

8_PLEX
6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17&18; BLOCK 4; PLAN 4610 AJ



DEVELOPMENT PERMIT SET

ISSUE DATE : 2025-12-11
REVISION DATE : 2026-04-22



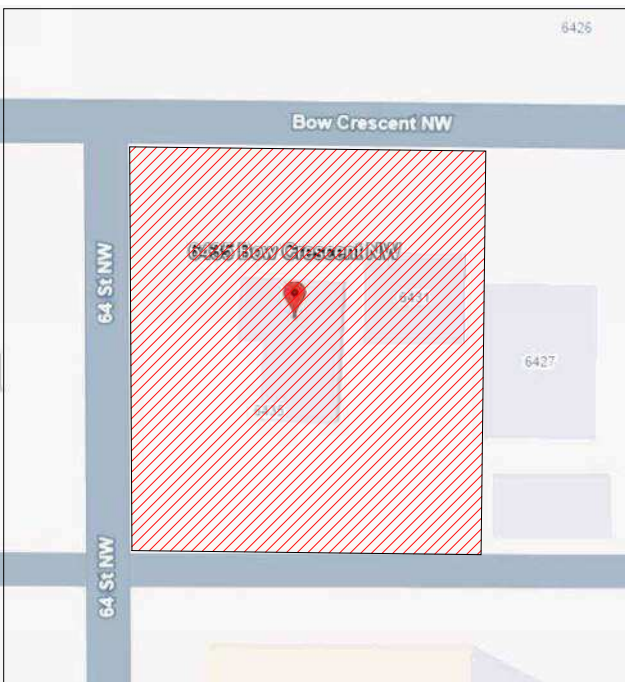
#202 - 4216 10TH STREET NE,
CALGARY, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

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- | | | | |
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UNIT 1 (5-PLEX)				UNIT 2 (5-PLEX)			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	720.00	66.89		MAIN FLOOR	698.75	64.92
	UPPER FLOOR	718.33	66.74		UPPER FLOOR	698.75	64.92
	TOTAL	1438.33	133.63		TOTAL	1397.50	129.83
	LEGAL SUITE FLOOR	557.86	51.83		LEGAL SUITE FLOOR	582.79	54.14
	GRAND TOTAL	1996.19	185.45		GRAND TOTAL	1980.29	183.97
UNIT 3 (5-PLEX)				UNIT 4 (5-PLEX)			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	694.00	64.47		MAIN FLOOR	698.75	64.92
	UPPER FLOOR	694.00	64.47		UPPER FLOOR	698.75	64.92
	TOTAL	1388.00	128.95		TOTAL	1397.50	129.83
	LEGAL SUITE FLOOR	580.17	53.90		LEGAL SUITE FLOOR	580.17	53.90
	GRAND TOTAL	1968.17	182.85		GRAND TOTAL	1977.67	183.73
UNIT 5 (5-PLEX)				UNIT 1 (3-PLEX)			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	590.17	54.83		MAIN FLOOR	666.10	61.88
	UPPER FLOOR	597.58	55.52		UPPER FLOOR	681.08	63.27
	TOTAL	1187.75	110.35		TOTAL	1347.18	125.16
	LEGAL SUITE FLOOR	421.06	39.12		LEGAL SUITE FLOOR	552.46	51.33
	GRAND TOTAL	1608.81	149.46		GRAND TOTAL	1899.64	176.48
UNIT 2 (3-PLEX)				UNIT 3 (3-PLEX)			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	666.10	61.88		MAIN FLOOR	660.58	61.37
	UPPER FLOOR	681.08	63.27		UPPER FLOOR	761.95	70.79
	TOTAL	1347.18	125.16		TOTAL	1422.53	132.16
	LEGAL SUITE FLOOR	552.46	51.33		LEGAL SUITE FLOOR	842.11	80.36
	GRAND TOTAL	1899.64	176.48		GRAND TOTAL	1964.64	182.52

KEY PLAN :



PROJECT NO.: 25-01840



DESIGNED BY:

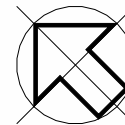
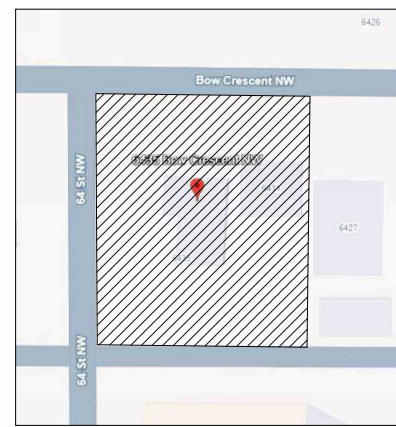


RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE,
CALGARY, AB
AB T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
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- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-22	DTR	N.F.R.N	
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I.	
02				
03				
04				
05				

THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

**6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17&18; BLOCK 4; PLAN 4610 AJ**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D SHOTS

DRAWING NO.

G-002

PROJECT NO. :

CHECKED BY:

DATE:

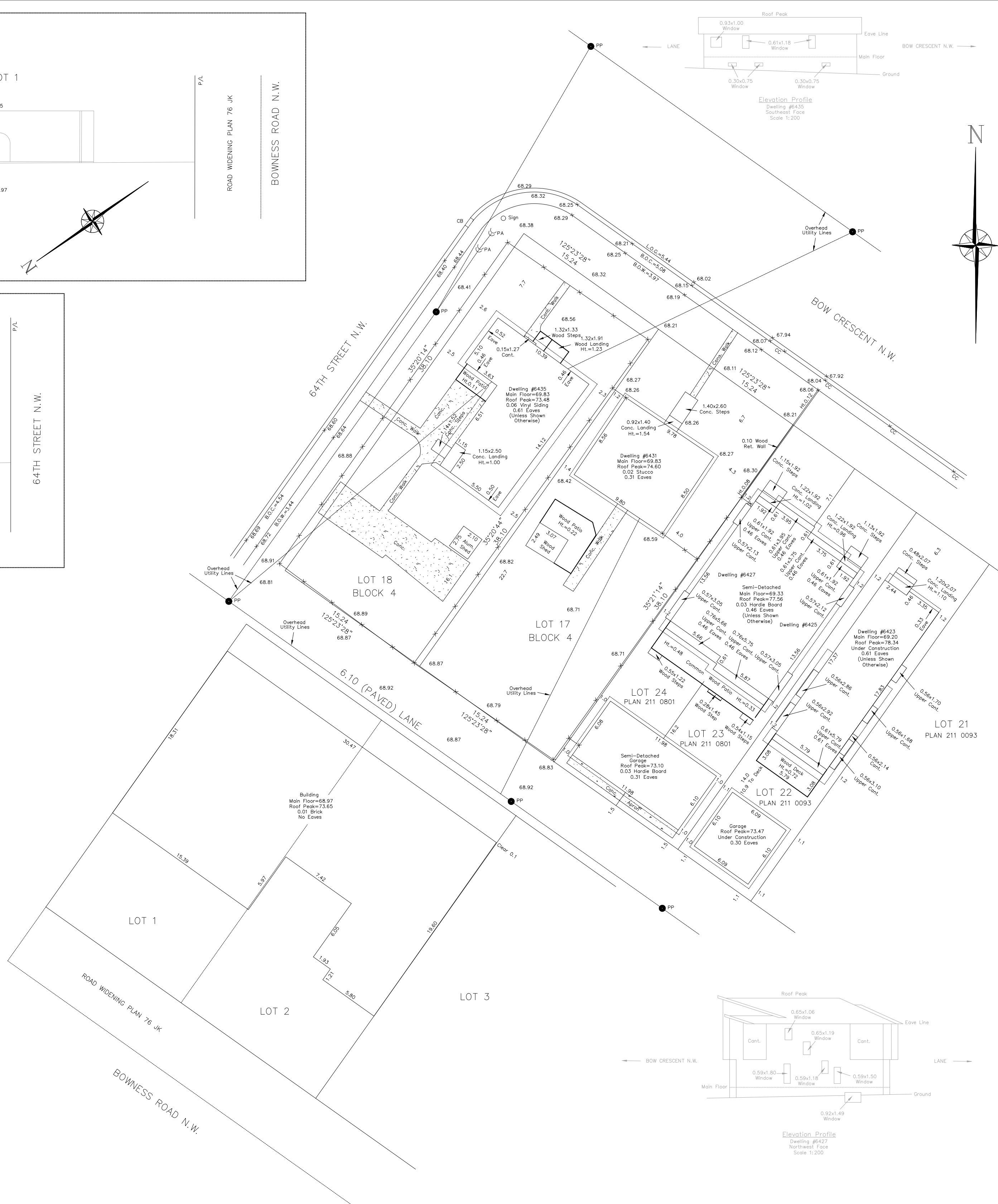
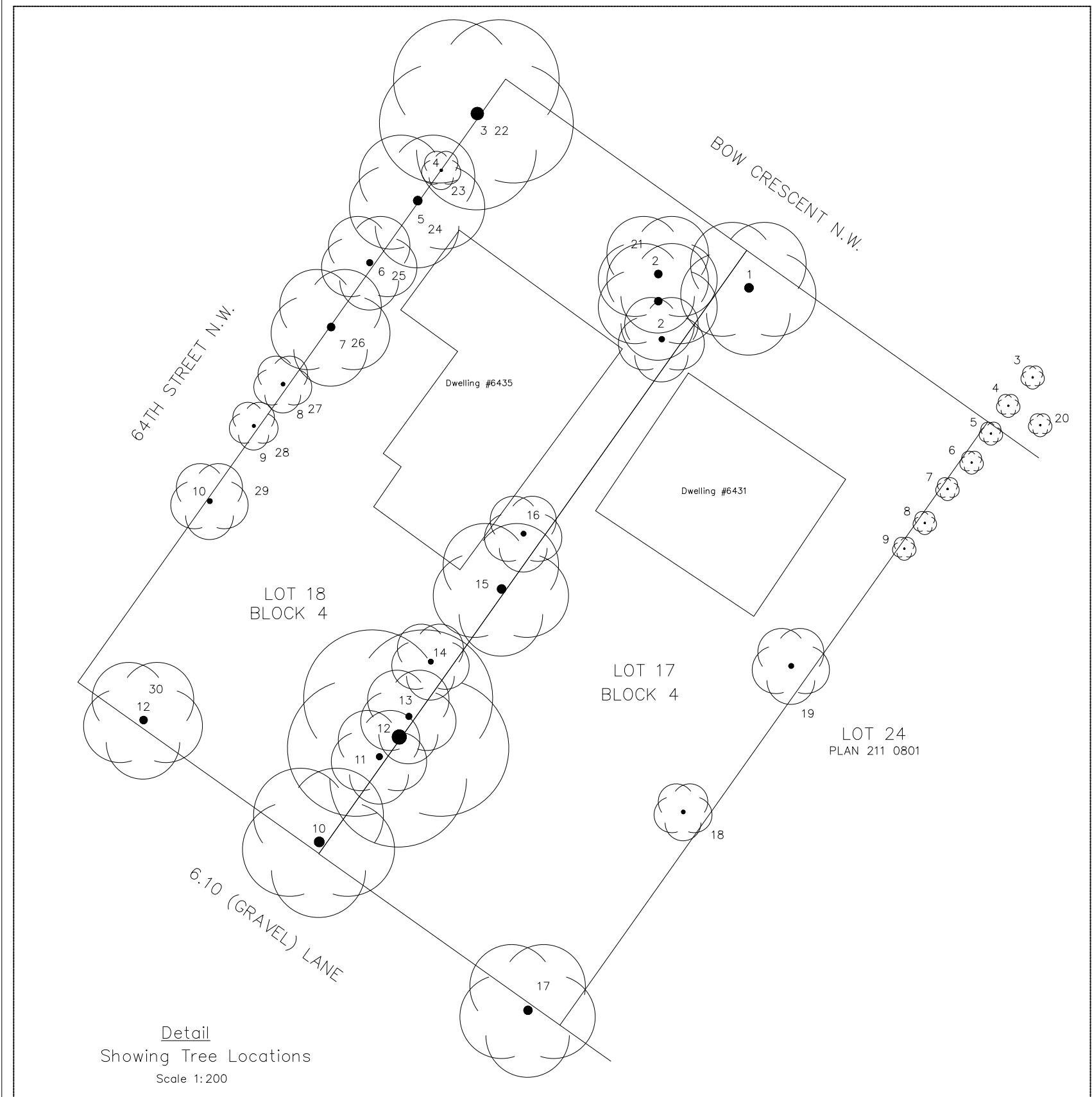
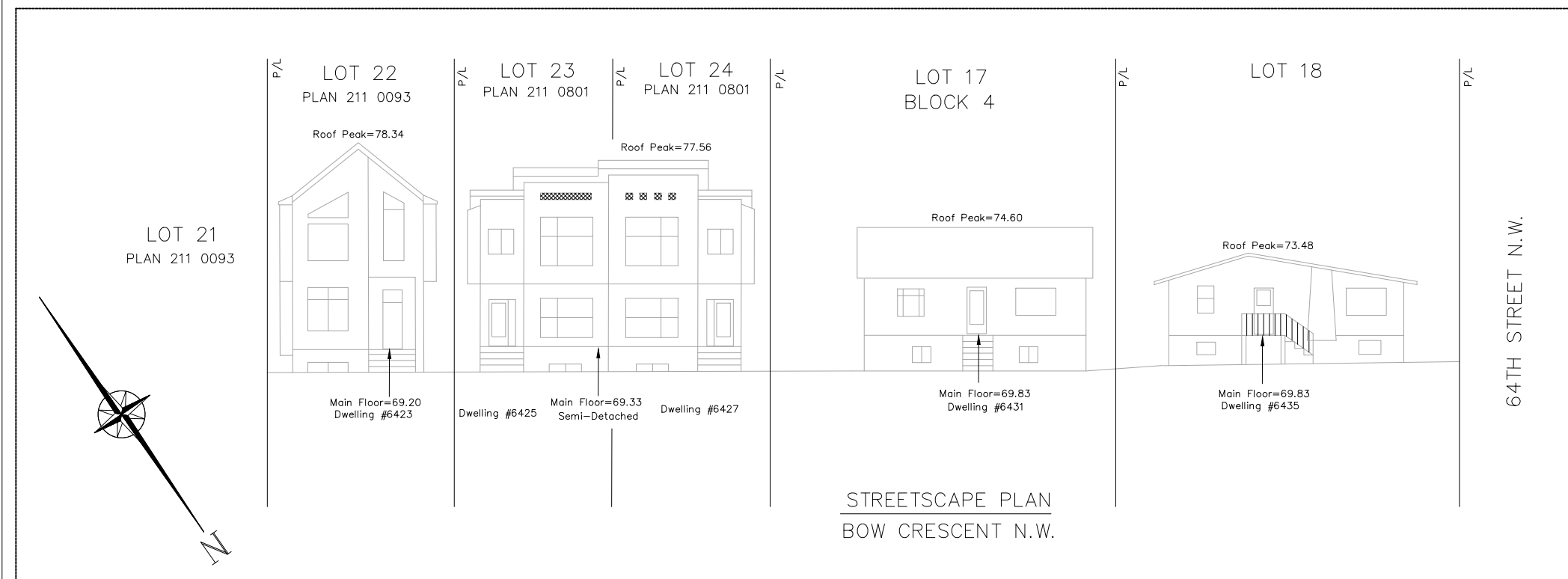
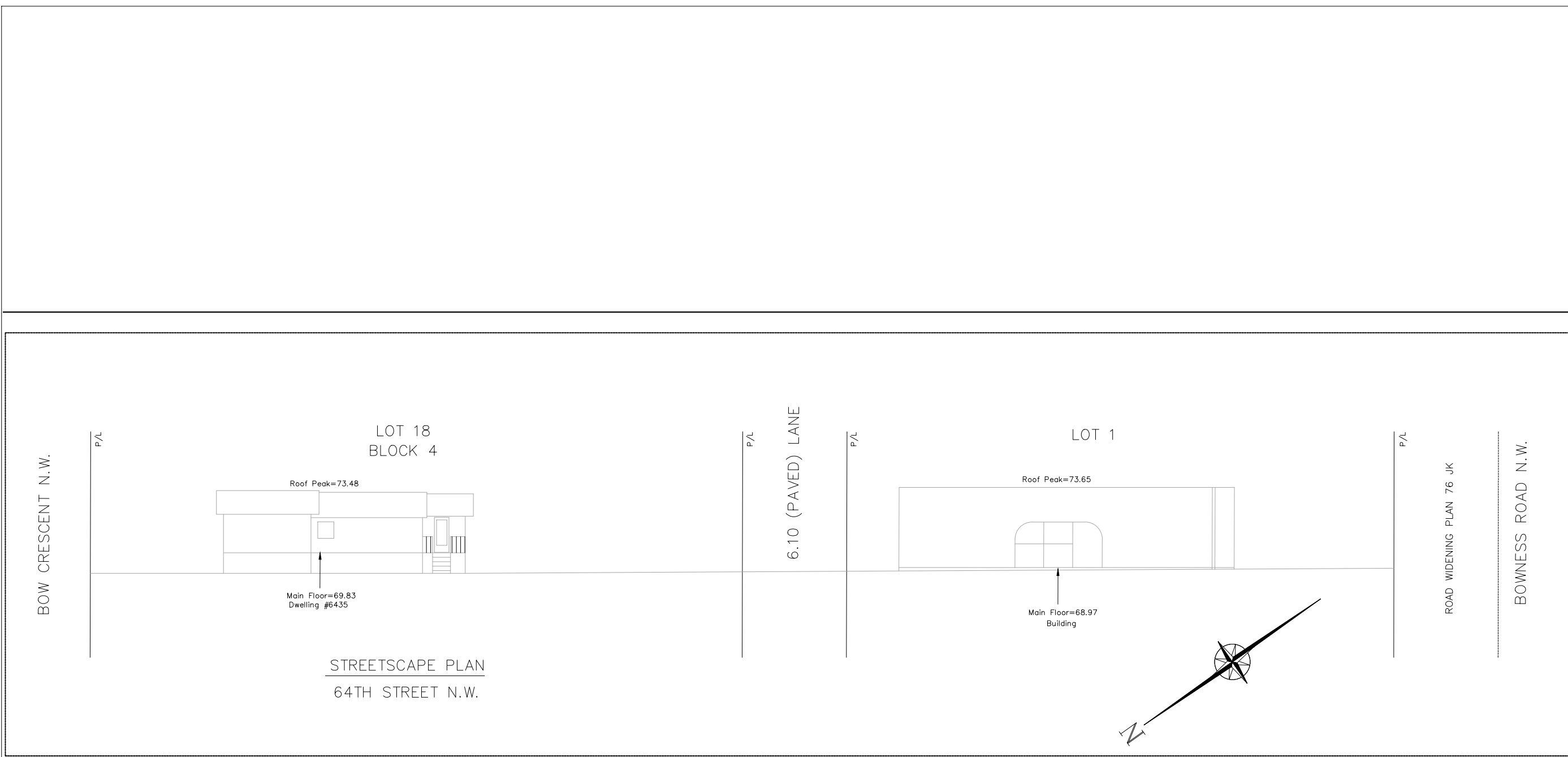
E.Z.

2026-04-20

DRAWN BY:

SCALE:

T.J.



DEVELOPMENT PERMIT PLAN

MUNICIPAL ADDRESS:
6431 & 6435 – BOW CRESCENT N.W.
CALGARY, ALBERTA
CLIENT: JAG CUSTOM HOMES

LEGAL DESCRIPTION:

LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ
WITHIN THE
S.E.1/4 SEC.35, TWP.24, RGE.2, W.5thM.

SCALE 1 : 200

Legend:

A.S.C.M. DENOTES ALBERTA SURVEY CONTROL MARKER.	SEC. DENOTES SECTION.
B.O.C. DENOTES BACK OF CURB.	SP. DENOTES SIGN POST.
B.O.W. DENOTES BACK OF WALK.	Twp. DENOTES TOWNSHIP.
CB. DENOTES CATCH BASIN.	TEST HOLE SHOWN THUS:
CC. DENOTES CURB CUT	WATER VALVE SHOWN THUS:
Ch.M. DENOTES CHECK MEASURED.	POWER POLE SHOWN THUS:
C/L DENOTES CENTRE LINE.	POLE ANCHOR SHOWN THUS:
Hs. DENOTES HECTARES.	MANHOLE SHOWN THUS:
L.O.G. DENOTES LINE OF GUTTER	GAS VALVE SHOWN THUS:
LP. DENOTES LAMP POLE	FIRE HYDRANT SHOWN THUS:
m. DENOTES METRES.	LAMP POLE SHOWN THUS:
M. DENOTES MERIDIAN.	CANIFEROUS TREE SHOWN THUS:
Mkd. DENOTES MARKED.	DECIDUOUS TREE SHOWN THUS:
PA. DENOTES POLE ANCHOR.	FENCE IS SHOWN THUS:
PL. DENOTES PLACED.	OVERHEAD UTILITIES SHOWN THUS:
P/L DENOTES PROPERTY LINE.	
Rod. DENOTES RADIAL.	
Rge. DENOTES RANGE.	
R/W DENOTES RIGHT-OF-WAY.	

NOTES:
ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN.
DISTANCES ON CURVES ARE ARC DISTANCES
ELEVATIONS ARE GEODETIC AND DERIVED FROM ASCM #32524
TITLE INFORMATION IS BASED ON CERTIFICATES OF TITLE No. 231 292 342 AND 241 057 331
TITLE SEARCH DATED 24/04/24

PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:
-RESTRICTIVE COVENANT INST. No. 8297FL
-CAVEAT INST. No. 241 087 164 (AMENDING AGREEMENT)
-CAVEAT INST. No. 021 175 531 (ENCROACHMENT AGREEMENT)

ALL UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION.
ELEVATIONS ARE SHOWN THUS: $\times 0.65 = 1066.92$ METRES (GEODETIC)

TREE DATA					TREE DATA				
TREE	Type	Canopy	Height	Diameter	TREE	Type	Canopy	Height	Diameter
1	Deciduous	7	4.5	0.40	16	Deciduous	4	3	Clump.
2	Deciduous	4.5	4	0.55	17	Deciduous	7	6	0.40
3	Deciduous	1	3	0.08	18	Deciduous	3	5	0.15
4	Deciduous	1	3	0.08	19	Deciduous	4	5	0.20
5	Deciduous	1	3	0.08	20	Deciduous	1	2	0.10
6	Deciduous	1	3	0.08	21	Deciduous	6	4.5	0.15
7	Deciduous	1	2.5	0.08	22	Deciduous	10	8	0.70
8	Deciduous	1	3	0.08	23	Deciduous	2	4	0.15
9	Deciduous	1	3	0.08	24	Deciduous	7	9	0.35
10	Deciduous	8	7	0.35	25	Deciduous	5	7.5	0.63
11	Deciduous	5	7	0.43	26	Deciduous	6	4	Clump.
12	Deciduous	12	7	0.23	27	Deciduous	3	4.5	0.35
13	Deciduous	5	7	0.22	28	Deciduous	2.5	2	Clump.
14	Deciduous	4	4	0.32	29	Deciduous	4	5.5	0.55
15	Deciduous	7	3.5	0.21	30	Deciduous	6	7	0.24

DATE: APRIL 24, 2024
DATE OF SURVEY: APRIL 19, 2024
SURVEYOR'S INITIALS: JS/GW/YK
DATE: JUNE 27, 2023
DATE OF SURVEY: JUNE 22, 2023
SURVEYOR'S INITIALS: TS/KH/YK

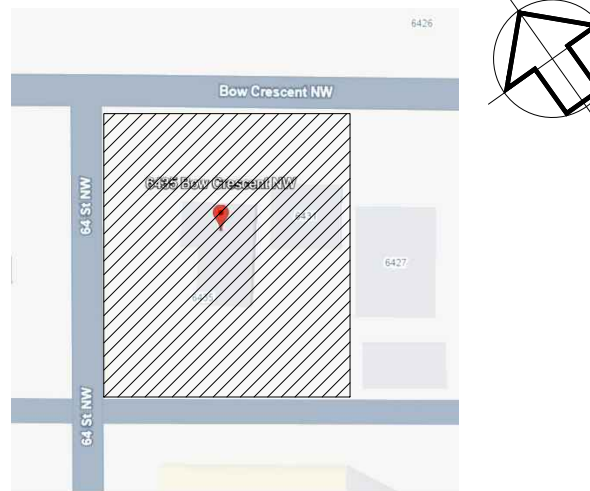
Jones Geomatics Ltd.
Alberta Land Surveyors
#20.1323-44th Ave. N.E., Calgary, Alberta T2E 6L5
Ph. (403) 230-0778 Fax (403) 230-0714
E-mail: jonesgeo@telus.net Job No. D07096-23

DESIGNED BY:



#202 - 4216 10 STREET NE,
CALGARY AB,
T2E 6K3
P: 403.203.1970 FAX: 403.203.1990
info@tricordesigns.ca
www.tricordesigns.ca

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-04-22	DTR REVISION 01	R.N. / N.F.	T.J.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	E.R.	T.J.

THE CLIENT:

KOZEE HOMES LTD

PROJECT:

8-PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

EXISTING SURVEY

DRAWING NO.

A-001

PROJECT NO.:	CHECKED BY:	DATE:
25-01840	T.J.	2025-04-22
	DRAWN BY:	SCALE:
	E.R.	1:250

SITE - PLAN-A

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

6431 & 6435 - BOW CRESCENT N.W. , CALGARY, ALBERTA

LEGAL ADDRESS:-

LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

ZONNING:- R-CG

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

COVERAGE CALCULATION:
 LOT AREA = 1161.71 m²
 MAXIMUM COVERAGE (60%) = 697.03 m²
 PROPOSED BUILDING (5PLEX) COVERAGE = 320.48 m²
 PROPOSED BUILDING (3PLEX) COVERAGE = 191.12 m²
 PROPOSED BUILDINGS COVERAGE = 511.60 m²
 PROPOSED GARAGE COVERAGE = 142.68 m²
 PROPOSED BIKE LOCKERS COVERAGE = (2X1.22X3.05) = 7.44 m²
 TOTAL PROPOSED COVERAGE = 661.72 m² = 56.96%

PROJECT SETBACK REQUIREMENTS:

1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF .6m INTO THE FRONT SETBACK AREA)
2. MINIMUM 1.2 m REAR SETBACK
3. MINIMUM 0.60 m SIDE SETBACK WITH A STREET
4. MINIMUM 1.22 m SIDE SETBACK

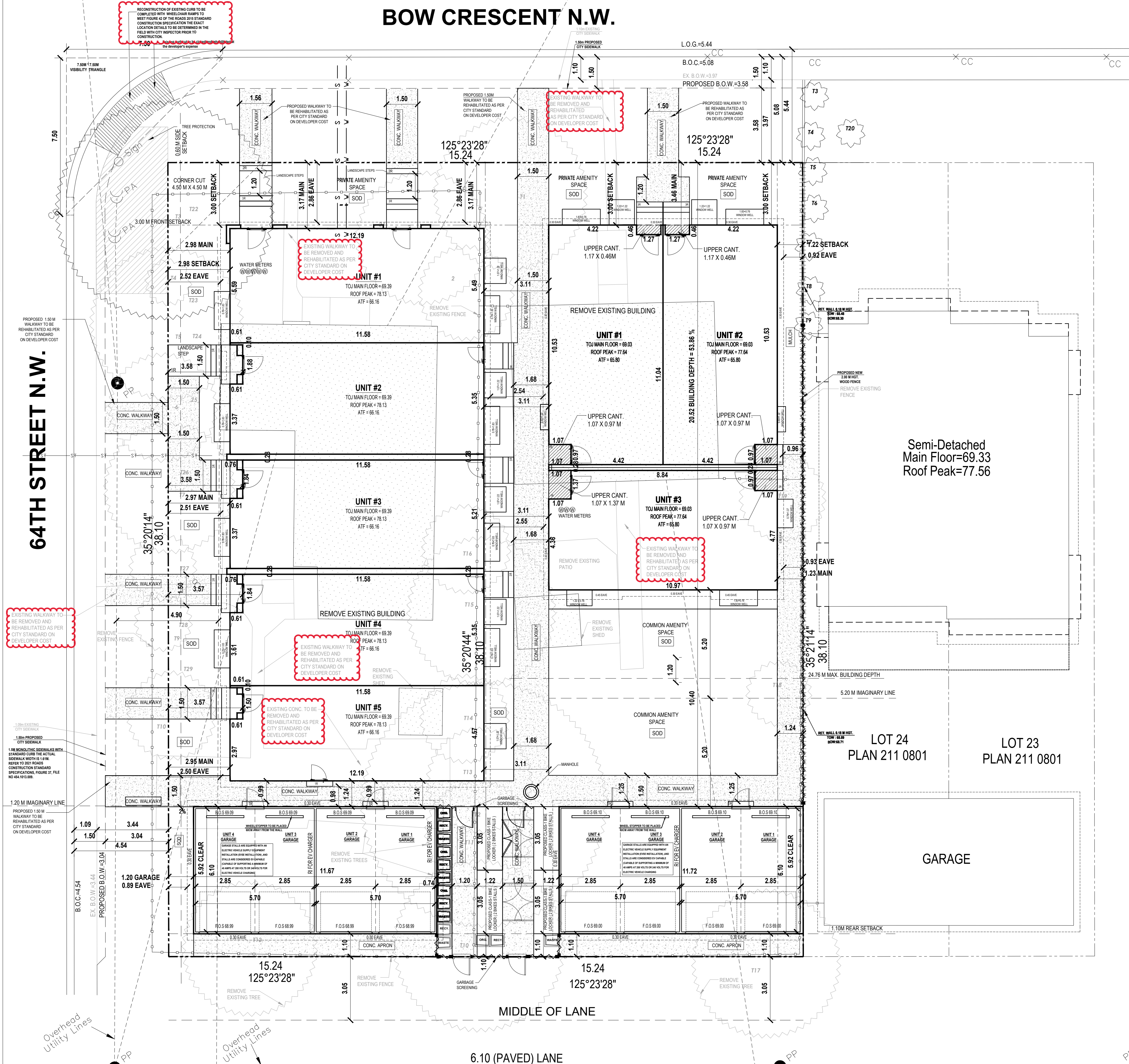
NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

TREE NO.	TREE TYPE	TRUNK (Ø±)	CANOPY (Ø±)	HEIGHT	Location	
T1	DECIDUOUS	0.40	7.00	4.50	In Subject Property	REMOVED
T2	DECIDUOUS	0.55	4.50	4.00	In Subject Property	REMOVED
T3	DECIDUOUS	0.08	1.00	3.00	In city boulevard	REMAINED
T4	DECIDUOUS	0.08	1.00	3.00	In city boulevard	REMAINED
T5	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T6	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T7	DECIDUOUS	0.08	1.00	2.50	In adjacent Property	REMAINED
T8	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T9	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T10	DECIDUOUS	0.35	8.00	7.00	In Subject Property	REMOVED
T11	DECIDUOUS	0.43	5.00	7.00	In Subject Property	REMOVED
T12	DECIDUOUS	0.23	12.0	7.00	In Subject Property	REMOVED
T13	DECIDUOUS	0.22	5.00	7.00	In Subject Property	REMOVED
T14	DECIDUOUS	0.32	4.00	4.00	In Subject Property	REMOVED
T15	DECIDUOUS	0.21	7.00	3.50	In Subject Property	REMOVED
T16	DECIDUOUS	CLUMP.	4.00	3.00	In Subject Property	REMOVED
T17	DECIDUOUS	0.40	7.00	6.00	In Subject Property	REMOVED
T18	DECIDUOUS	0.15	3.00	5.00	In Subject Property	REMOVED
T19	DECIDUOUS	0.20	4.00	5.00	In Subject Property	REMOVED
T20	DECIDUOUS	0.10	1.00	2.00	In city boulevard	REMAINED
T21	DECIDUOUS	0.15	6.00	4.50	In Subject Property	REMOVED
T22	DECIDUOUS	0.70	10.0	8.00	In City boulevard	PROTECTED
T23	DECIDUOUS	0.15	2.00	4.00	On Property line	REMOVED
T24	DECIDUOUS	0.35	7.00	9.00	In city boulevard	REMOVED
T25	DECIDUOUS	0.63	5.00	7.50	In city boulevard	REMOVED
T26	DECIDUOUS	CLUMP.	6.00	4.00	In Subject Property	REMOVED
T27	DECIDUOUS	0.35	3.00	4.50	In City boulevard	REMOVED
T28	DECIDUOUS	CLUMP.	2.50	2.00	In City boulevard	REMOVED
T29	DECIDUOUS	0.55	4.00	5.50	In Subject Property	REMOVED
T30	DECIDUOUS	0.24	6.00	7.00	In Subject Property	REMOVED

BOW CRESCENT N.W.



NOTE :

- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH ANUNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE "SOLAR READY" AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY .FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OFFRIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THECANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

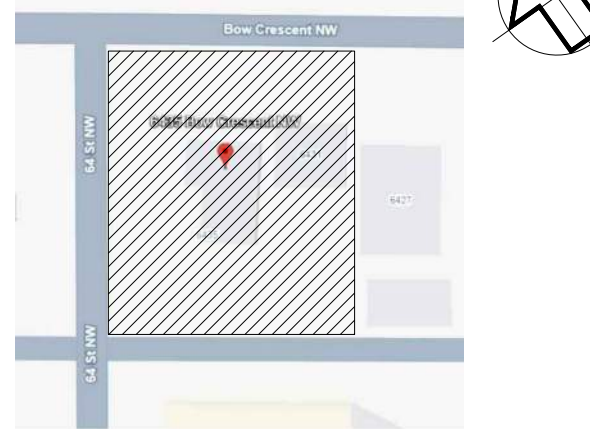
ROADS NOTE :

- REMOVAL OF EXISTING SIDEWALK AND CONSTRUCTION OF A NEW MONOLITHIC SIDEWALK (1.5M) ON 64 STREET NW, INCLUDING NEW CURB AND GUTTER.
- REMOVAL OF EXISTING SIDEWALK AND CONSTRUCTION OF A NEW MONOLITHIC SIDEWALK (1.5M) ON BOW CRESCENT NW, INCLUDING NEW CURB AND GUTTER. (PLEASE NOTE FOR BOTH OF THE ABOVE THAT FOR 1.5 M MONOLITHIC SIDEWALK WITH STANDARD CURB THE ACTUAL SIDEWALK WIDTH IS 1.61M)
- CONSTRUCTION OF A NEW WHEELCHAIR RAMP AT THE SOUTHEAST CORNER OF THE INTERSECTION OF 64 STREET NW AND BOW CRESCENT NW,
- CONSTRUCTION OF NEW DRIVEWAY CROSSINGS ON 64 STREET NW (LANE ACCESS),
- CLOSURE AND REMOVAL OF EXISTING DRIVEWAY CROSSING ON 64 STREET NW,
- CLOSURE AND REMOVAL OF EXISTING DRIVEWAY CROSSING ON BOW CRESCENT NW,
- REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, TREE TRENCHES, CURB AND GUTTER, ETC., SHOULD IT BE DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.



#202 - 4216 10 STREET NE,
CALGARY AB,
T2E 6K3
403.203.1970 FAX: 403.203.1999
info@tricordg.ca
www.tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D
01	2026-04-22	DTR REVISION 01	R.N. / N.F	T.J.

ISSUES

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD
01	2025-12-11	DEVELOPMENT PERMIT SET	E.R.	T.I.

THE CLIENT :

KOZEE HOMES LTD

PROJECT :

8-PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 AND 18; BLOCK 4; PLAN 4610 A

DRAWING SET :

DEVELOPMENT PERMIT SET

**PROJECT TITLE: PROPOSED & EXISTING
SITE PLAN**

DRAWING NO.

A-002

PROJECT NO. : 25-01840	CHECKED BY: T.I	DATE: 2026-04-22
	DRAWN BY: E.P	SCALE: 1:100

SITE - PLAN-A

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

6431 & 6435 - BOW CRESCENT N.W. , CALGARY, ALBERTA

LEGAL ADDRESS:-

LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

ZONNING:- R-CG

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof

COVERAGE CALCULATION:
LOT AREA = 1161.71 m²
MAXIMUM COVERAGE (60%) = 697.03 m²
PROPOSED BUILDING (5PLEX) COVERAGE = 320.48 m²
PROPOSED BUILDING (3PLEX) COVERAGE = 191.12 m²
PROPOSED BUILDINGS COVERAGE = 511.60 m²
PROPOSED GARAGE COVERAGE = 142.68 m²
PROPOSED BIKE LOCKERS COVERAGE = (2X1.22X3.05) = 7.44 m²
TOTAL PROPOSED COVERAGE = 661.72 m² = 56.96%

PROPOSED SETBACK REQUIREMENTS:

1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.

(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF .6m INTO THE FRONT SETBACK AREA)

2. MINIMUM 1.2 m REAR SETBACK

3. MINIMUM 0.60 m SIDE SETBACK WITH A STREET

4. MINIMUM 1.22 m SIDE SETBACK

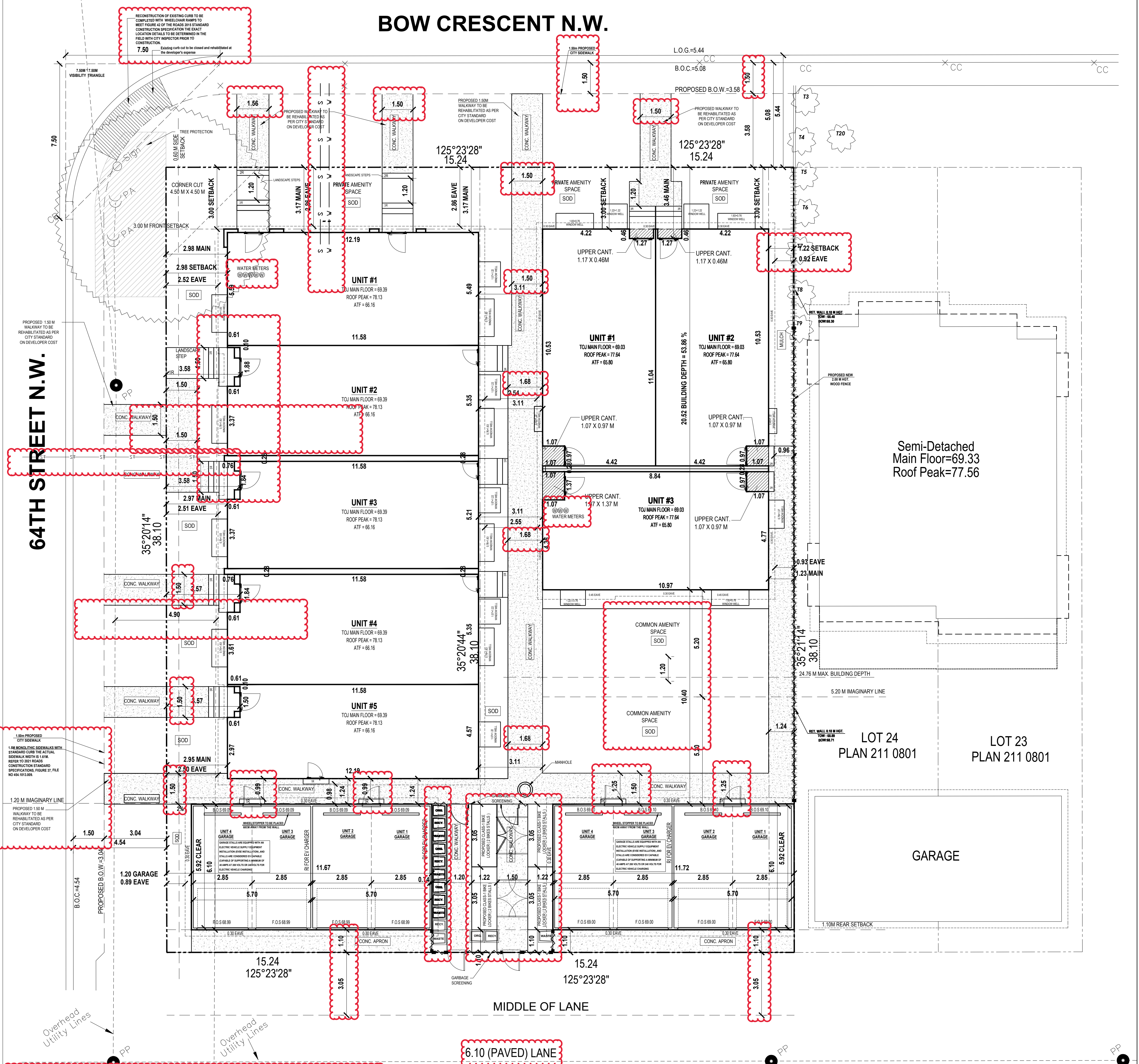
NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

TREE SCHEDULE

TREE NO.	TREE TYPE	TRUNK (Øs)	CANOPY (Øs)	HEIGHT	Location	
T1	DECIDUOUS	0.40	7.00	4.50	In Subject Property	REMOVED
T2	DECIDUOUS	0.55	4.50	4.00	In Subject Property	REMOVED
T3	DECIDUOUS	0.08	1.00	3.00	In city boulevard	REMAINED
T4	DECIDUOUS	0.08	1.00	3.00	In city boulevard	REMAINED
T5	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T6	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T7	DECIDUOUS	0.08	1.00	2.50	In adjacent Property	REMAINED
T8	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T9	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T10	DECIDUOUS	0.35	8.00	7.00	In Subject Property	REMOVED
T11	DECIDUOUS	0.43	5.00	7.00	In Subject Property	REMOVED
T12	DECIDUOUS	0.23	12.0	7.00	In Subject Property	REMOVED
T13	DECIDUOUS	0.22	5.00	7.00	In Subject Property	REMOVED
T14	DECIDUOUS	0.32	4.00	4.00	In Subject Property	REMOVED
T15	DECIDUOUS	0.21	7.00	3.50	In Subject Property	REMOVED
T16	DECIDUOUS	CLUMP.	4.00	3.00	In Subject Property	REMOVED
T17	DECIDUOUS	0.40	7.00	6.00	In Subject Property	REMOVED
T18	DECIDUOUS	0.15	3.00	5.00	In Subject Property	REMOVED
T19	DECIDUOUS	0.20	4.00	5.00	In Subject Property	REMOVED
T20	DECIDUOUS	0.10	1.00	2.00	In city boulevard	REMAINED
T21	DECIDUOUS	0.15	6.00	4.50	In Subject Property	REMOVED
T22	DECIDUOUS	0.70	10.0	8.00	In City boulevard	PROTECTED
T23	DECIDUOUS	0.15	2.00	4.00	On Property line	REMOVED
T24	DECIDUOUS	0.35	7.00	9.00	In city boulevard	REMOVED
T25	DECIDUOUS	0.63	5.00	7.50	In city boulevard	REMOVED
T26	DECIDUOUS	CLUMP.	6.00	4.00	In Subject Property	REMOVED
T27	DECIDUOUS	0.35	3.00	4.50	In City boulevard	REMOVED
T28	DECIDUOUS	CLUMP.	2.50	2.00	In City boulevard	REMOVED
T29	DECIDUOUS	0.55	4.00	5.50	In Subject Property	REMOVED
T30	DECIDUOUS	0.24	6.00	7.00	In Subject Property	REMOVED



NOTE:
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES BUILDING READY FOR SOLAR PANEL INSTALLATION.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY. -FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

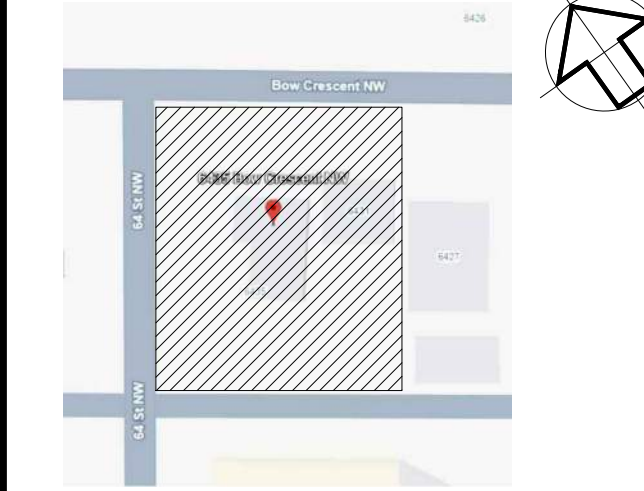
ROADS NOTE:
- REMOVAL OF EXISTING SIDEWALK AND CONSTRUCTION OF A NEW MONOLITHIC SIDEWALK (1.5M) ON 64 STREET NW, INCLUDING NEW CURB AND GUTTER.
- REMOVAL OF EXISTING SIDEWALK AND CONSTRUCTION OF A NEW MONOLITHIC SIDEWALK (1.5M) ON BOW CRESCENT NW, INCLUDING NEW CURB AND GUTTER. (PLEASE NOTE FOR BOTH OF THE ABOVE THAT FOR 1.5 M MONOLITHIC SIDEWALK WITH STANDARD CURB THE ACTUAL SIDEWALK WIDTH IS 1.61M)
- CONSTRUCTION OF A NEW WHEELCHAIR RAMP AT THE SOUTHEAST CORNER OF THE INTERSECTION OF 64 STREET NW AND BOW CRESCENT NW,
- CONSTRUCTION OF NEW DRIVEWAY CROSSINGS ON 64 STREET NW (LANE ACCESS),
- CLOSURE AND REMOVAL OF EXISTING DRIVEWAY CROSSING ON 64 STREET NW,
- CLOSURE AND REMOVAL OF EXISTING DRIVEWAY CROSSING ON BOW CRESCENT NW,
- REHABILITATION OF EXISTING DRIVEWAY CROSSINGS, SIDEWALKS, TREE TRENCHES, CURB AND GUTTER, ETC., SHOULD IT BE DEEMED NECESSARY THROUGH A SITE INSPECTION BY ROADS PERSONNEL.

DESIGNED BY:



#202 - 4216 10 STREET NE,
CALGARY AB,
T2E 6K3
P: 403.203.1970 FAX: 403.203.1990
info@tricordesigns.com
www.tricordesigns.com

KEY PLAN



NOTES

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NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-04-22	DTR REVISION 01	R.N./N.F.	T.I.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-12-11	DEVELOPMENT PERMIT SET	E.R.	T.I.

THE CLIENT:

KOZEE HOMES LTD

PROJECT:

8-PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED SITE PLAN

DRAWING NO.

A-003

PROJECT NO.:

25-01840

CHECKED BY:

T.I.

DATE:

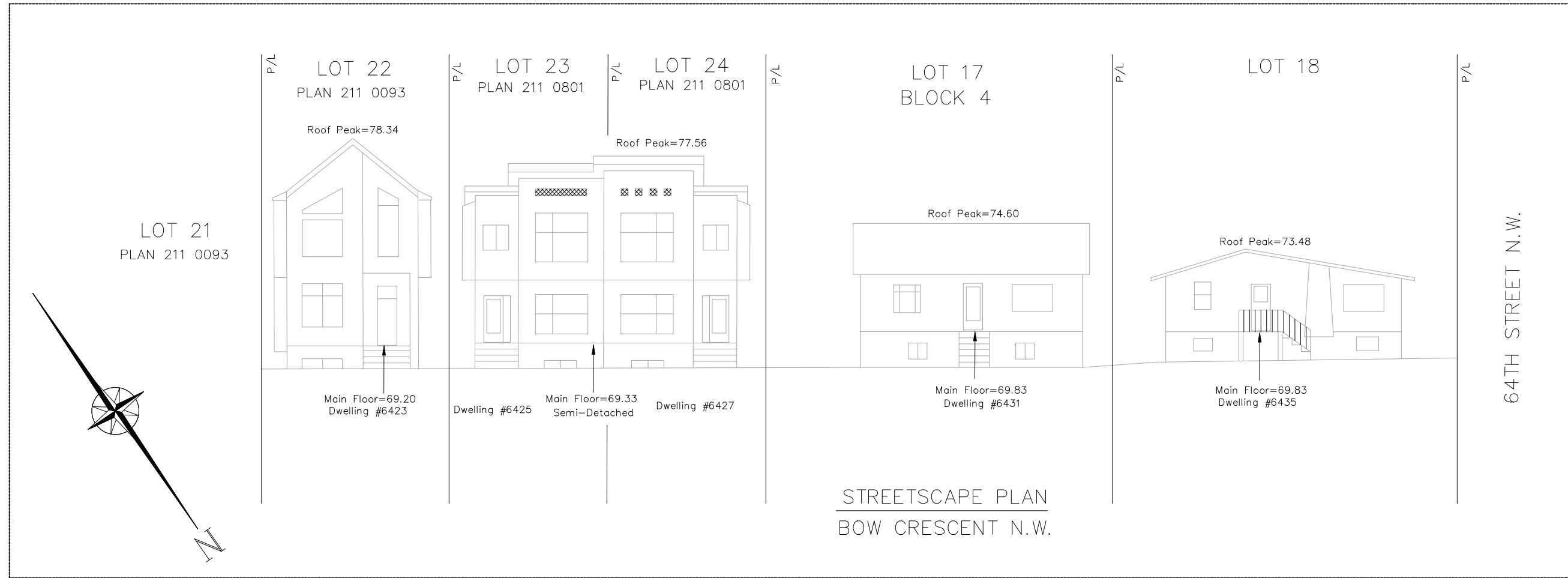
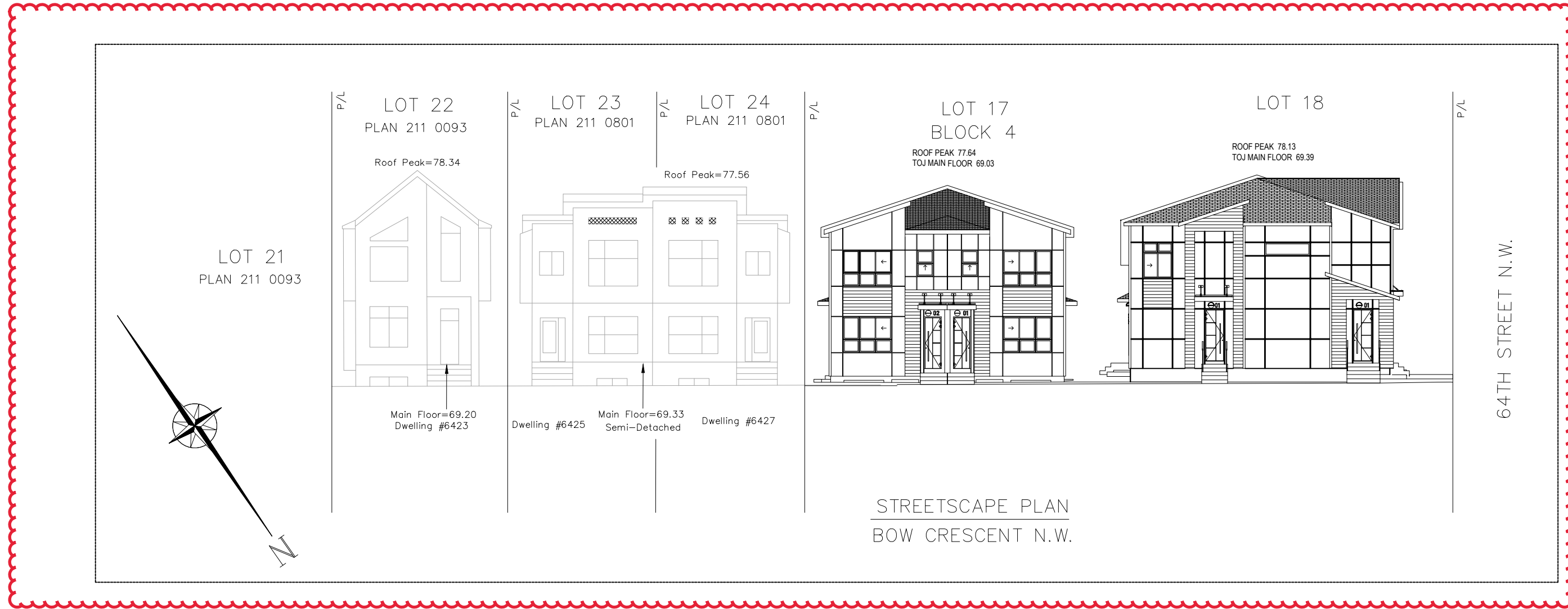
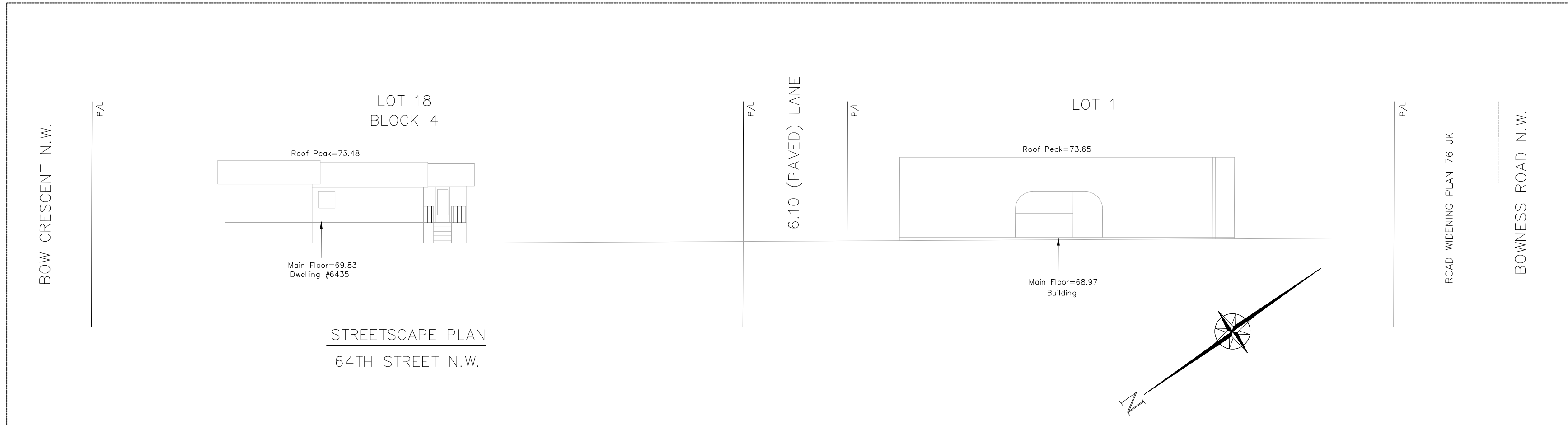
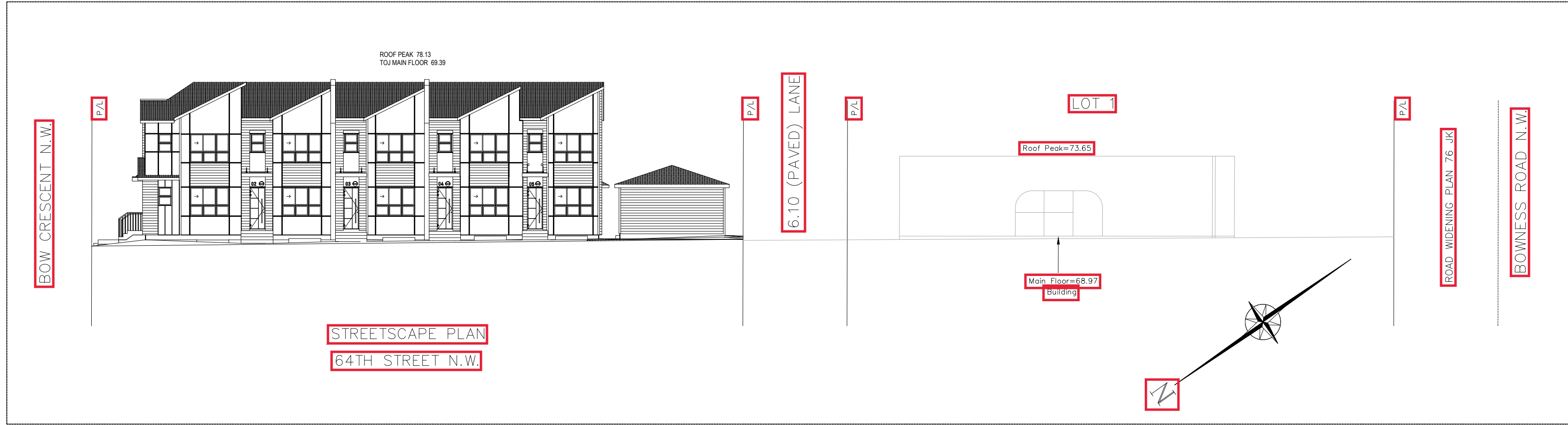
2026-04-22

DRAWN BY:

E.R.

SCALE:

1:100

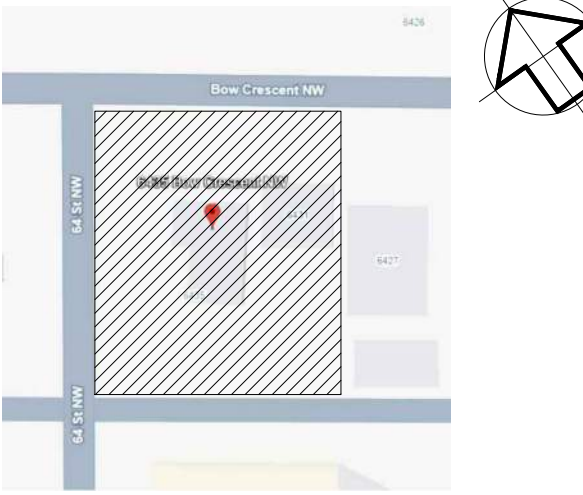


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ISSUES:

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01	2026-12-11	DEVELOPMENT PERMIT SET	E.R.	T.J.

THE CLIENT :

KOZEE HOMES LTD

PROJECT :

8-PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED
STREETSCAPE

DRAWING NO.

A-005

PROJECT NO.:

25-01840

CHECKED BY:

T.J.

DATE:

2026-04-22

DRAWN BY:

E.R.

SCALE:

1:200

LANDSCAPE CALCULATIONS

542.2- PLANTING REQUIREMENTS

- 1) Trees required by this section:
- a) may be provided though the planting of new trees or the preservation of existing trees; and
- b) where approved by the Development Authority, may be provided on a boulevard adjacent to the parcel.
- 2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square meters of parcel area.
- 3) Shrubs must be a minimum height or spread of 0.6 metres at the time of planting.
- 4) The requirement for the provision of 1.0 tree is met where:
- a) a deciduous tree has a minimum calliper of 60 millimetres; or
- b) a coniferous tree has a minimum height of 2.0 metres.
- 5) The requirement for the provision of 2.0 trees is met where:
- a) a deciduous tree has a minimum calliper of 85 millimetres; or
- b) a coniferous tree has a minimum height of 4.0 metres.
- 6) The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100 millimeters is preserved.
- 7) For landscaped areas with a building below, planting areas must have the following minimum soil depths:
- a) 1.2 metres for trees;
- b) 0.6 metres for shrubs; and
- c) 0.3 metres for all other planting areas.
- 8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.
- 9) All plant materials must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association.

THEREFORE MINIMUM PLANTING REQUIRED ARE:

1161.712 m² / 110 m² = 10.56 = 11 TREES & 33 SHRUBS

BROKEN DOWN AS:

6 DECIDUOUS

5 CONIFEROUS

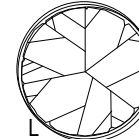
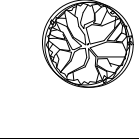
33 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

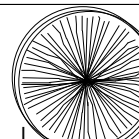
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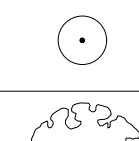
6 DECIDUOUS

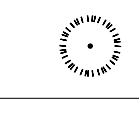
5 CONIFEROUS

36 SHRUBS (Shrubs must be a minimum height or spread of 0.6 meters at the time of planting)

QTY	KEY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES						
02	PC		PIN CHERRY	PRUNUS PENNSYLVANICA	85mm CAL.	
04	S		SWEDISH COLUMNAR ASPEN	Populus tremula 'Erecta'	80mm CAL.	

CONIFEROUS TREES						
05	BS		BLUE SPRUCE	PICEA PUNGENS	3.0M HGT.	

DECIDUOUS SHRUBS						
09	RC		RUBY CAROUSEL JAPANESE BARBERRY	BERBERIS THUNBERGII 'BAILONE'	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD
05	CL		LILAC	SYRINGA SPP.	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

CONIFEROUS SHRUBS						
22	SJ		JUNIPER	JUNIPERUS SPP.	#05 CONT.	MINIMUM 0.6m HEIGHT OR SPREAD

IRRIGATION SYSTEM:
Underground Standard Irrigation System to be used, which includes:

(a) a rain sensor or a soil moisture sensor.

(b) a flow sensor for leak detection; and

(c) a master valve to secure the system if a leak is detected.

NOTE:

- ALL SOFT SURFACED LANDSCAPED AREA MUST BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM, UNLESS OTHERWISE PROVIDED BY A LOW WATER IRRIGATION SYSTEM.

- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES

- MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS

EXISTING TREE						
T22	DECIDUOUS	0.70	10.0	8.00	In City boulevard	PROTECTED

LOT AREA:1161.71 m²

LOT ZONING: R-CG

1.BUILDINGS COVERAGE = 661.72 m² = 56.96 % OF LOT AREA

PROPOSED BUILDINGS AREA = 511.60 m² or 44.04 % OF LOT AREA

PROPOSED GARAGES AREA = 142.68 m² or 12.28 % OF LOT AREA

PROPOSED BIKE LOCKERS (CONCRETE BASE) = 7.44 m² or 0.64 % OF LOT AREA

2.NON- LANDSCAPE AREA = 53.22 m² = 4.58 % OF LOT AREA

CONCRETE APRON = 25.48 m² = 47.11 % OF NON-LANDSCAPE AREA

WINDOW WELLS = 27.74 m² = 52.89 % OF NON-LANDSCAPE AREA

3.LANDSCAPE AREA = 446.77 m² = 38.46 % OF LOT AREA

3.1 HARD-LANDSCAPE = 217.45 m² = 48.67 % OF LANDSCAPE AREA

EXPOSED AGGREGATED CONCRETE WALKWAYS =145.38 m² = 66.85% OF HARD-LANDSCAPE AREA

BIKE LOCKERS (CONCRETE BASE) = 7.44 m² = 3.42 % OF HARD-LANDSCAPE

WOOD ENTRANCE STEPS = 11.45 m² = 5.26 % OF HARD-LANDSCAPE AREA

CONCRETE ENTRANCE STEPS = 17.09 m² = 7.85 % OF HARD-LANDSCAPE AREA

WASTE/RECYCLE (CONC. BASE) = 8.12 m² = 3.73 % OF HARD-LANDSCAPE AREA

SITTING AREA (PERMEABLE PAVERS) = 16.68 m² = 7.67 % OF HARD-LANDSCAPE AREA

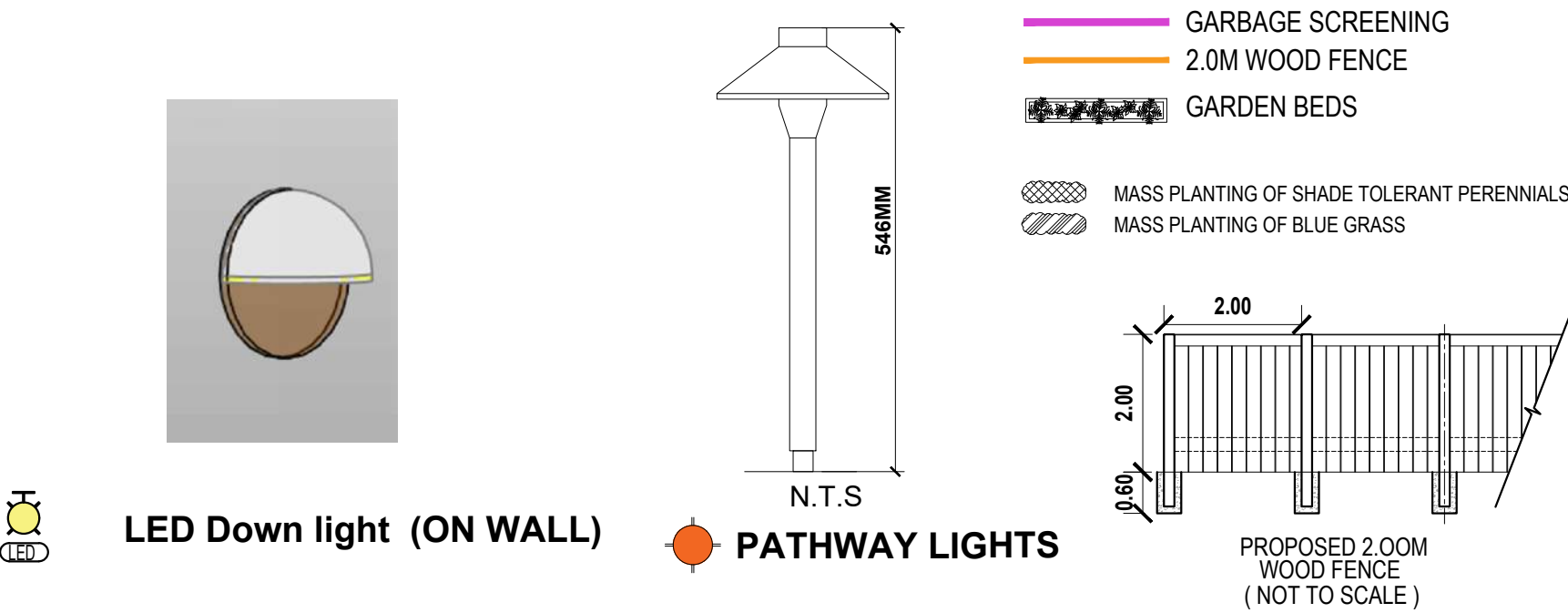
CONC. LANDSCAPE STEPS = 8.75 m² = 4.02 % OF HARD-LANDSCAPE AREA

3.2 SOFT-LANDSCAPE= 229.32 m² = 51.32 % OF LANDSCAPE AREA

S.O.D = 197.51 m² = 86.12% OF SOFT-LANDSCAPE AREA

MULCH =31.81 m² = 24.09 % OF SOFT-LANDSCAPE AREA

LIGHTING LEGEND:



PATHWAY LIGHTS DETAILS SPECIFICATIONS:

MATERIAL: Solid Cast Brass

DIMENSIONS: 21.5" X 6.5"

WEIGHT: 2.35 LBS

SOCKET: Beryllium Copper Pre-Greased

WATTAGE: MAX. 20 Watts

LENS: Clear Tempered Glass

VOLTAGE: 12V

LED Down light (ON WALL) SPECIFICATIONS:

MATERIAL: Solid Cast Brass

DIMENSIONS: 20" - 30" X 5.98"

WEIGHT: 1.4 LBS

SOCKET: Beryllium Copper Pre-Greased

WATTAGE: MAX. 10 Watts

LENS: Clear Tempered linear Glass

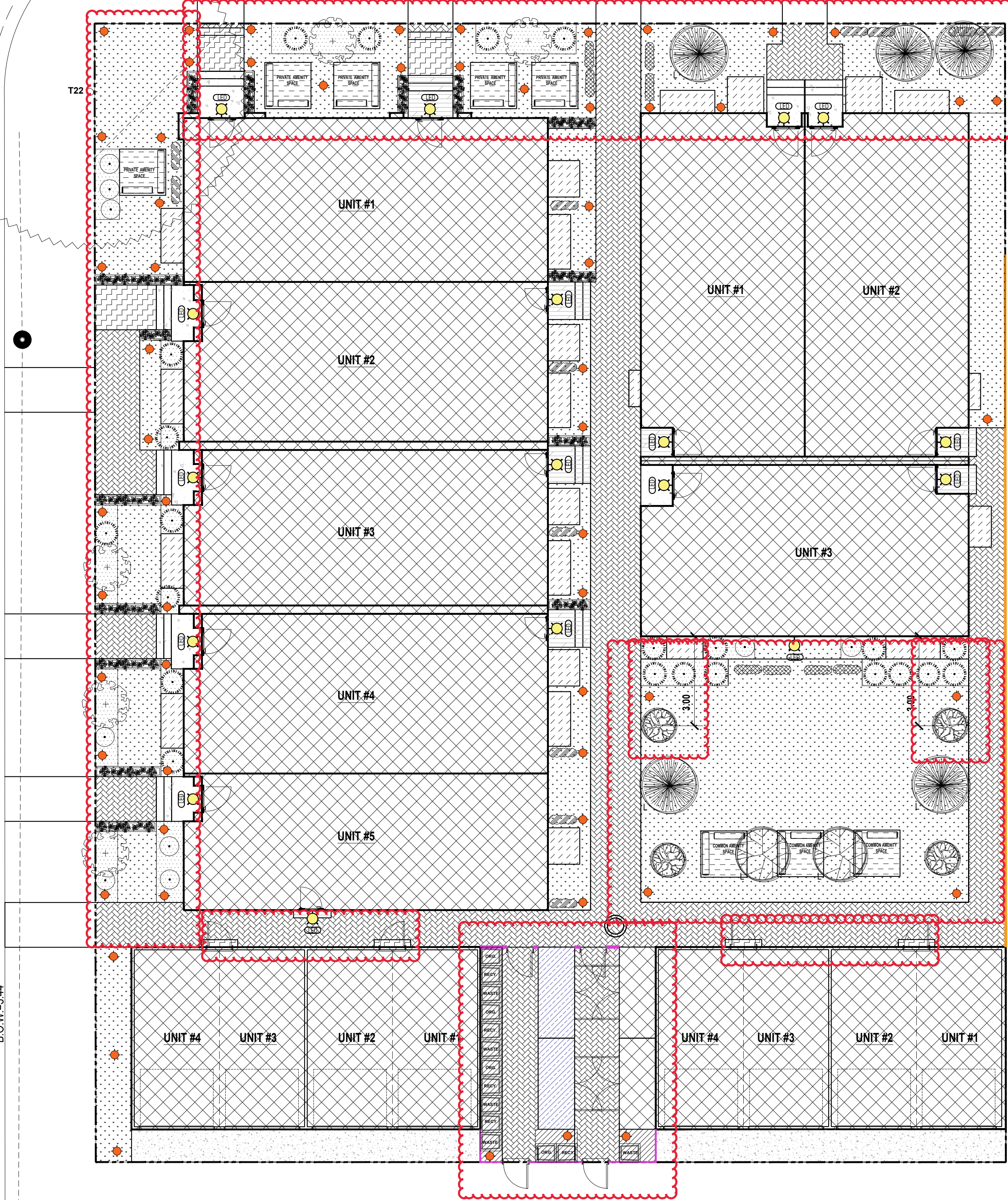
VOLTAGE: 12V

BOW CRESCENT N.W.

L.O.G.=5.44

B.O.C.=5.08

B.O.W.=3.97



MIDDLE OF LANE

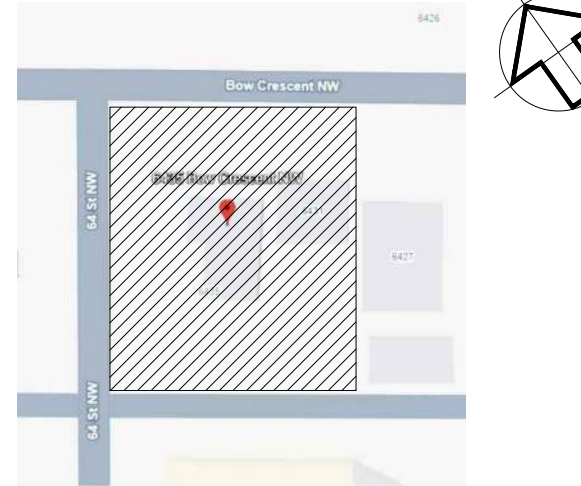
6.10 (PAVED) LANE

DESIGNED BY:



#202 - 4216 16 STREET NE.
CALGARY, AB.
T2E 6K3
P. 403.203.1970 FAX: 403.203.1990
info@tricordesign.ca
www.tricordesign.ca

KEY PLAN



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AUTHORITIES HAVING JURISDICTION.

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REVISONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
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01	2026-04-22	DTR REVISION 01	R.M./N.F.	T.J.
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ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
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01	2025-12-11	DEVELOPMENT PERMIT SET	E.R.	T.J.
----	------------	------------------------	------	------

THE CLIENT :

KOZEE HOMES LTD

PROJECT :

8-PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED LANDSCAPE
PLAN

DRAWING NO.

A-006

PROJECT NO. :

25-01840

CHECKED BY:

T.J.

DATE:

2026-04-22

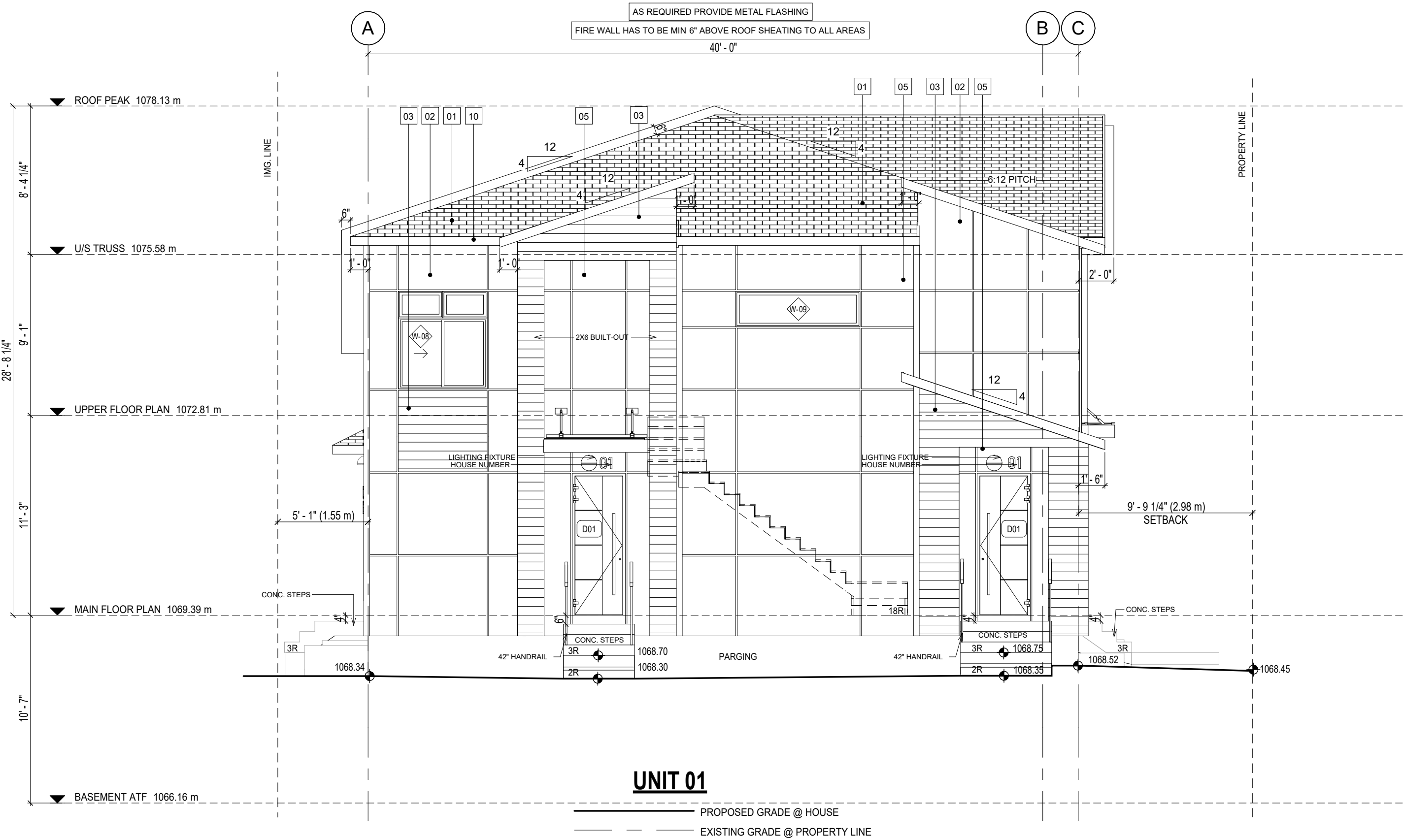
DRAWN BY:

E.R.

SCALE:

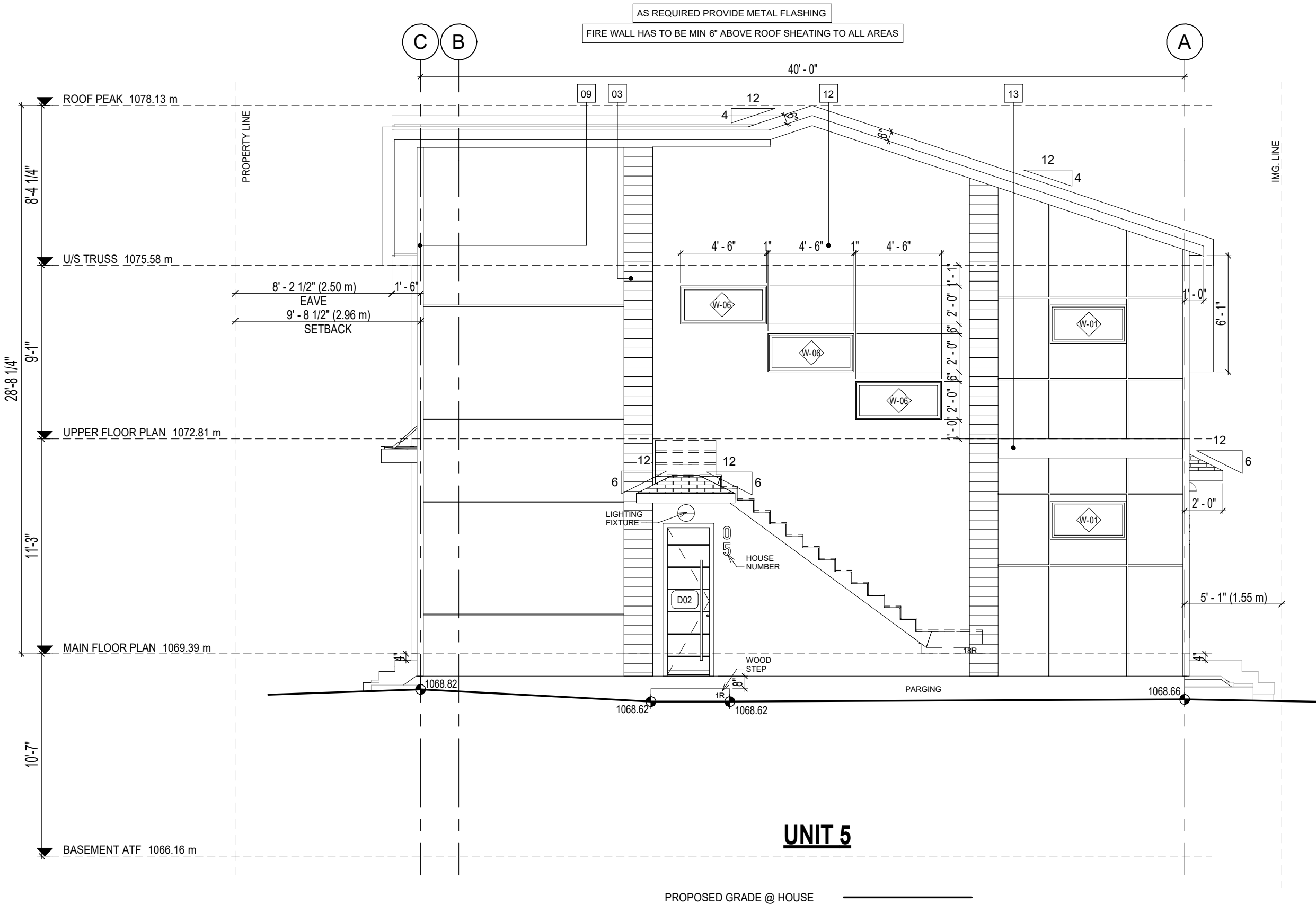
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ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	STUCCO LIGHT GRAY
03	HORIZONTAL SIDING - HARDIE (LUX PANELS)
04	BOARD AND BATTEN WHITE
05	STUCCO DARK GRAY
07	4" TRIM
08	2" BATTEN WHITE
09	CORNER BOARD 4"
10	PRE-FINISHED METAL FASCIA
12	STUCCO CLADDING LIGHT GRAY
13	SHADOW BOARD



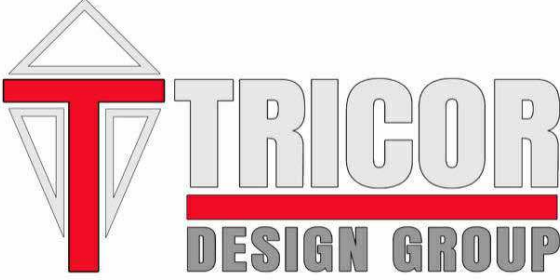
1 PROPOSED FRONT (NORTH WEAST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS REAR ELEV INC.DOOR			
CODE CHECK			
EXPOSED BUILDING FACE	88.06 SQ. FT.	84.36 SQ.M ²	
MINIMUM SETBACK	4'-0.34"	1.24 M	
PERCENTAGE OF ALLOWED OPENINGS	7.13%		
SQ. FTG. OF ALLOWED OPENINGS	64.74 SQ. FT.	6.01 SQ.M ²	
ACTUAL SQ. FTG. OF OPENINGS	64.33 SQ. FT.	5.98 SQ.M ²	
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	32.37 SQ. FT.	3.01 SQ.M ²	



2 PROPOSED REAR (SOUTH EAST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

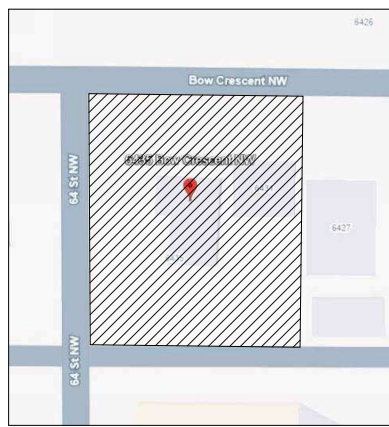


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FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

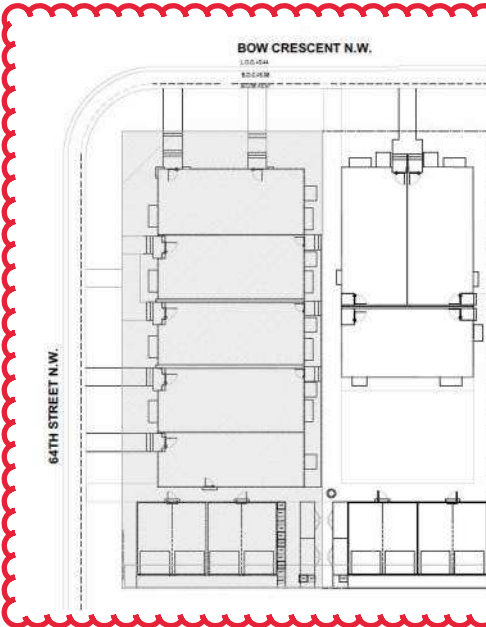
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-22	DTR	N.F.R.N	
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I.	
02				
03				
04				
05				



THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17&18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-201

PROJECT NO. :

CHECKED BY:

DATE:

E.Z.

2026-04-22

25-01840

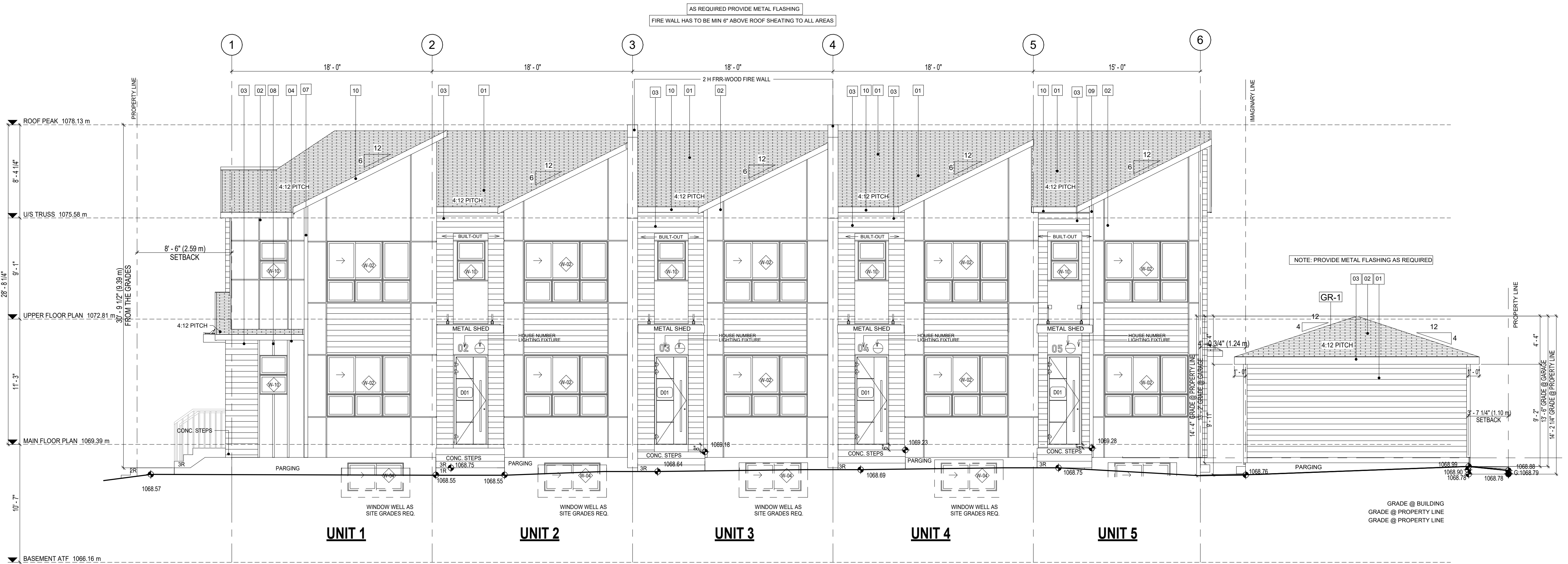
DRAWN BY:

SCALE:

T.I.

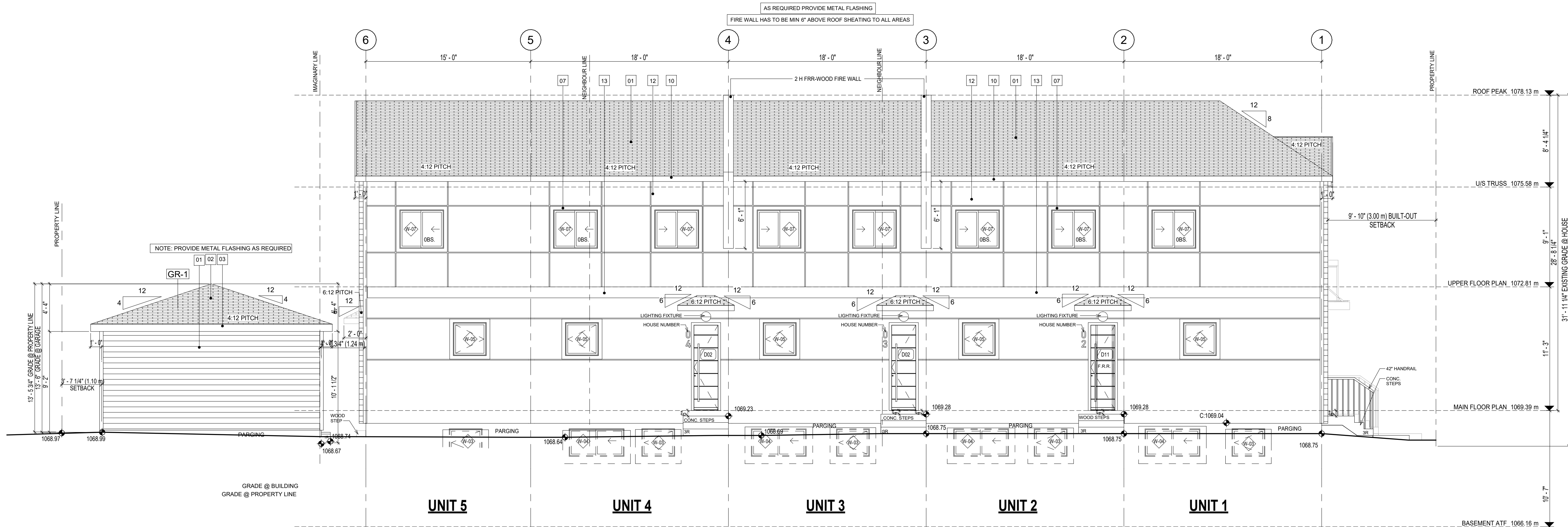
3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	STUCCO LIGHT GRAY
03	HORIZONTAL SIDING - HARDIE (LUX PANELS)
04	BOARD AND BATTEN WHITE
05	STUCCO DARK GRAY
07	4" TRIM
08	2" BATTEN WHITE
09	CORNER BOARD 4"
10	PRE-FINISHED METAL FASCIA
12	STUCCO CLADDING LIGHT GRAY
13	SHADOW BOARD



1 PROPOSED RIGHT (NORTH EAST) ELEVATION
3/16" = 1'-0"

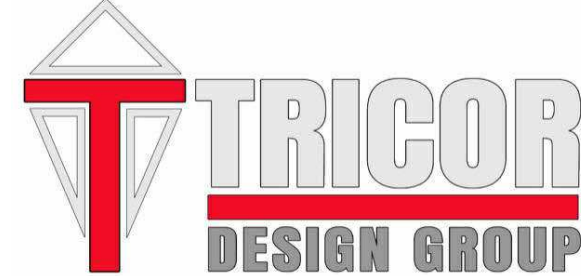
UNPROTECTED OPENINGS LEFT ELEV.		
		INCLUDING 2 DOORS
CODE CHECK	1962.37 SQ. FT.	192.31 SQ.M ²
EXPOSED BUILDING FACE	10'-2 1/2"	3.11M
MINIMUM SETBACK	10.22%	
PERCENTAGE OF ALLOWED OPENINGS	200.55 SQ. FT.	18.63 SQ.M ²
SQ. FTG. OF ALLOWED OPENINGS	199.67 SQ. FT.	18.55 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	100.28 SQ. FT.	9.32 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)		



2 PROPOSED LEFT (SOUTH WEAST) ELEVATION
3/16" = 1'-0"

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE

DESIGNED BY:

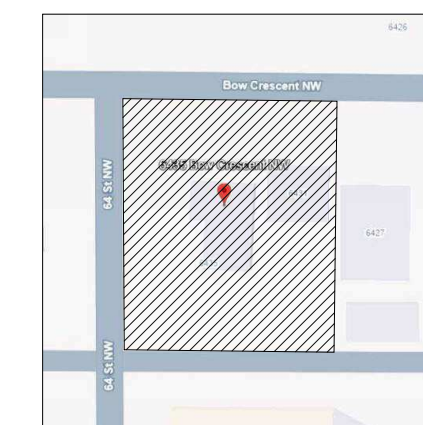


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CALGARY, AB
AB T2E 6K3

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EMAIL: info@tricorgp.ca

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-21	DTR	N.F.R.N	
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I.	
02				
03				
04				
05				

THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17&18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-202

PROJECT NO. :

CHECKED BY:

DATE:

E.Z.

2026-04-21

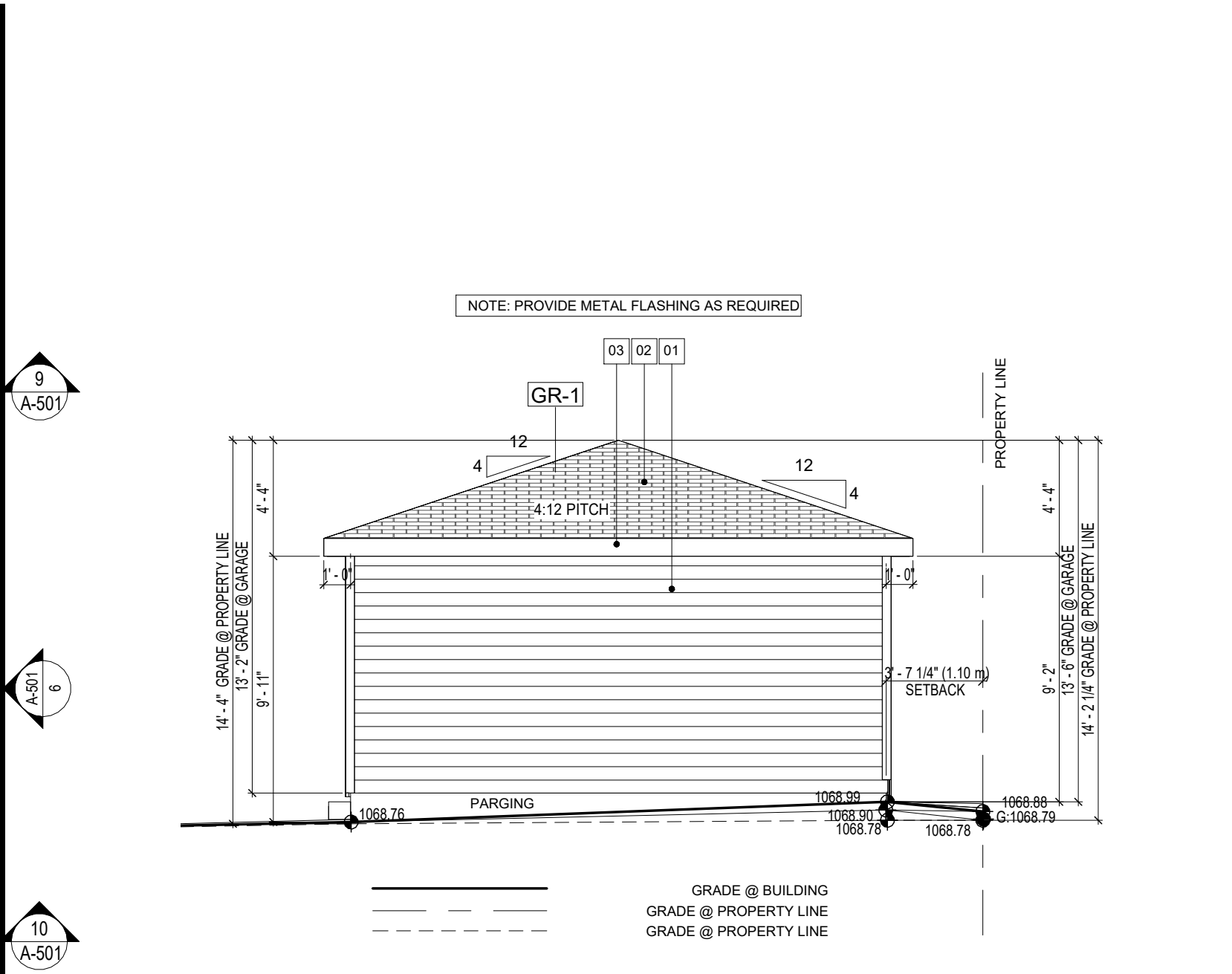
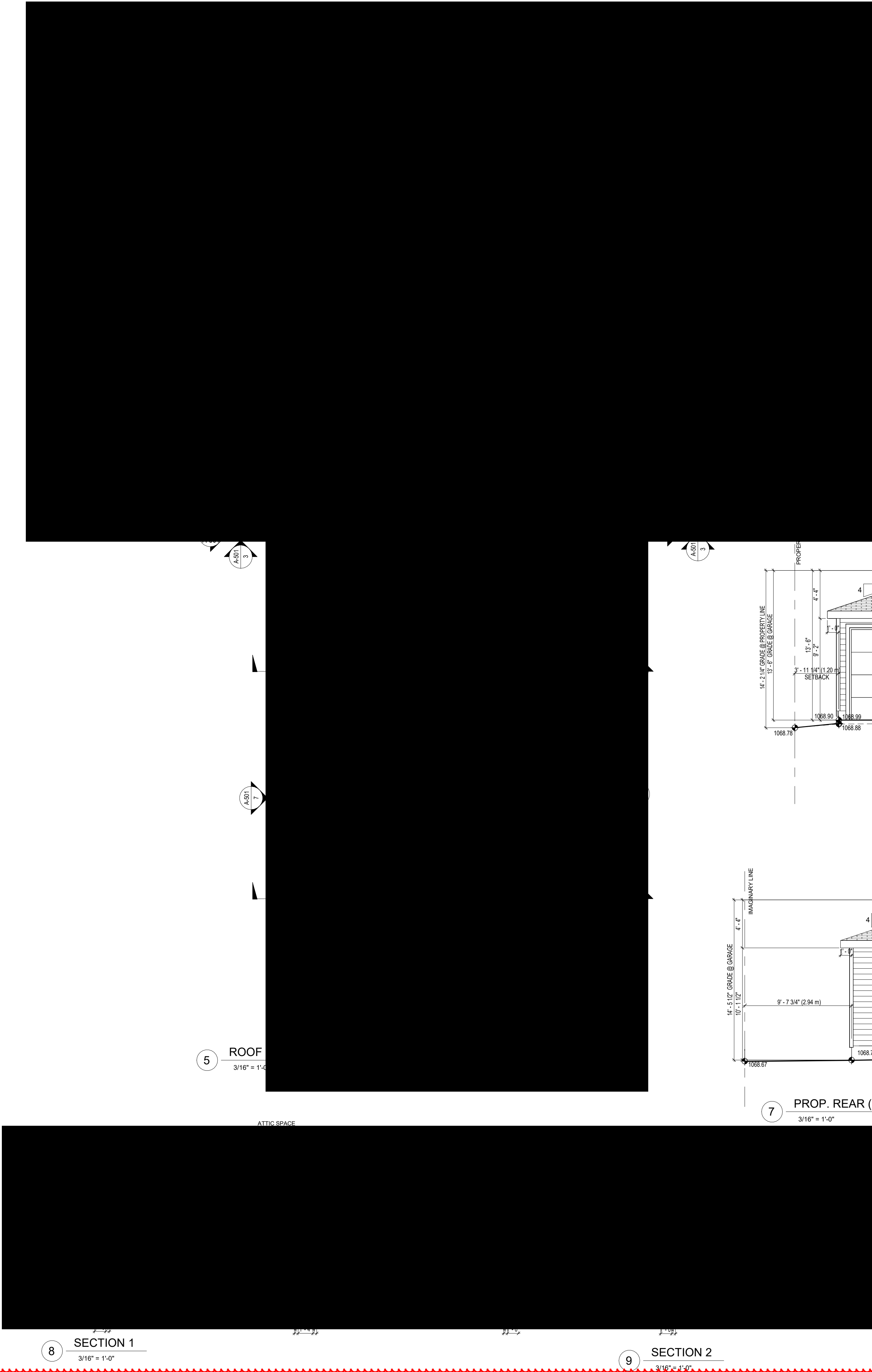
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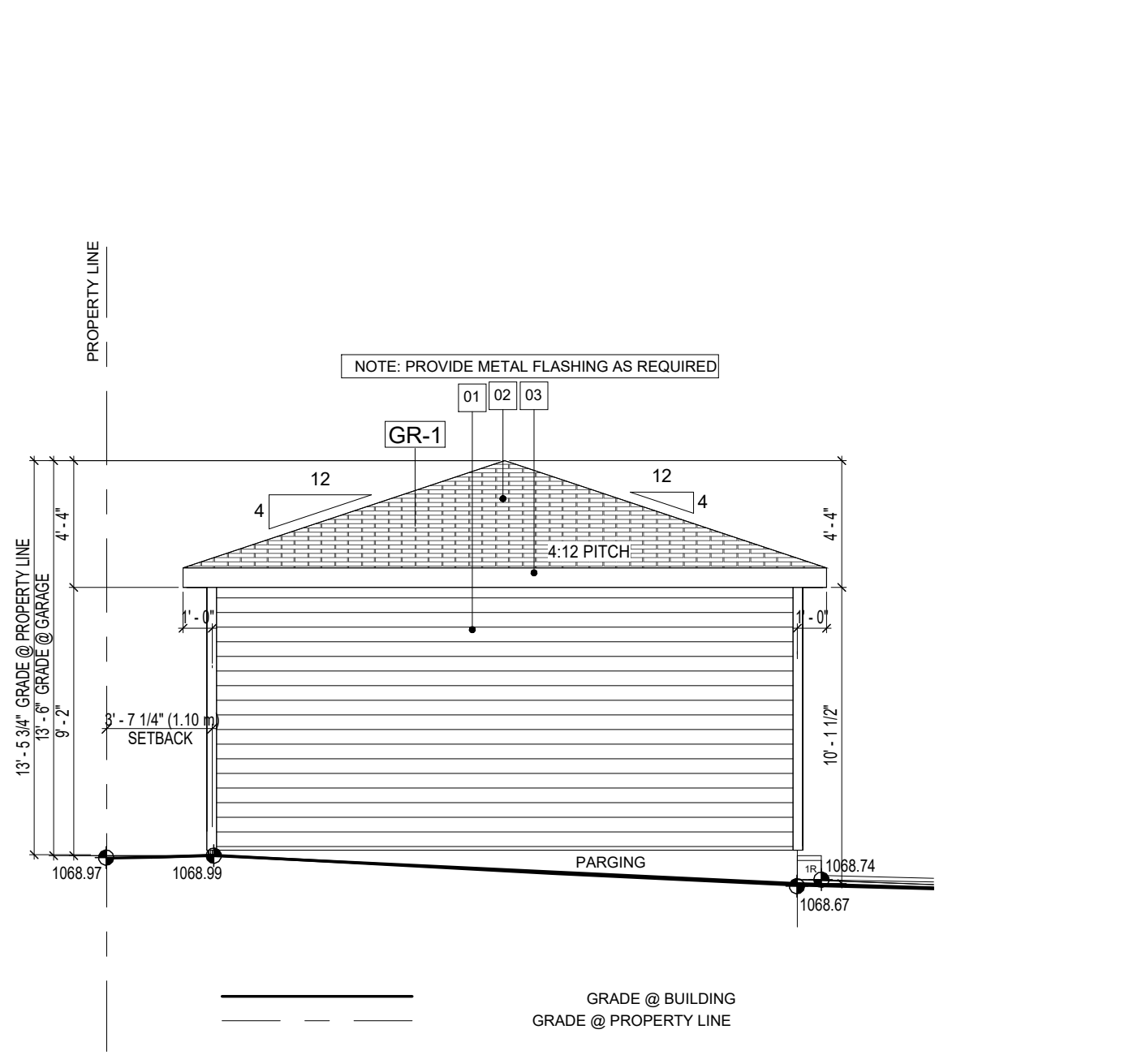
SCALE:

T.I.

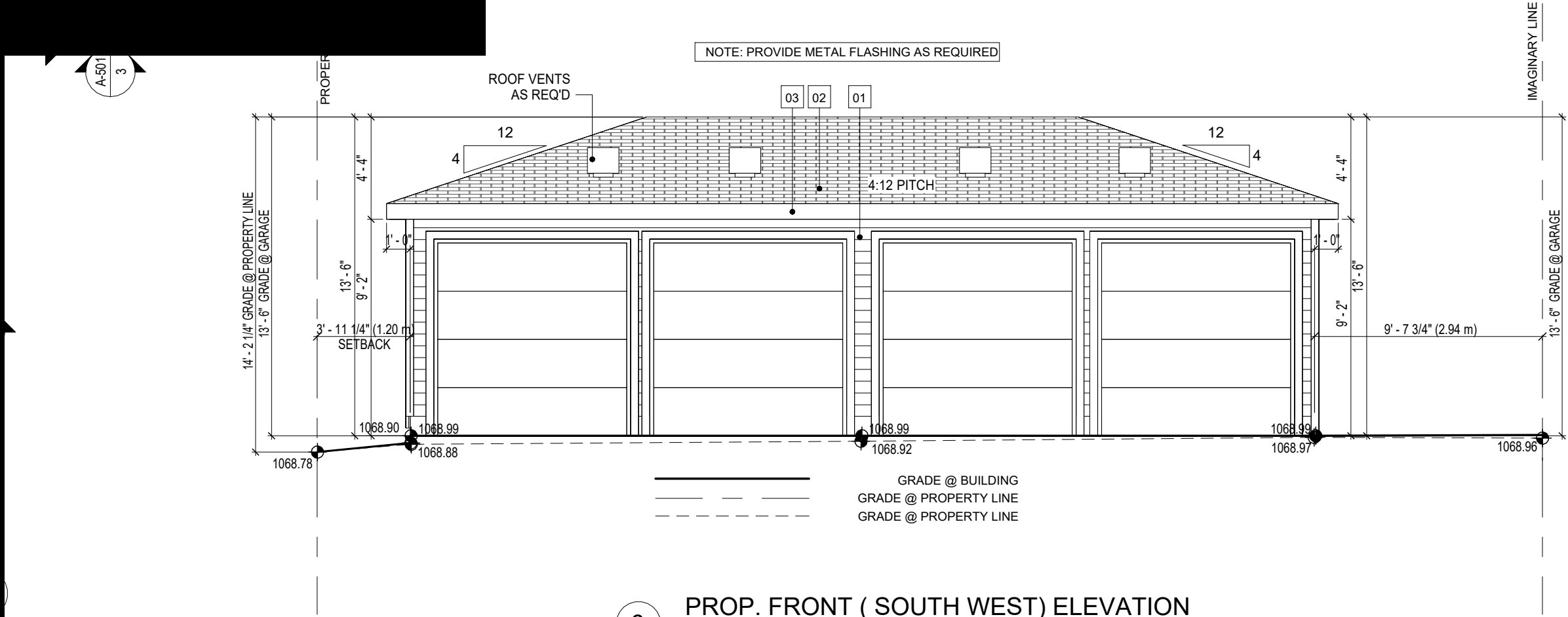
3/16" = 1'-0"



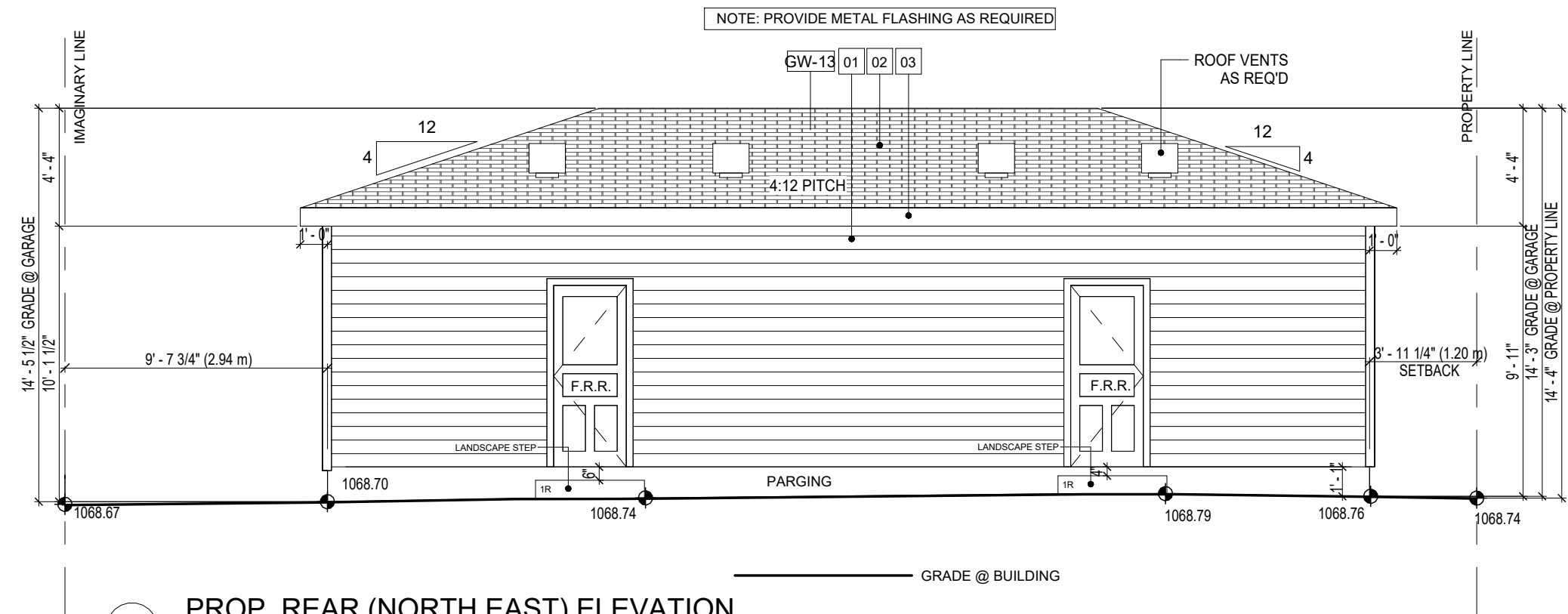
3 PROP. RIGHT (SOUTH EAST) ELEVATION
3/16" = 1'-0"



4 LEFT (NORTH WEST) ELEVATION
3/16" = 1'-0"



6 PROP. FRONT (SOUTH WEST) ELEVATION
3/16" = 1'-0"



7 PROP. REAR (NORTH EAST) ELEVATION
3/16" = 1'-0"

NOTE
GARAGE TO BE BUILT AS PER VARIANCE (SPV003)

GR-1

ROOF AND CEILINGS
-ASPHALT SHINGLE ROOFING AS SPEC'D
-BUILDING PAPER
-1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT.
-APPROVED WOOD TRUSSES @ 24" O/C
(EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL)(2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
-ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
-MIN R35 LOOSE FILL/ OR CELLULOSE INSUL.
-VAPOUR BARRIER (6 MIL POLY)
-5/8" TYPE 'X' DRYWALL

GF-4

GARAGE SLAB
4" DURACRETE CONC. SLAB
5" COMP. GRAVEL (SLOPE 4")
(EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)

GW-13

EXTERIOR WALLS AS PER SPV 003
UL U465, ULC W415 1-HOUR
- 1-LAYER 5/8" (15.9MM) TYPE X EXTERIOR GYPSUM BOARD OR THE EQUIVALENT TO PROVIDE A MINIMUM 45 MIN FIRE RESISTANCE RATING (FRR) WITH ALL VERTICAL JOINTS FULLY SUPPORTED.
- SINGLE PLY AIR BARRIER
- MINIMUM 38MM X 89MM (2" X 4") WOOD STUDS AT A MAXIMUM SPACING OF 400MM (16") ON CENTRE.
- EXTERIOR WALL STUD CAVITIES TO BE FILLED WITH MINERAL FIBER INSULATION CONFORMING TO CAN/ULC-S702, HAVING A MASS NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE.
- A SINGLE PLY 6MIL (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CGSB-61.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3 OF DIVISION B OF THE NBC - AE
- INTERIOR SHEATHING TO CONSIST OF 1 LAYER 5/8" (15.9MM) TYPE X GYPSUM BOARD OR EQUIVALENT.

W-7

(W13-A) 1HR FRR STC-57
- 5/8" TYPE 'X' DRYWALL
- 6 MIL POLY V-B
- 2X4 STUDS ON EDGE @ 24" OC
- 6 MIL POLY V-B
- 5/8" TYPE 'X' DRYWALL
NOTE
- SOIL BEARING CAPACITY 2000 # FT²
- DOORS TO 45 MIN. FRR AND SELF CLOSING

TRC_SCHEDULE OF FINISHES

MARK	NAME
01	HORIZONTAL SIDING-HARDIE GRAY
02	ASPHALT SHINGLES
03	PRE-FINISHED METAL FASCIA
14	CORNER BOARD 4"

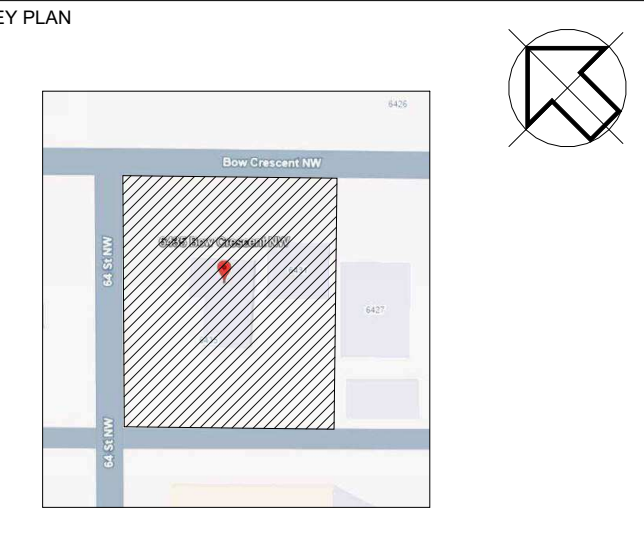
DESIGNED BY:

TRICOR
DESIGN GROUP

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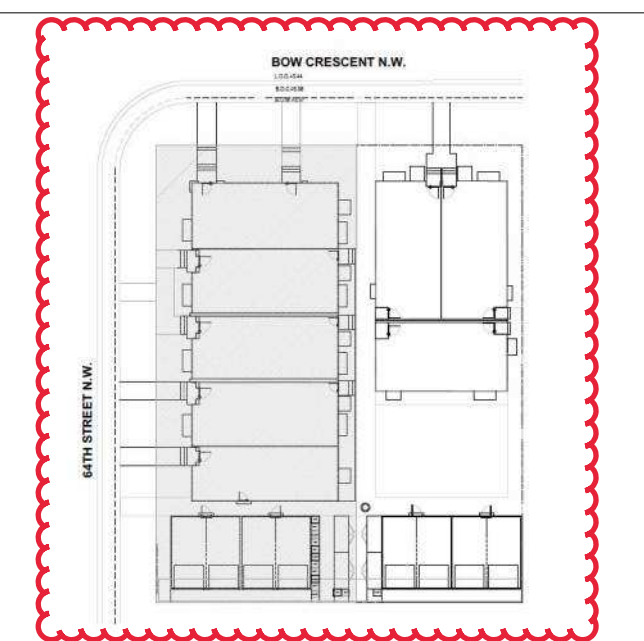
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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-22	DTR	N.F.R.N.	T.I./A.K.
03				
04				
05				

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I.	
02				
03				
04				
05				



THE CLIENT : **KOZEE HOMES LTD.**

PROJECT : **8_PLEX**

ADDRESS: **6431 & 6435 - BOW CRESCENT N.W. CALGARY, ALBERTA LOTS 17&18; BLOCK 4; PLAN 4610 AJ**

DRAWING SET : **DEVELOPMENT PERMIT SET**

DRAWING TITLE : **ACCESSORY BUILDING (GARAGE)**

DRAWING NO. **A-401**

PROJECT NO. : 25-01840

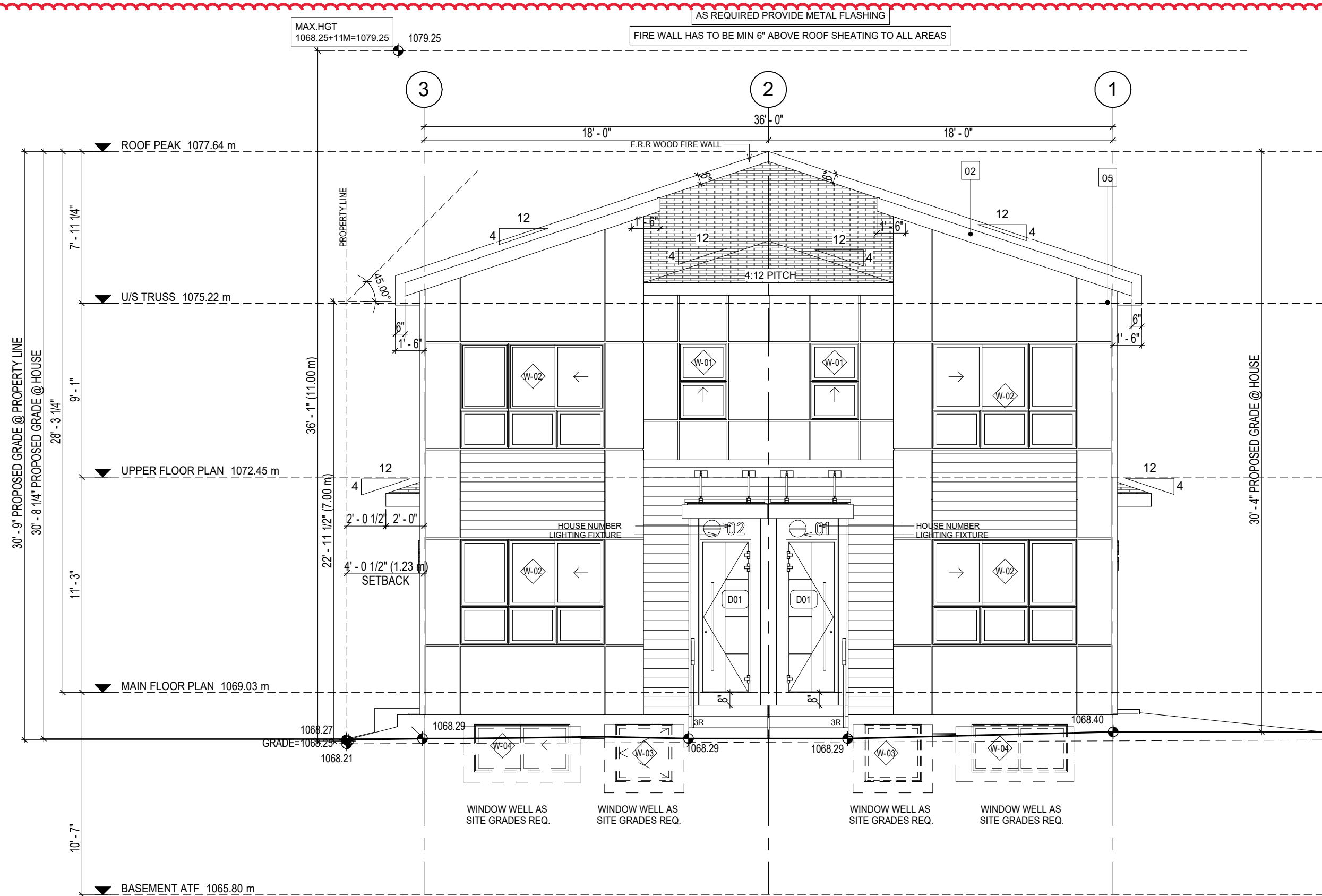
CHECKED BY: E.Z.

DATE: 2026-04-20

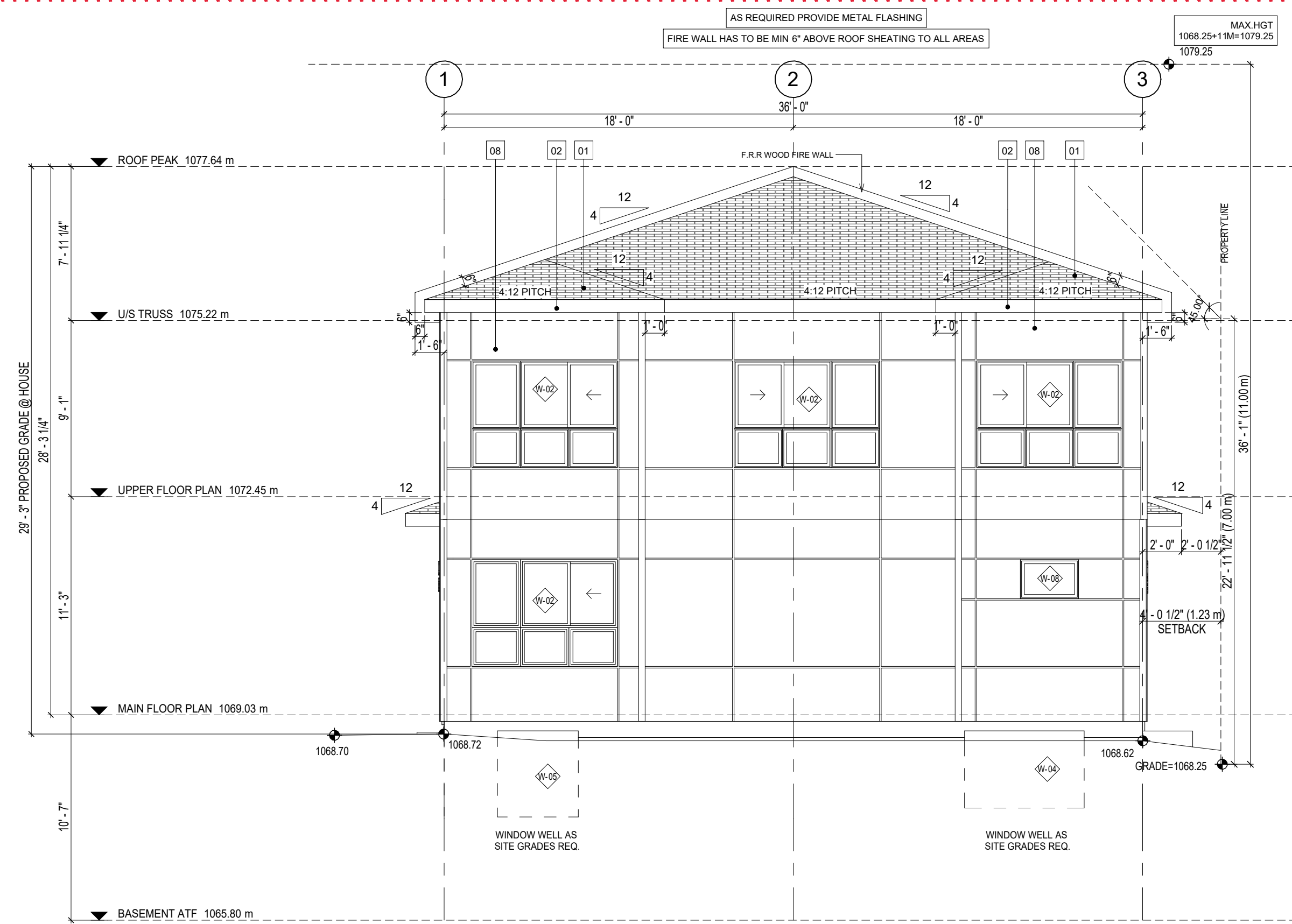
DRAWN BY: T.I.

SCALE: 3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL		
MARK	NAME	
01	ASPHALT SHINGLES	
02	PRE-FINISHED METAL FASCIA	
04	SMART BOARD DARK	
05	STUCCO CLADDING	
05	STUCCO LIGHT GRAY	
07	4" TRIM	
07	CORNER BOARD 4"	
08	STUCCO CLADDING LIGHT GRAY	
09	4" GRAY TRIM	
10	HORIZONTAL SIDING - HARDIE (LUX PANELS)	
11	4" TRIM DARK	



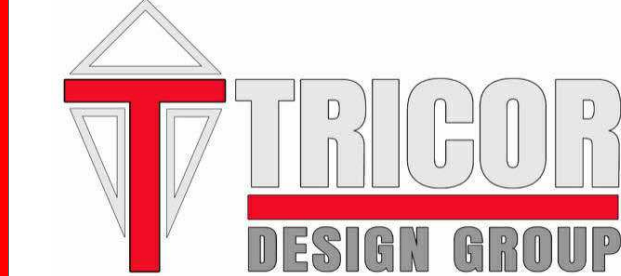
2 PROPOSED FRONT (NORTH WEST) ELEVATION
3/16" = 1'-0"



1 PROPOSED REAR (SOUTH EAST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS LEFT ELEV.			
CODE CHECK			
EXPOSED BUILDING FACE	777.22 SQ. FT.	72.20 SQ.M²	
MINIMUM SETBACK	17'-1"	5.20 M	
PERCENTAGE OF ALLOWED OPENINGS	40%		
SQ. FTG. OF ALLOWED OPENINGS	310.88 SQ. FT.	28.88 SQ.M²	
ACTUAL SQ. FTG. OF OPENINGS	173.00 SQ. FT.	16.07 SQ.M²	
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	155.44 SQ. FT.	14.44 SQ.M²	

DESIGNED BY:

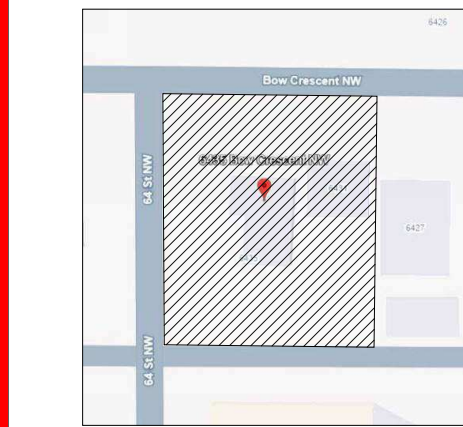


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KEY PLAN



NOTES

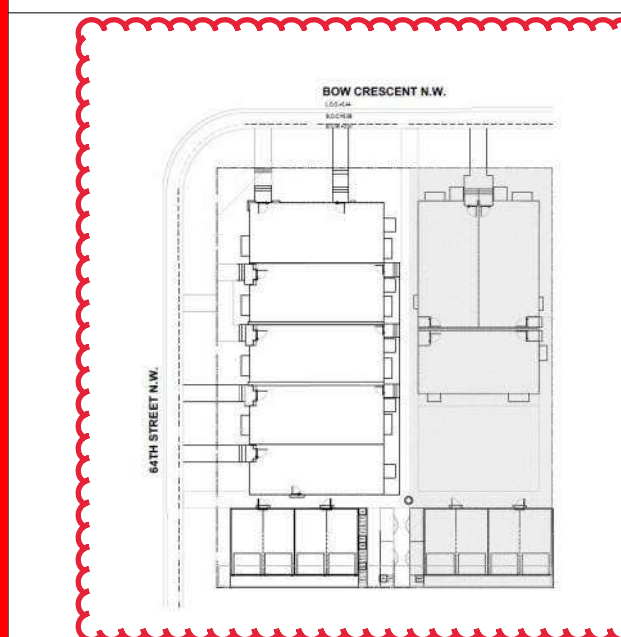
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-22	DTR	N.F.R.N	
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I.	
02				
03				
04				
05				



THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 & 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-203

PROJECT NO. :

CHECKED BY:

DATE:

E.Z.

2026-04-20

25-01840

DRAWN BY:

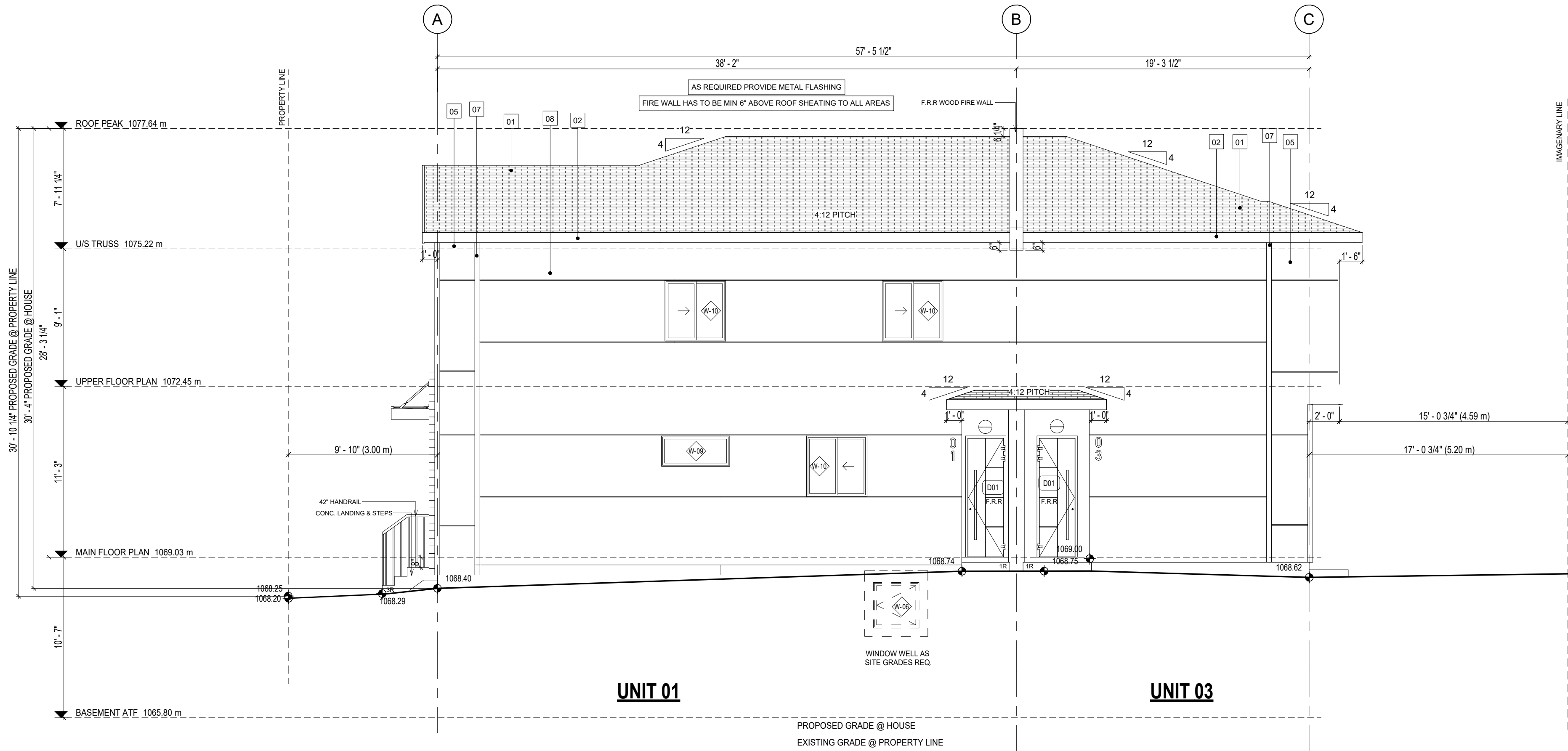
SCALE:

N.F.

3/16" = 1'-0"

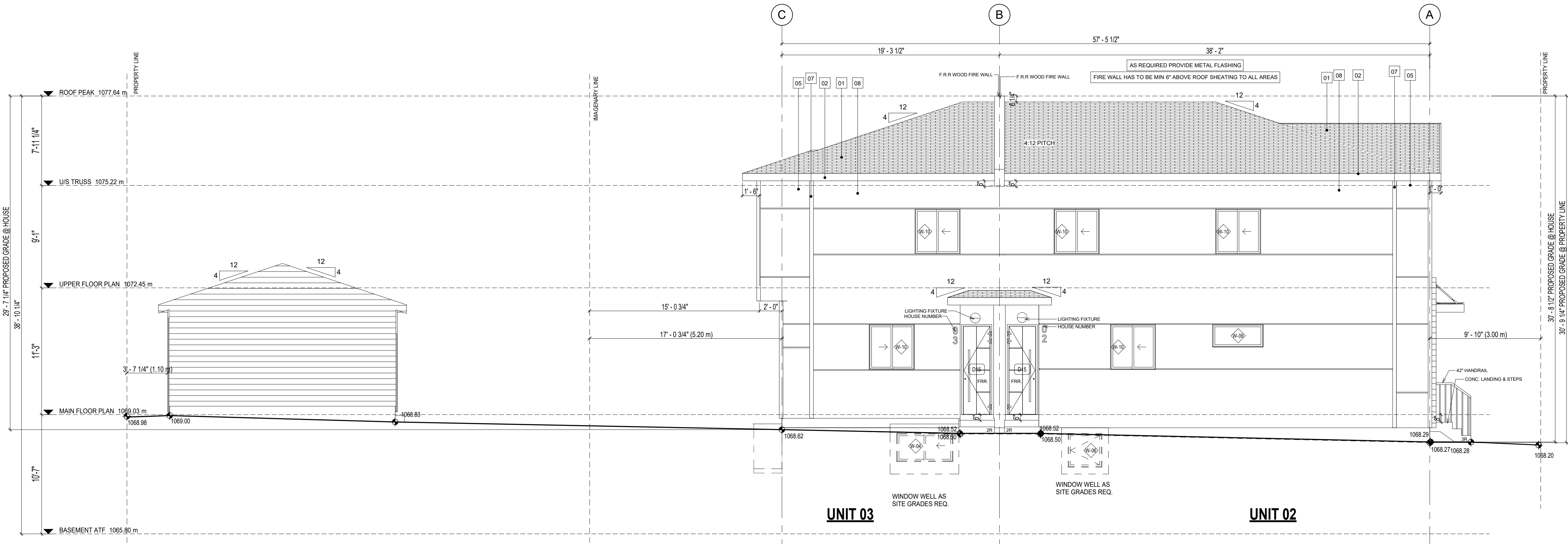
ELEVATIONS FINISHES MATERIAL		
MARK	NAME	
01	ASPHALT SHINGLES	
02	PRE-FINISHED METAL FASCIA	
04	SMART BOARD DARK	
05	STUCCO CLADDING	
05	STUCCO LIGHT GRAY	
07	4" TRIM	
07	CORNER BOARD 4"	
08	STUCCO CLADDING LIGHT GRAY	
09	4" GRAY TRIM	
10	HORIZONTAL SIDING - HARDIE (LUX PANELS)	
11	4" TRIM DARK	

UNPROTECTED OPENINGS LEFT ELEV.			
CODE CHECK			
EXPOSED BUILDING FACE	1290.68 SQ. FT.	119.90 SQ.M²	
MINIMUM SETBACK	4'-0"	1.23M	
PERCENTAGE OF ALLOWED OPENINGS	7.00%		
SQ. FTG. OF ALLOWED OPENINGS	90.34 SQ. FT.	8.39 SQ.M²	
ACTUAL SQ. FTG. OF OPENINGS	90.19 SQ. FT.	8.37 SQ.M²	
MAX SQ. FT. OF INDIVIDUAL OPENING (60%)	45.17SQ. FT.	4.19 SQ.M²	



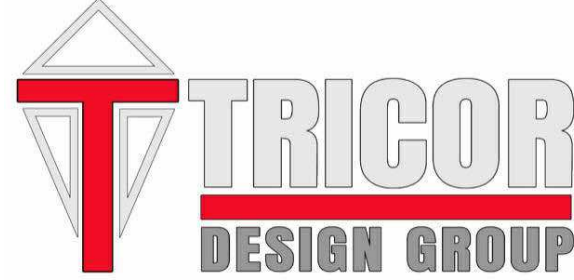
1 PROPOSED RIGHT (NORTH EAST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS LEFT ELEV.			
CODE CHECK			
EXPOSED BUILDING FACE	1290.68 SQ. FT.	119.90 SQ.M²	
MINIMUM SETBACK	4'-0"	1.23M	
PERCENTAGE OF ALLOWED OPENINGS	7.00%		
SQ. FTG. OF ALLOWED OPENINGS	90.34 SQ. FT.	8.39 SQ.M²	
ACTUAL SQ. FTG. OF OPENINGS	90.19 SQ. FT.	8.37 SQ.M²	
MAX SQ. FT. OF INDIVIDUAL OPENING (60%)	45.17SQ. FT.	4.19 SQ.M²	



2 PROPOSED LEFT (SOUTH WEST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

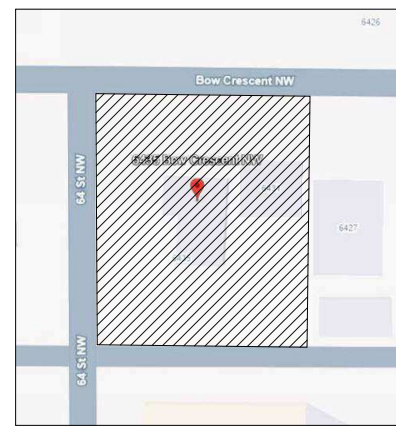


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tricordesigns.com

#202 - 4216 10 STREET NE,
CALGARY, AB
AB T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

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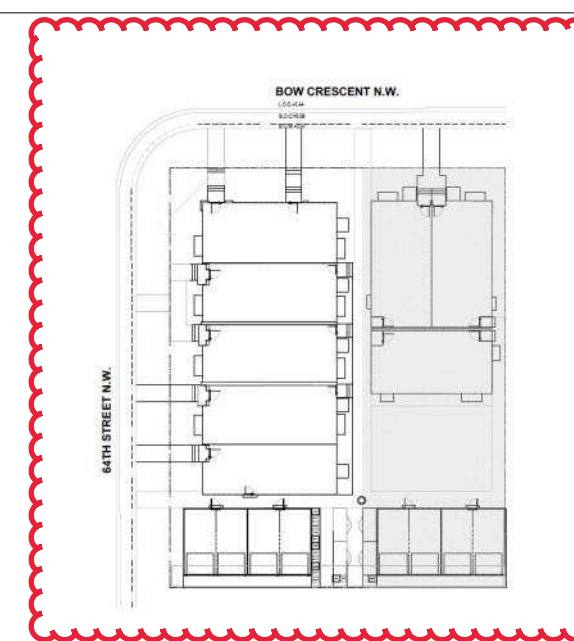
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-22	DTR	N.F.R.N	
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I.	
02				
03				
04				
05				



THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 & 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-204

PROJECT NO. :

25-01840

CHECKED BY:

T.I.

DRAWN BY:

N.F.

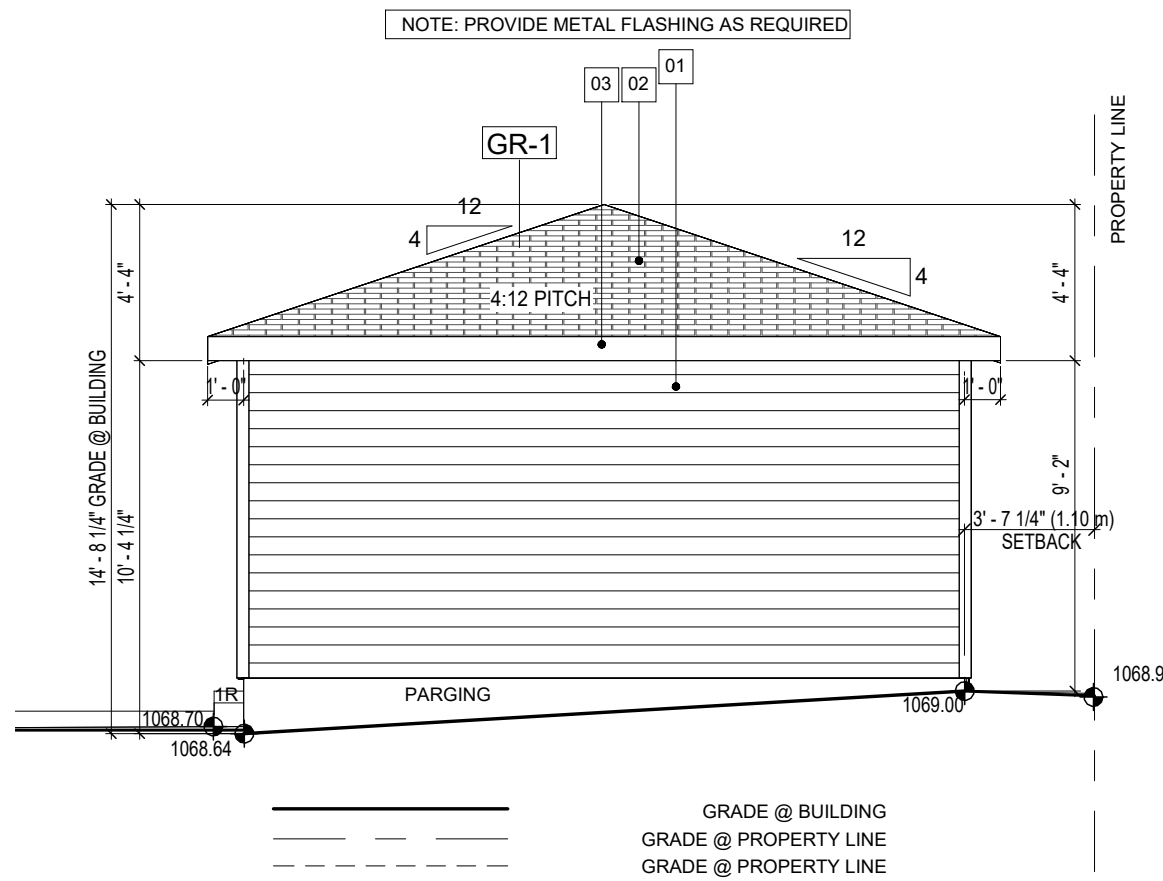
DATE:

2026-04-22

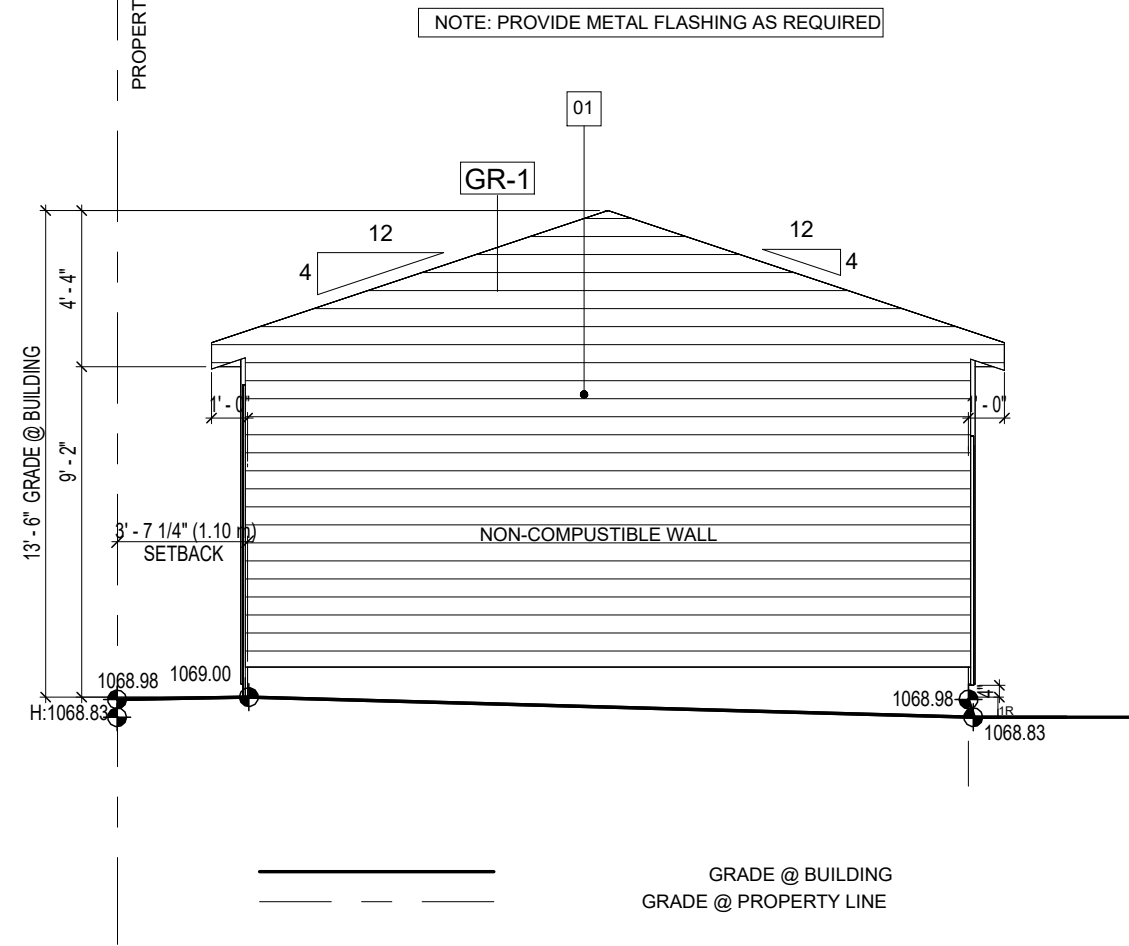
SCALE:

3/16" = 1'-0"

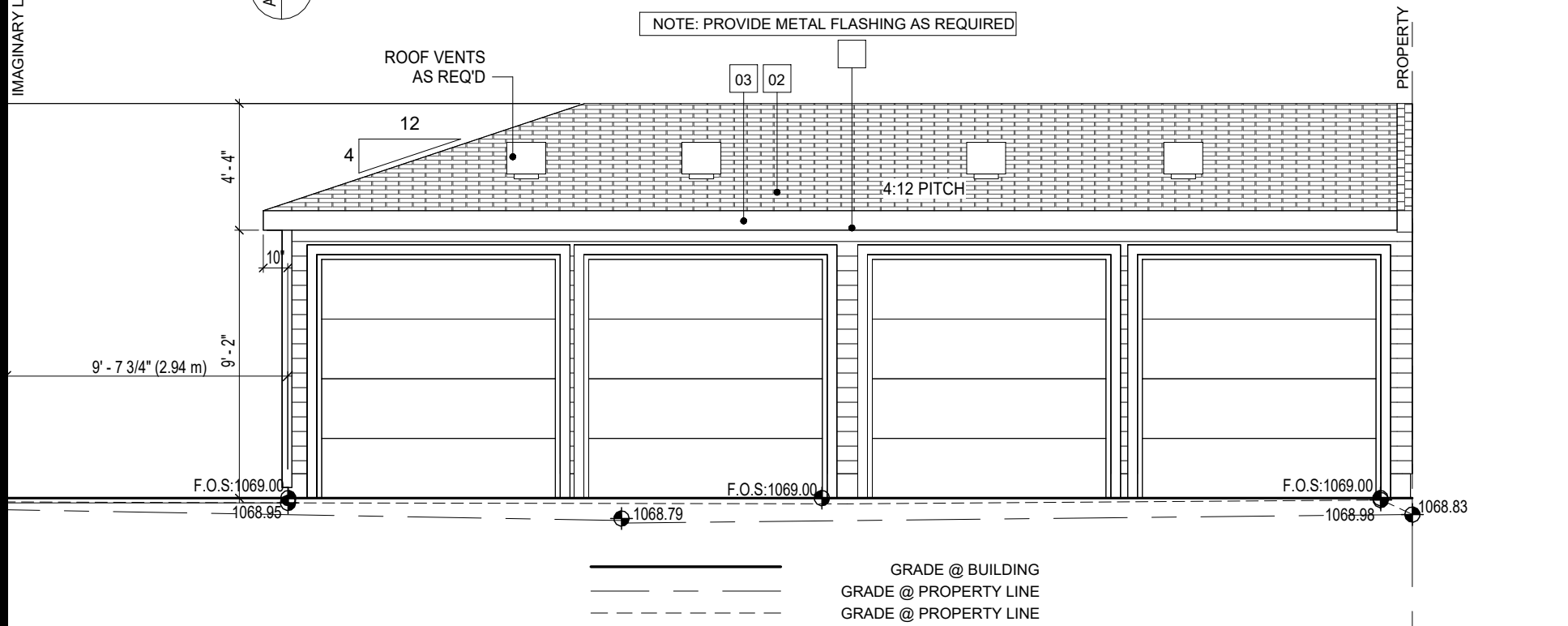
NOTE: FOLLOW ENGINEERING DESIGN FOR SIZES AND SPECS



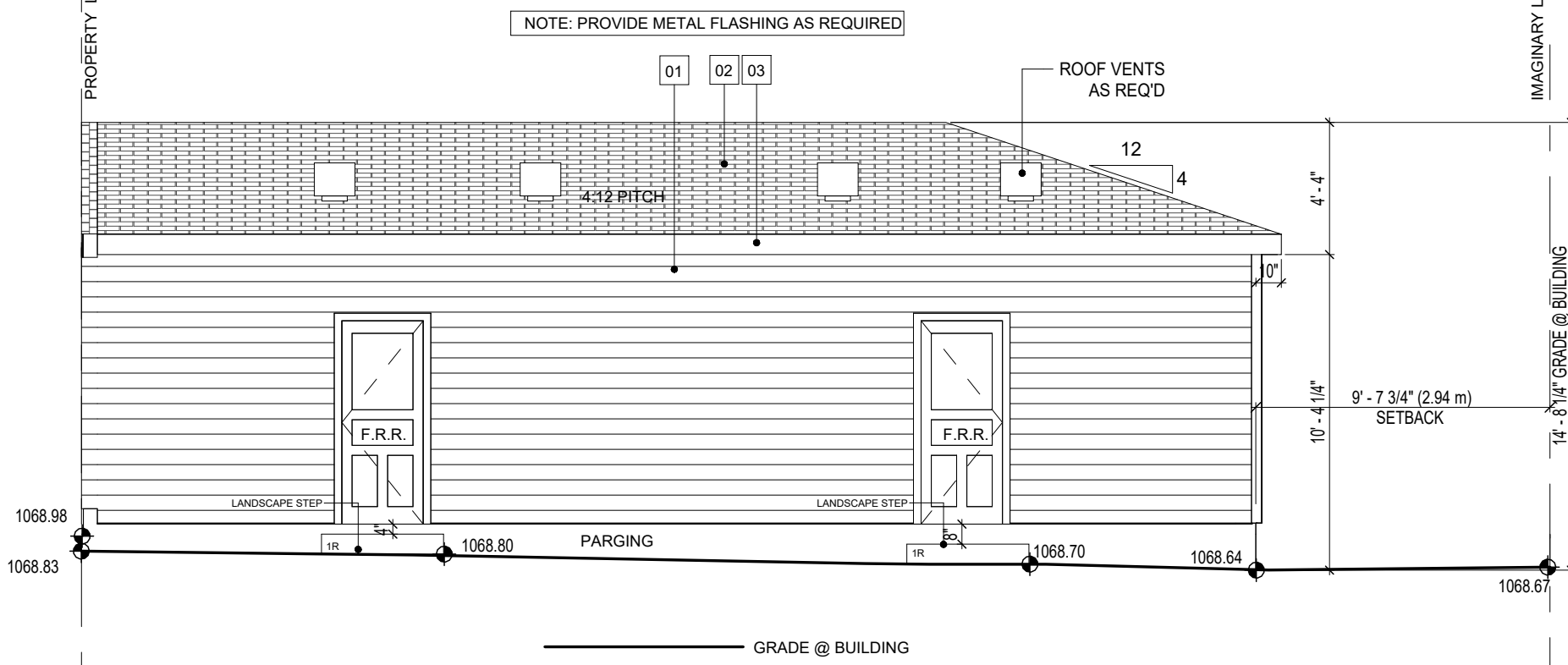
3 PROP. LEFT (SOUTH EAST) ELEVATION
3/16" = 1'-0"



4 PROP. RIGHT (NORTH WEST) ELEVATION
3/16" = 1'-0"



6 PROP. FRONT (SOUTH WEST) ELEVATION
3/16" = 1'-0"



7 PROP. REAR (NORTH EAST) ELEVATION
3/16" = 1'-0"

NOTE

GARAGE TO BE BUILT AS PER VARIANCE (SPV003)

GR-1

ROOF AND CEILINGS

- ASPHALT SHINGLE ROOFING AS SPEC'D
- BUILDING PAPER
- 1 LAYER 5/8" (15.9mm) TYPE X GYPSUM BOARD OR EQUIVALENT.
- APPROVED WOOD TRUSSES @24" O/C (EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL)(2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
- MIN R35 LOOSE FILL/ OR CELLULOSE INSUL.
- VAPOUR BARRIER (6 MIL POLY)
- 5/8" TYPE 'X' DRYWALL

GF-4

GARAGE SLAB

- 4" DURACRETE CONC. SLAB
- 5" COMP. GRAVEL (SLOPE 4")
- (EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)

WA-13

EXTERIOR WALLS AS PER SPV 003

UL U465, ULC W415 1-HOUR

- 1-LAYER 5/8" (15.9MM) TYPE X EXTERIOR GYPSUM BOARD OR THE EQUIVALENT TO PROVIDE A MINIMUM 45 MIN FIRE RESISTANCE RATING (FRR) WITH ALL VERTICAL JOINTS FULLY SUPPORTED.
2. SINGLE PLY AIR BARRIER.
- 3- MINIMUM 38MM X 89MM (2" X 4") WOOD STUDS AT A MAXIMUM SPACING OF 400MM (16") ON CENTRE.
- 4- EXTERIOR WALL STUD CAVITIES TO BE FILLED WITH MINERAL FIBER INSULATION CONFORMING TO CAN/ULC-S702, HAVING A MASS NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE.
- 5- A SINGLE PLY 6MIL (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CGSB-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3 OF DIVISION B OF THE NBC - AE
- 6- INTERIOR SHEATHING TO CONSIST OF 1 LAYER 5/8" (15.9MM) TYPE X GYPSUM BOARD OR EQUIVALENT.

GW-4

EXTERIOR WALLS NON-COMBUSTIBLE WALL

- EXTERIOR FINISH AS SPEC'D (STUCCO FINISH)
- 5/8" DENSGLASS OR EQUIVALENT
- 2X6" STEEL STUDS @16" OC
- R12 FRICTION-FIT FIBERGLASS INSULATION
- VAPOUR BARRIER (6 MIL POLYETHYLENE)
- 1 LAYERS 5/8" TYPE 'X' DRYWALL

W-7

(W13-A) 1HR FRR STC-57

- 5/8" TYPE 'X' DRYWALL
- 6 MIL POLY V-B
- 2X4 STUDS ON EDGE @ 24" OC
- 6 MIL POLY V-B
- 5/8" TYPE 'X' DRYWALL

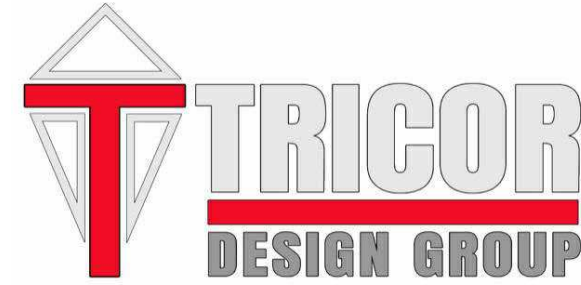
NOTE

- SOIL BEARING CAPACITY 2000 # FT²
- DOORS TO 45 MIN. FRR AND SELF CLOSING

TRC_SCHEDULE OF FINISHES

MARK	NAME
01	HORIZONTAL SIDING -HARDIE GRAY
02	ASPHALT SHINGLES
03	PRE-FINISHED METAL FASCIA
14	CORNER BOARD 4"

DESIGNED BY:

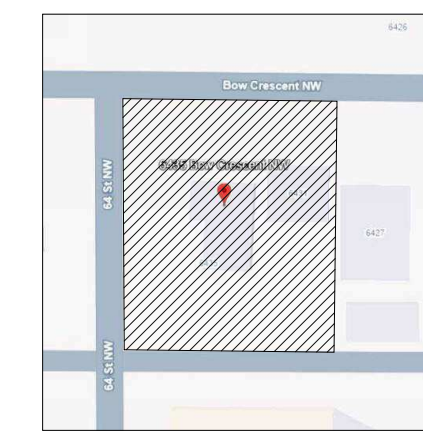


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KEY PLAN



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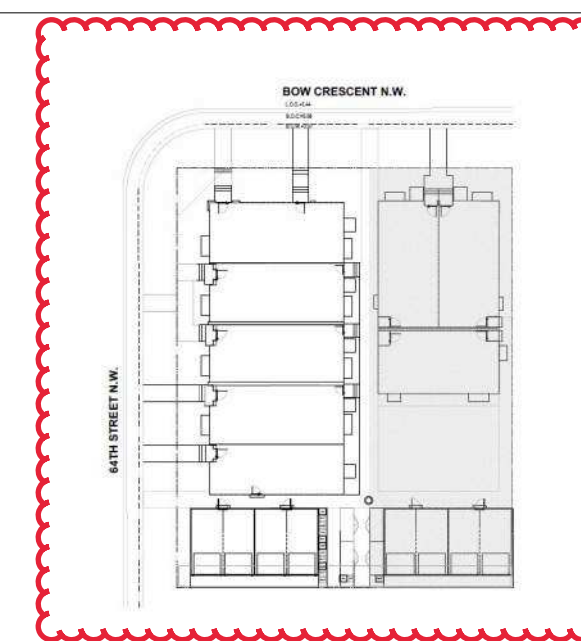
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05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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03				
04				
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THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17&18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ACCESSORY BUILDING (GARAGE)

DRAWING NO.

A-402

PROJECT NO. :

CHECKED BY:

E.Z.

DATE:

2026-04-22

DRAWN BY:

T.I.

SCALE:

3/16" = 1'-0"