23:34 AM

SCALE: As indicated

PAGE: **A-3.0**