

8_PLEX
6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17&18; BLOCK 4; PLAN 4610 AJ



DEVELOPMENT PERMIT SET

ISSUE DATE : 2025-12-11
REVISION DATE : 2026-06-22



#202 - 4216 10TH STREET NE,
CALGARY, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

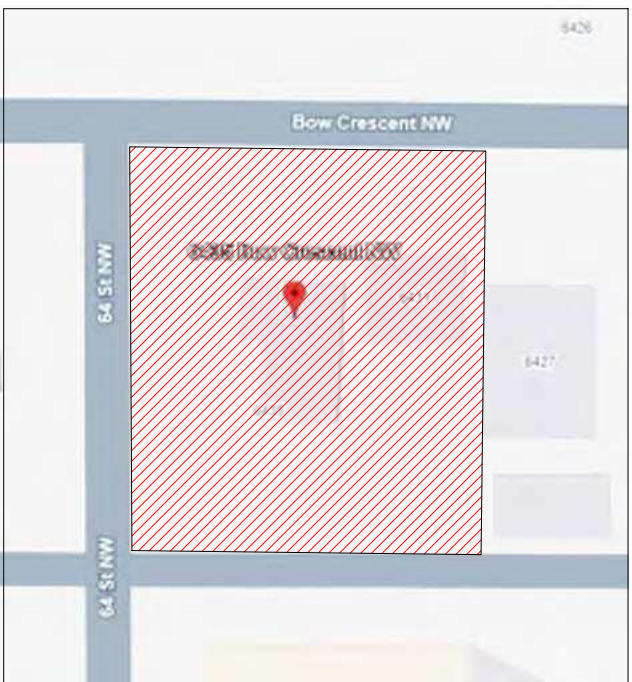
LIST OF DRAWINGS:

- G-001 GENERAL NOTES
A-001 EXISTING SURVEY
A-002 PROPOSED & EXISTING SITE PLAN
A-003 PROPOSED SITE PLAN
A-004 PROPOSED GRADES
A-005 STREETScape
A-006 PROPOSED LANDSCAPE
A-007 LANDSCAPE ZONES
A-008 LANDSCAPE DETAILS
A-009 APRON & BOULEVARD SECTIONS
A-010 CONSTRUCTION ACCESS AREA
A-011 FIRE ACCESS

- A-101 PROPOSED LEGAL SUITE FLOOR PLAN
A-102 PROPOSED MAIN FLOOR PLAN
A-103 PROPOSED UPPER FLOOR PLAN
A-104 PROPOSED ROOF FLOOR PLAN
A-201 PROPOSED FRONT & REAR ELEVATIONS
A-202 PROPOSED RIGHT & LEFT ELEVATIONS
A-301 BUILDING SECTIONS
A-401 PROPOSED ACCESSORY BUILDING (GARAGE)
A-105 PROPOSED LEGAL SUITE FLOOR PLAN
A-106 PROPOSED MAIN FLOOR PLAN
A-107 PROPOSED UPPER FLOOR PLAN
A-108 PROPOSED ROOF FLOOR PLAN
A-203 PROPOSED FRONT & REAR ELEVATIONS
A-204 PROPOSED RIGHT & LEFT ELEVATIONS
A-302 BUILDING SECTIONS
A-402 PROPOSED ACCESSORY BUILDING (GARAGE)

UNIT 1 (5-PLEX)				UNIT 2 (5-PLEX)			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	720.00	66.89		MAIN FLOOR	698.75	64.92
	UPPER FLOOR	718.33	66.74		UPPER FLOOR	698.75	64.92
	TOTAL	1438.33	133.63		TOTAL	1397.50	129.83
	LEGAL SUITE FLOOR	557.86	51.83		LEGAL SUITE FLOOR	582.79	54.14
	GRAND TOTAL	1996.19	185.45		GRAND TOTAL	1980.29	183.97
UNIT 3 (5-PLEX)				UNIT 4 (5-PLEX)			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	694.00	64.47		MAIN FLOOR	698.75	64.92
	UPPER FLOOR	694.00	64.47		UPPER FLOOR	698.75	64.92
	TOTAL	1388.00	128.95		TOTAL	1397.50	129.83
	LEGAL SUITE FLOOR	580.17	53.90		LEGAL SUITE FLOOR	580.17	53.90
	GRAND TOTAL	1968.17	182.85		GRAND TOTAL	1977.67	183.73
UNIT 5 (5-PLEX)				UNIT 1 (3-PLEX)			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	590.17	54.83		MAIN FLOOR	666.10	61.88
	UPPER FLOOR	597.58	55.52		UPPER FLOOR	681.08	63.27
	TOTAL	1187.75	110.35		TOTAL	1347.18	125.16
	LEGAL SUITE FLOOR	421.06	39.12		LEGAL SUITE FLOOR	552.46	51.33
	GRAND TOTAL	1608.81	149.46		GRAND TOTAL	1899.64	176.48
UNIT 2 (3-PLEX)				UNIT 3 (3-PLEX)			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	664.89	61.77		MAIN FLOOR	659.42	61.26
	UPPER FLOOR	681.08	63.27		UPPER FLOOR	761.95	70.79
	TOTAL	1345.97	125.04		TOTAL	1421.37	132.05
	LEGAL SUITE FLOOR	552.46	51.33		LEGAL SUITE FLOOR	942.11	50.36
	GRAND TOTAL	1898.43	176.37		GRAND TOTAL	1963.48	182.41

KEY PLAN :



PROJECT NO.: 25-01840

SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

6431 & 6435 - BOW CRESCENT N.W. , CALGARY, ALBERTA

LEGAL ADDRESS:-

LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

ZONNING:- R-CG

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

COVERAGE CALCULATION:

LOT AREA = 1161.71 m²
MAXIMUM COVERAGE (60%) = 697.03 m²
PROPOSED BUILDING (5PLEX) COVERAGE = 320.48 m²
PROPOSED BUILDING (3PLEX) COVERAGE = 191.12 m²
PROPOSED BUILDINGS COVERAGE = 511.60 m²
PROPOSED GARAGE COVERAGE = 142.68 m²
PROPOSED BIKE LOCKERS COVERAGE = (2X1.22X3.05) = 7.44 m²
TOTAL PROPOSED COVERAGE = 661.72 m² = 56.96%

PROJECT SETBACK REQUIREMENTS:

- BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF .6m INTO THE FRONT SETBACK AREA)
- MINIMUM 1.2m REAR SETBACK
- MINIMUM 0.60m SIDE SETBACK WITH A STREET
- MINIMUM 1.22m SIDE SETBACK

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LAKE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

LEGEND	LEGEND	LEGEND	LEGEND
	PROPOSED NEW FENCE		UTILITY LINES GAS
	PROPOSED PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY
	CANTILEVERS		UTILITY LINES STORM LINE
	SETBACK		UTILITY LINES WATER
	EAVES		REMOVE FENCE
	UTILITY LINES POWER		UPPER CANT
	EXISTING GRADES		NEED TO TRIM
	CALCULATED GRADES		REMOVE EXISTING TREE
	CONCRETE		BUILDING REMOVE

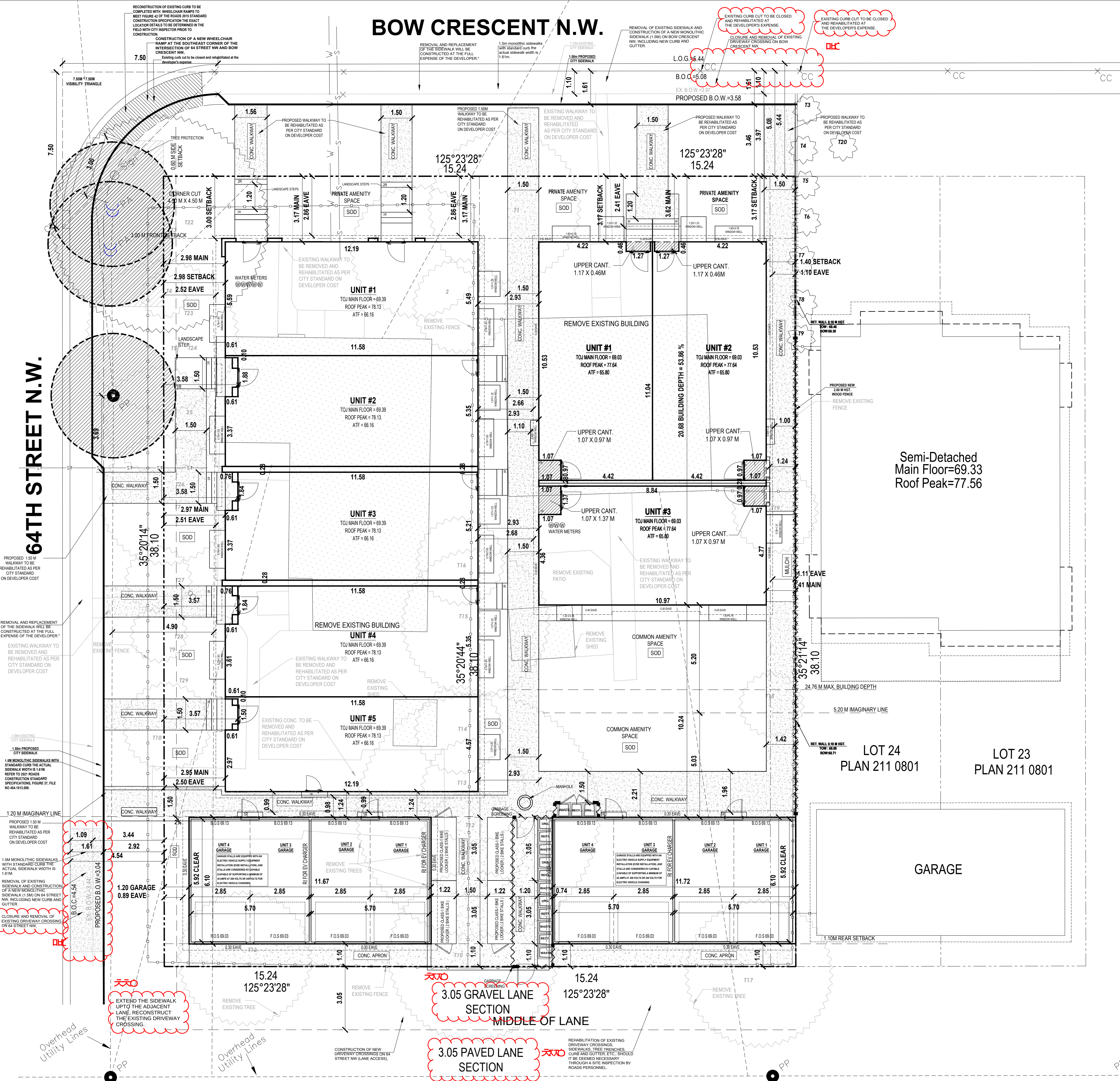
TREE SCHEDULE

TREE NO.	TREE TYPE	TRUNK (Øa)	CANOPY (Øa)	HEIGHT	Location	
T1	DECIDUOUS	0.40	7.00	4.50	In Subject Property	REMOVED
T2	DECIDUOUS	0.55	4.50	4.00	In Subject Property	REMOVED
T3	DECIDUOUS	0.08	1.00	3.00	In city boulevard	REMAINED
T4	DECIDUOUS	0.08	1.00	3.00	In city boulevard	REMAINED
T5	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T6	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T7	DECIDUOUS	0.08	1.00	2.50	In adjacent Property	REMAINED
T8	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T9	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T10	DECIDUOUS	0.35	8.00	7.00	In Subject Property	REMOVED
T11	DECIDUOUS	0.43	5.00	7.00	In Subject Property	REMOVED
T12	DECIDUOUS	0.23	12.0	7.00	In Subject Property	REMOVED
T13	DECIDUOUS	0.22	5.00	7.00	In Subject Property	REMOVED
T14	DECIDUOUS	0.32	4.00	4.00	In Subject Property	REMOVED
T15	DECIDUOUS	0.21	7.00	3.50	In Subject Property	REMOVED
T16	DECIDUOUS	CLUMP	4.00	3.00	In Subject Property	REMOVED
T17	DECIDUOUS	0.40	7.00	6.00	In Subject Property	REMOVED
T18	DECIDUOUS	0.15	3.00	5.00	In Subject Property	REMOVED
T19	DECIDUOUS	0.20	4.00	5.00	In Subject Property	REMOVED
T20	DECIDUOUS	0.10	1.00	2.00	In city boulevard	REMAINED
T21	DECIDUOUS	0.15	6.00	4.50	In Subject Property	REMOVED
T22	DECIDUOUS	0.70	10.0	8.00	In City boulevard	PROTECTED
T23	DECIDUOUS	0.15	2.00	4.00	On Property line	REMOVED
T24	DECIDUOUS	0.35	7.00	9.00	In city boulevard	REMOVED
T25	DECIDUOUS	0.63	5.00	7.50	In city boulevard	REMOVED
T26	DECIDUOUS	CLUMP	6.00	4.00	In Subject Property	REMOVED
T27	DECIDUOUS	0.35	3.00	4.50	In City boulevard	REMOVED
T28	DECIDUOUS	CLUMP	2.50	2.00	In city boulevard	REMOVED
T29	DECIDUOUS	0.55	4.00	5.50	In Subject Property	REMOVED
T30	DECIDUOUS	0.24	6.00	7.00	In Subject Property	REMOVED

NOTE :

- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- BUILDING READY FOR SOLAR PANEL INSTALLATION
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY. FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

BOW CRESCENT N.W.



DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403) 203-970
FAX: (403) 203-1999
EMAIL: info@tricor.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE - 2021 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

AUTHORITIES HAVING JURISDICTION:

THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.

THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, AT ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024-01-12	COMMENTS	E.R.	T.J.
02	2024-04-22	DTR 1	R.N. / N.F.	T.J.
03	2024-06-11	DTR 3	R.E.	A.K.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2023-12-11	DEVELOPMENT PERMIT SET	E.R.	T.J.

THE CLIENT:

KOZEE HOMES LTD

PROJECT:

8-PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

EXISTING & PROPOSED
SITE PLAN

DRAWING NO.

A-002

PROJECT NO.:

25-01840

CHECKED BY:

T.J.

DATE:

2024-06-22

DRAWN BY:

E.R.

SCALE:

1:100

SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

6431 & 6435 - BOW CRESCENT N.W. , CALGARY, ALBERTA

LEGAL ADDRESS:-

LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

ZONNING:- R-CG

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

COVERAGE CALCULATION:

LOT AREA = 1161.71 m²
MAXIMUM COVERAGE (60%) = 697.03 m²
PROPOSED BUILDING (5PLEX) COVERAGE = 320.48 m²
PROPOSED BUILDING (3PLEX) COVERAGE = 191.12 m²
PROPOSED BUILDINGS COVERAGE = 511.60 m²
PROPOSED GARAGE COVERAGE = 142.68 m²
PROPOSED BIKE LOCKERS COVERAGE = (2X1.22X3.05) = 7.44 m²
TOTAL PROPOSED COVERAGE = 661.72 m² = 56.96%

PROJECT SETBACK REQUIREMENTS:

1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 6m INTO THE FRONT SETBACK AREA)
2. MINIMUM 1.2 m REAR SETBACK
3. MINIMUM 0.60 m SIDE SETBACK WITH A STREET
4. MINIMUM 1.22 m SIDE SETBACK

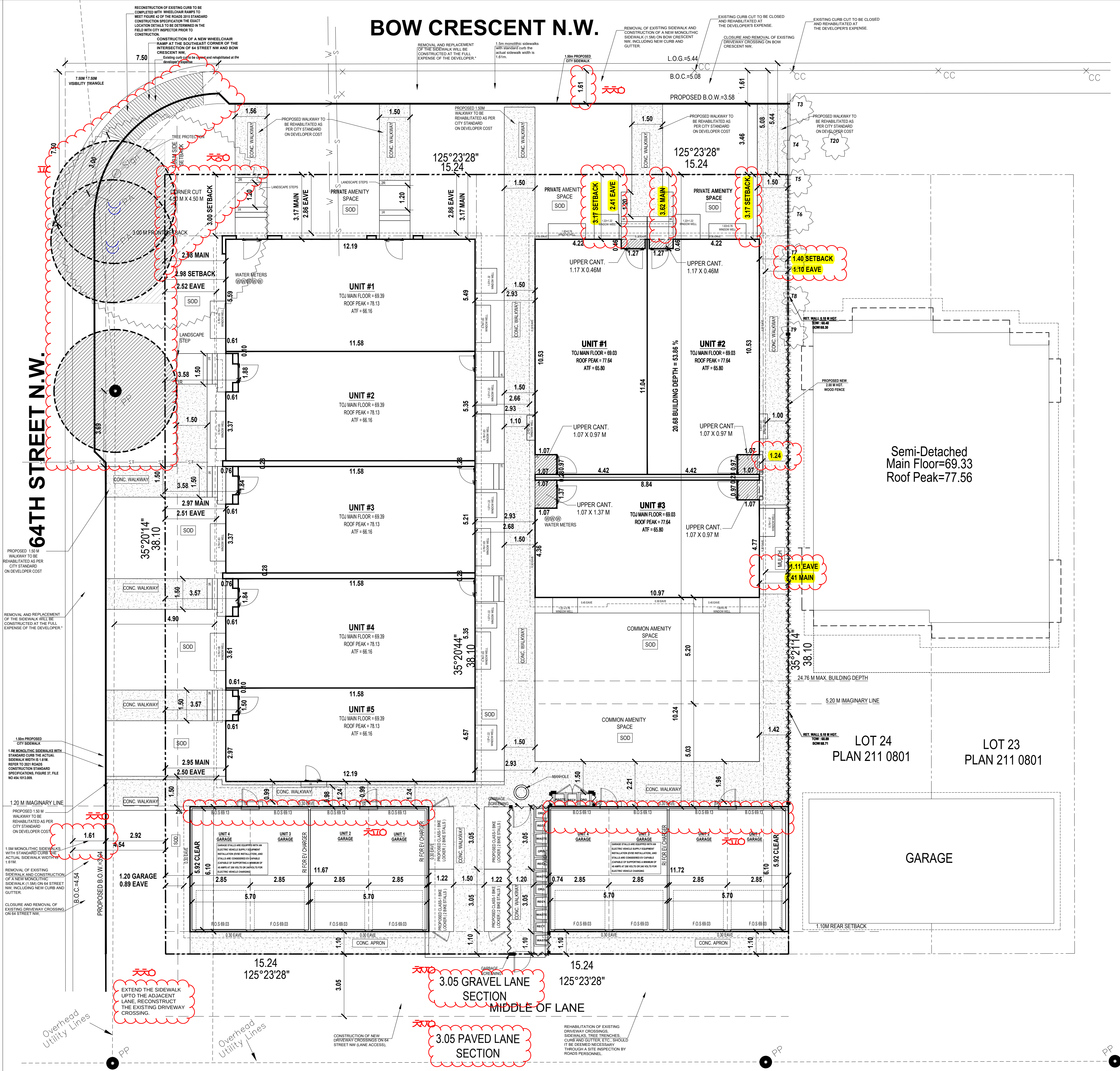
NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	P/W LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

TREE SCHEDULE

TREE NO.	TREE TYPE	TRUNK (Ø±)	CANOPY (Ø±)	HEIGHT	Location	
T1	DECIDUOUS	0.40	7.00	4.50	In Subject Property	REMOVED
T2	DECIDUOUS	0.55	4.50	4.00	In Subject Property	REMOVED
T3	DECIDUOUS	0.08	1.00	3.00	In city boulevard	REMAINED
T4	DECIDUOUS	0.08	1.00	3.00	In city boulevard	REMAINED
T5	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T6	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T7	DECIDUOUS	0.08	1.00	2.50	In adjacent Property	REMAINED
T8	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T9	DECIDUOUS	0.08	1.00	3.00	In adjacent Property	REMAINED
T10	DECIDUOUS	0.35	8.00	7.00	In Subject Property	REMOVED
T11	DECIDUOUS	0.43	5.00	7.00	In Subject Property	REMOVED
T12	DECIDUOUS	0.23	12.0	7.00	In Subject Property	REMOVED
T13	DECIDUOUS	0.22	5.00	7.00	In Subject Property	REMOVED
T14	DECIDUOUS	0.32	4.00	4.00	In Subject Property	REMOVED
T15	DECIDUOUS	0.21	7.00	3.50	In Subject Property	REMOVED
T16	DECIDUOUS	CLUMP.	4.00	3.00	In Subject Property	REMOVED
T17	DECIDUOUS	0.40	7.00	6.00	In Subject Property	REMOVED
T18	DECIDUOUS	0.15	3.00	5.00	In Subject Property	REMOVED
T19	DECIDUOUS	0.20	4.00	5.00	In Subject Property	REMOVED
T20	DECIDUOUS	0.10	1.00	2.00	In city boulevard	REMAINED
T21	DECIDUOUS	0.15	6.00	4.50	In Subject Property	REMOVED
T22	DECIDUOUS	0.70	10.0	8.00	In City boulevard	PROTECTED
T23	DECIDUOUS	0.15	2.00	4.00	On Property line	REMOVED
T24	DECIDUOUS	0.35	7.00	9.00	In city boulevard	REMOVED
T25	DECIDUOUS	0.63	5.00	7.50	In city boulevard	REMOVED
T26	DECIDUOUS	CLUMP.	6.00	4.00	In Subject Property	REMOVED
T27	DECIDUOUS	0.35	3.00	4.50	In City boulevard	REMOVED
T28	DECIDUOUS	CLUMP.	2.50	2.00	In City boulevard	REMOVED
T29	DECIDUOUS	0.55	4.00	5.50	In Subject Property	REMOVED
T30	DECIDUOUS	0.24	6.00	7.00	In Subject Property	REMOVED



NOTE :

- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES
- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH ANUNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY .FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OFFRIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THECANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

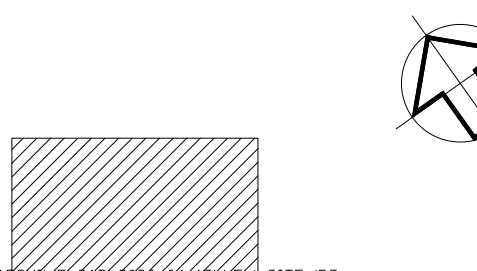
BOW CRESCENT N.W.

DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE : (403) 203-1970
FAX : (403) 203-1990
EMAIL : info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

AUTHORITIES HAVING JURISDICTION.

-THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.

-THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED, ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12		E.R.	T.J.
02	2026-04-22	DTR 1	R.N./N.F.	T.J.
03	2026-06-11	DTR 3	R.E.	A.K.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-12-11	DEVELOPMENT PERMIT SET	E.R.	T.J.

THE CLIENT :

KOZEE HOMES LTD

PROJECT :

8-PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED SITE PLAN

DRAWING NO.

A-003

PROJECT NO. :

25-01840

CHECKED BY:

T.J.

DATE:

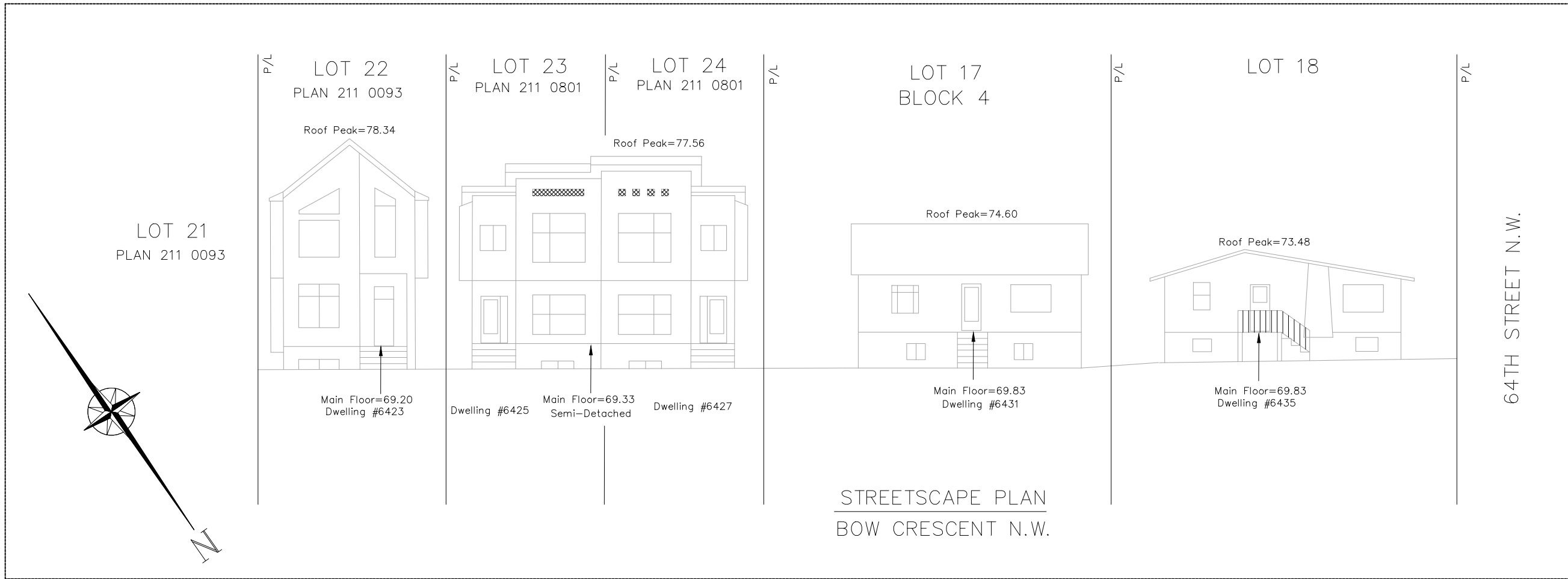
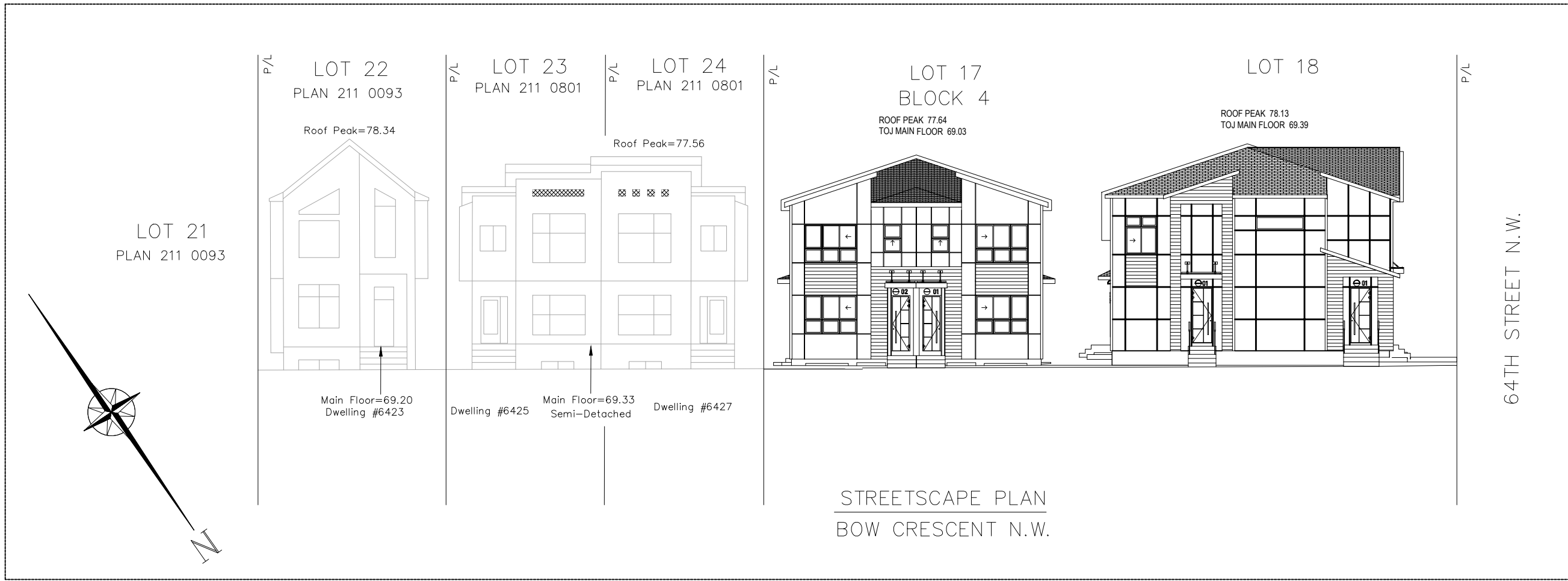
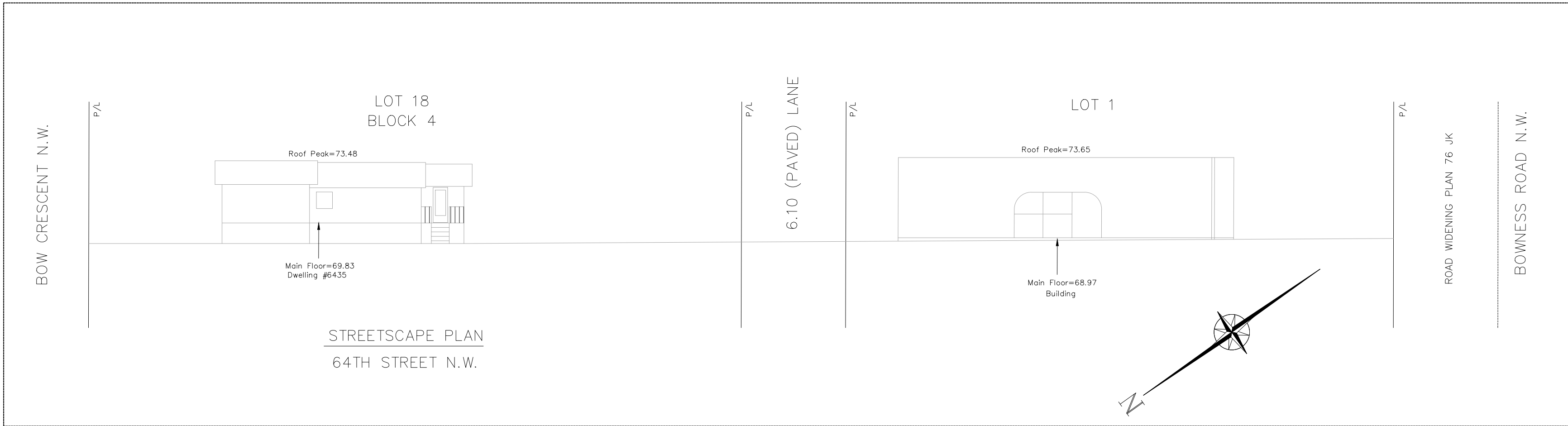
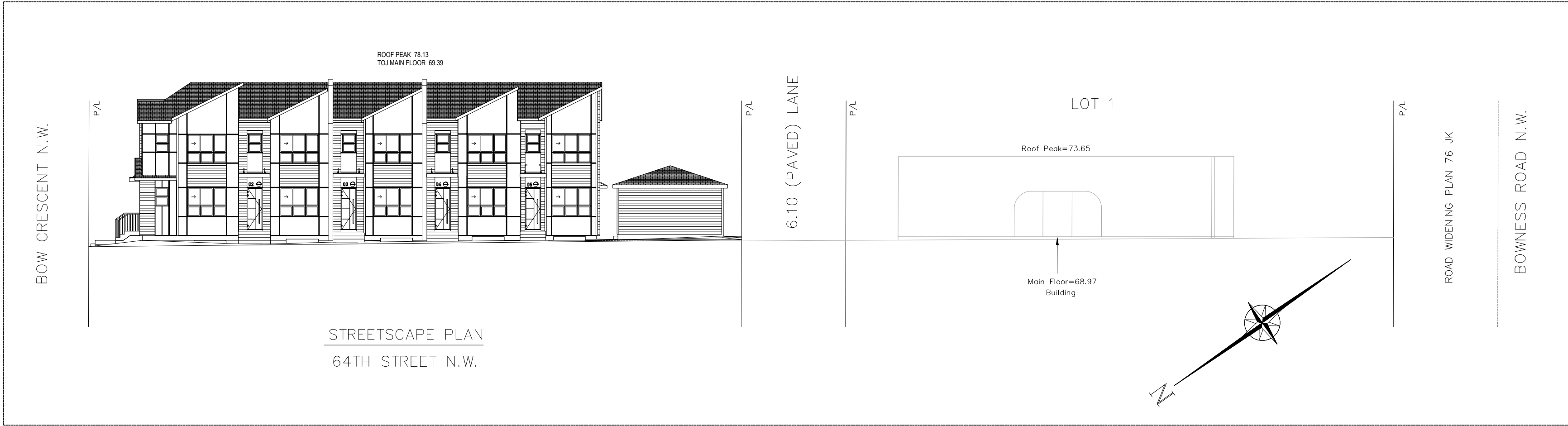
2026-06-22

DRAWN BY:

E.R.

SCALE:

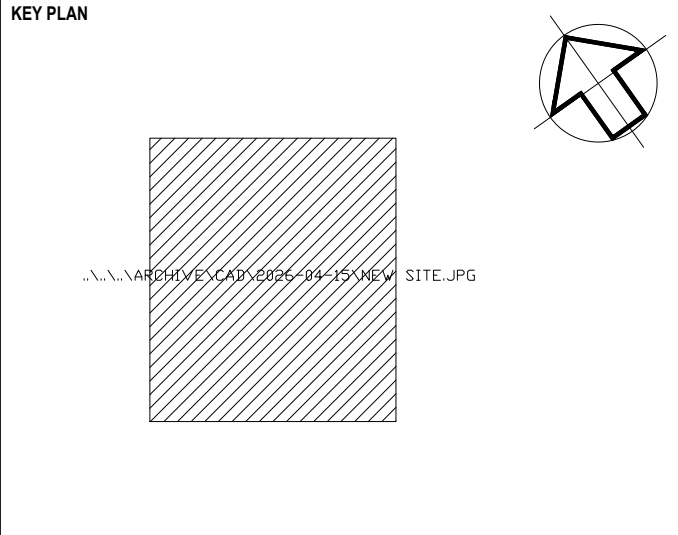
1:100



DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.
tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB T2E 6K3
PHONE: (403) 233-1970
FAX: (403) 233-1990
EMAIL: info@tricordg.ca



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

AUTHORITIES HAVING JURISDICTION.

THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.

THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME. AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-01-12	COMMENTS	E.R.	T.J.
02	2026-04-22	DTR 1	R.N. / M.F.	T.J.
03	2026-06-11	DTR 3	R.E.	A.K.

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-12-11	DEVELOPMENT PERMIT SET	E.R.	T.J.

THE CLIENT :

KOZEE HOMES LTD

PROJECT :

8-PLEX

ADDRESS:

**6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 AND 18; BLOCK 4; PLAN 4610 AJ**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

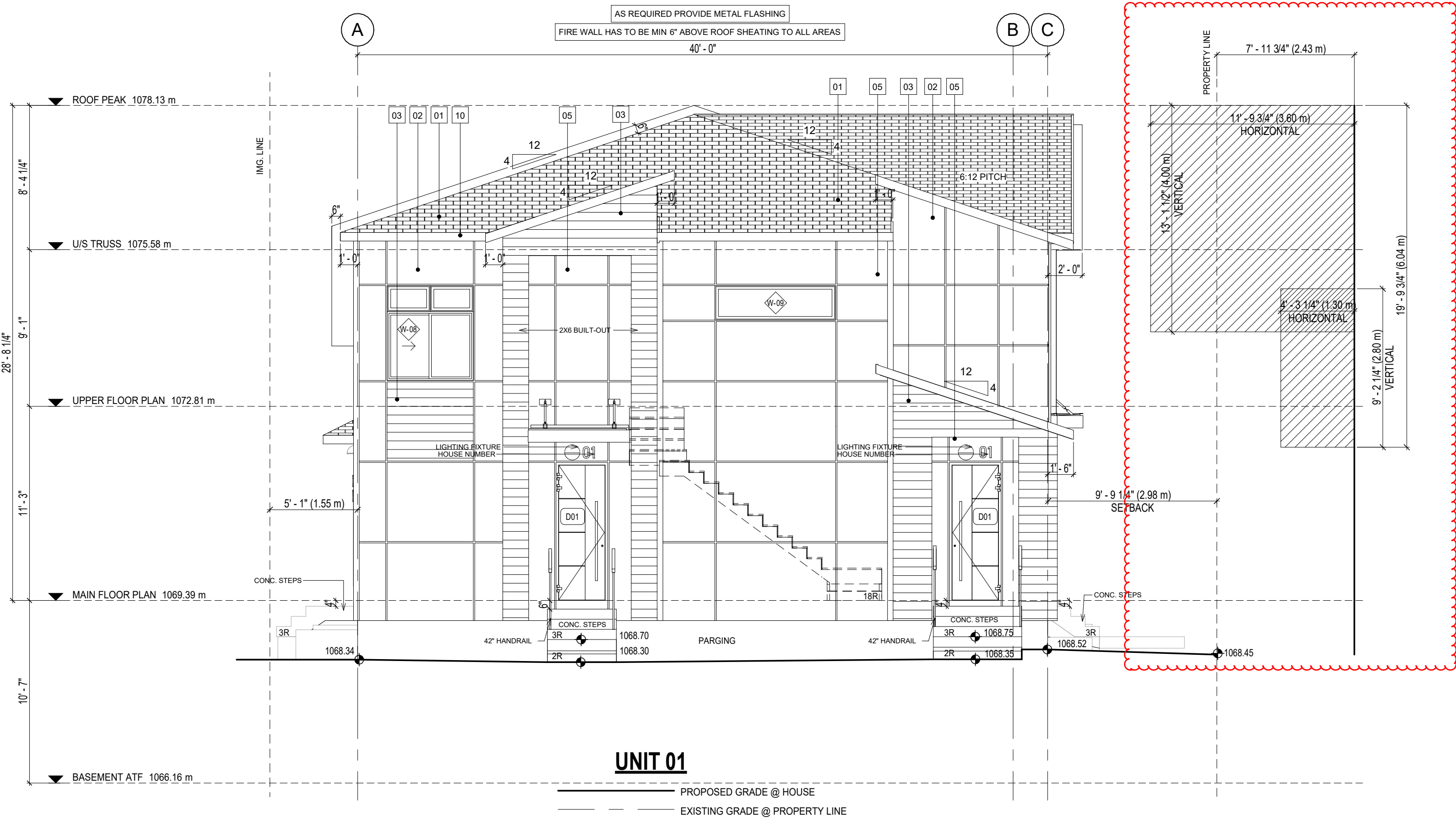
STREETSCAPE

DRAWING NO.

A-005

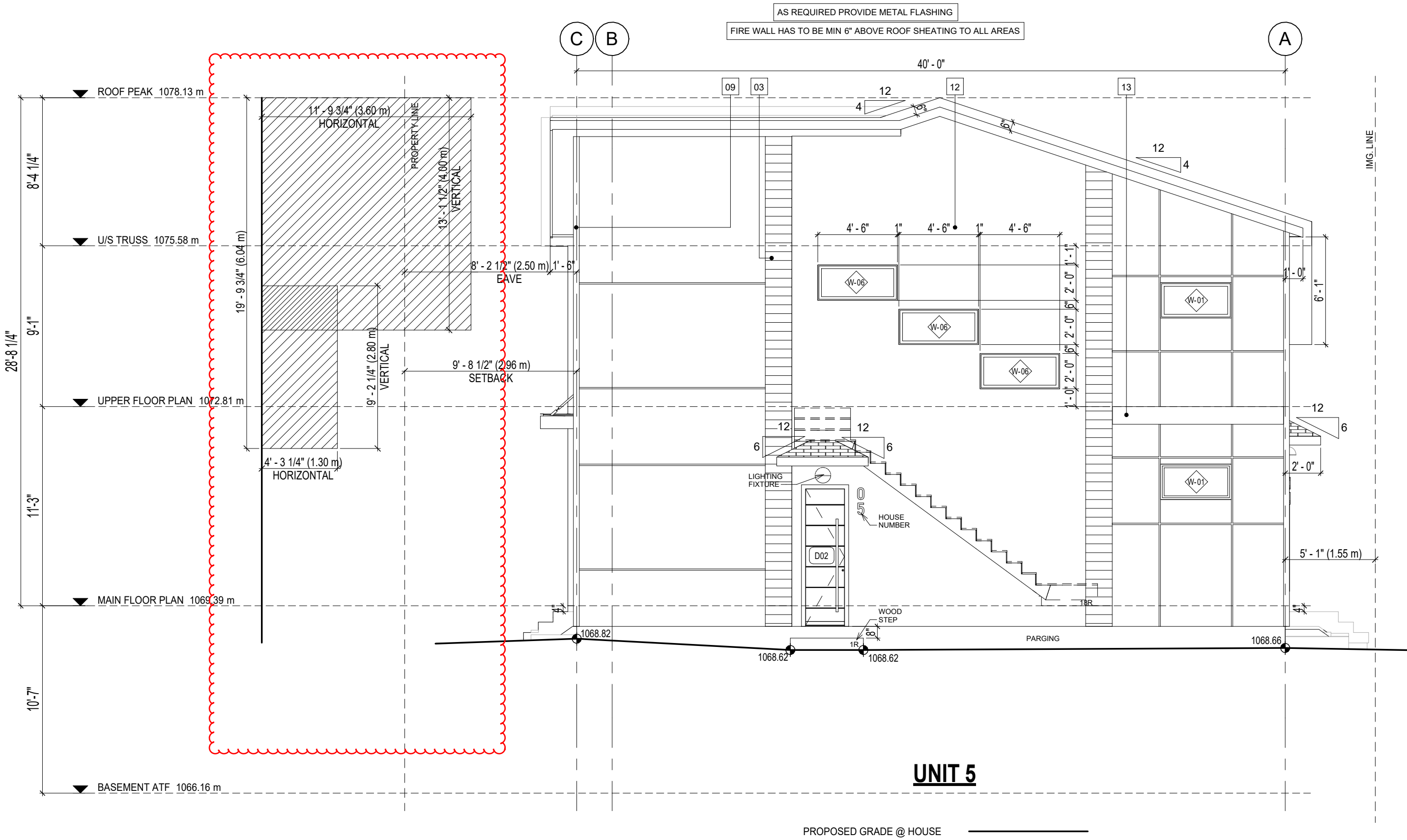
PROJECT NO. :	CHECKED BY:	DATE:
25-01840	T.J.	2026-06-22
	DRAWN BY:	SCALE:
	E.R.	1:200

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	STUCCO LIGHT GRAY
03	HORIZONTAL SIDING - HARDIE (LUX PANELS)
04	BOARD AND BATTEN WHITE
05	STUCCO DARK GRAY
07	4" TRIM
08	2" BATTEN WHITE
09	CORNER BOARD 4"
10	PRE-FINISHED METAL FASCIA
12	STUCCO CLADDING LIGHT GRAY
13	SHADOW BOARD



1 PROPOSED FRONT (NORTH WEAST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS REAR ELEV INC.DOOR			
CODE CHECK			
EXPOSED BUILDING FACE	898.06 SQ. FT.	84.36 SQ.M²	
MINIMUM SETBACK	4'-0 3/4"	1.24 M	
PERCENTAGE OF ALLOWED OPENINGS	7.13%	6.01 SQ.M²	
SQ. FT.G. OF ALLOWED OPENINGS	64.74 SQ. FT.	6.01 SQ.M²	
ACTUAL SQ. FT.G. OF OPENINGS	64.33 SQ. FT.	5.98 SQ.M²	
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	32.37 SQ. FT.	3.01 SQ.M²	



2 PROPOSED REAR (SOUTH EAST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

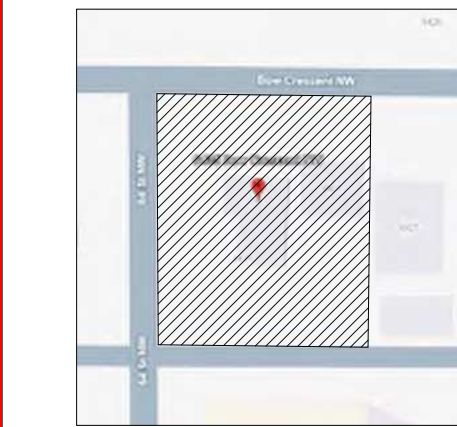


RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE.
CALGARY, AB
AB T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

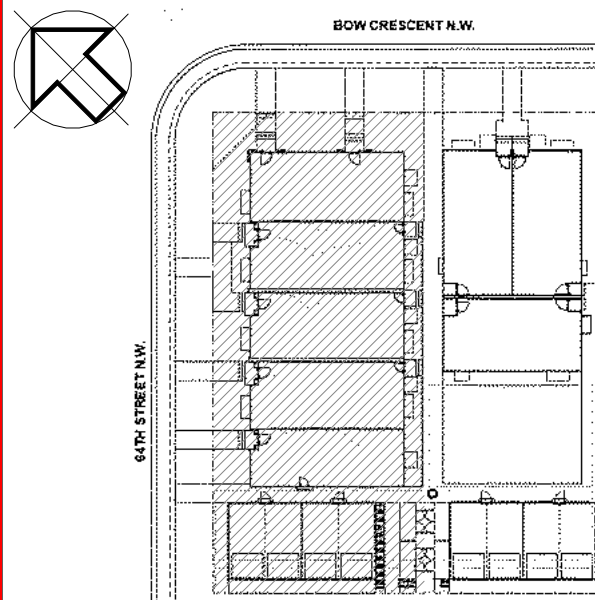
- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-21	DTR	N.F.R.N	T.I.
03	2026-06-18	DTR 3	R.E	A.K
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I	
02				
03				
04				
05				



THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17&18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-201

PROJECT NO. :

CHECKED BY:

A.K

DATE:

2026-06-18

25-01840

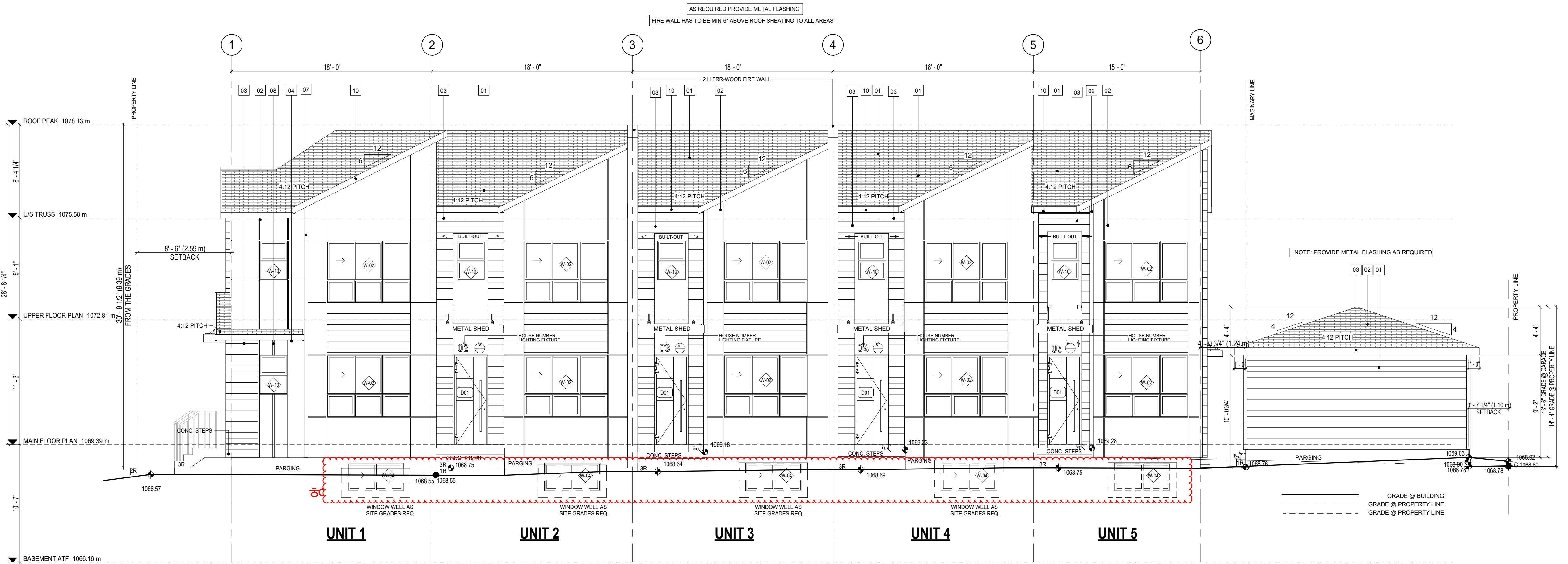
DRAWN BY:

R.E

SCALE:

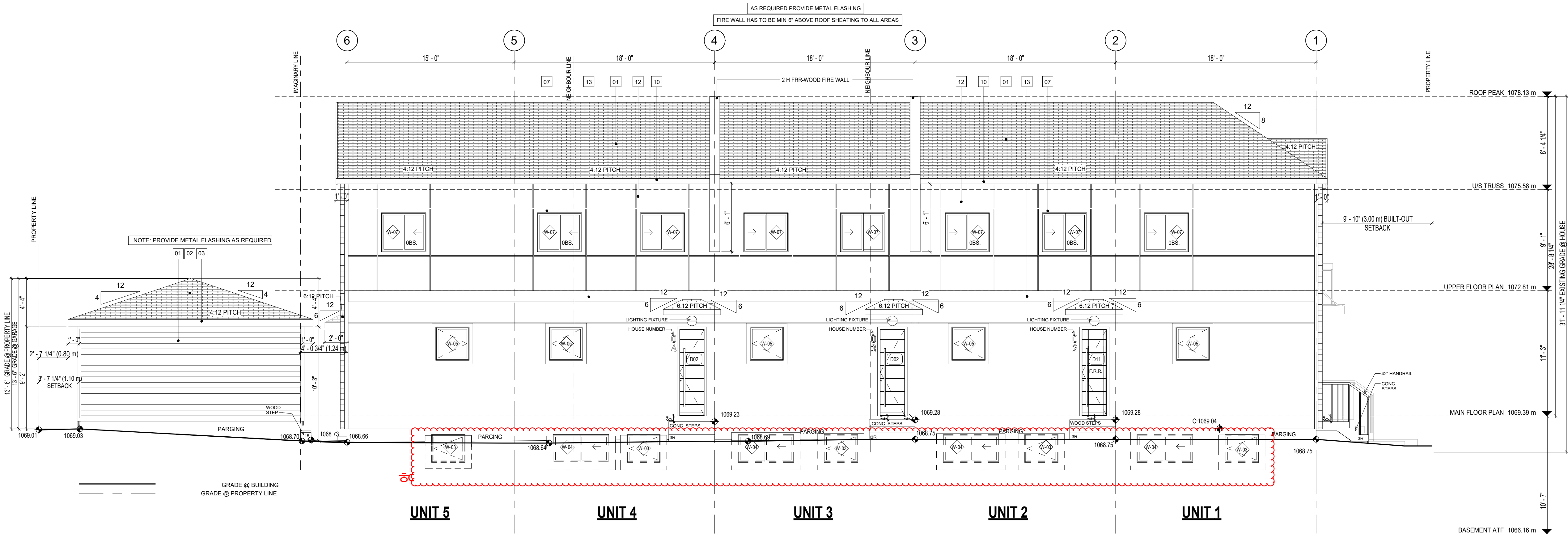
3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	STUCCO LIGHT GRAY
03	HORIZONTAL SIDING - HARDIE (LUX PANELS)
04	BOARD AND BATTEN WHITE
05	STUCCO DARK GRAY
07	4" TRIM
08	2" BATTEN WHITE
09	CORNER BOARD 4"
10	PRE-FINISHED METAL FASCIA
12	STUCCO CLADDING LIGHT GRAY
13	SHADOW BOARD



1 PROPOSED RIGHT (NORTH EAST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS LEFT ELEV.		INCLUDING 2 DOORS
CODE CHECK	1902.37 SQ. FT.	192.31 SQ.M ²
EXPOSED BUILDING FACE	10'-2 1/2"	3.11M
MINIMUM SETBACK	10.22%	
PERCENTAGE OF ALLOWED OPENINGS	200.55 SQ. FT.	18.63 SQ.M ²
SQ. FTG. OF ALLOWED OPENINGS	199.67 SQ. FT.	18.55 SQ.M ²
ACTUAL SQ. FTG. OF OPENINGS	100.28 SQ. FT.	9.32 SQ.M ²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)		



2 PROPOSED LEFT (SOUTH WEAST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

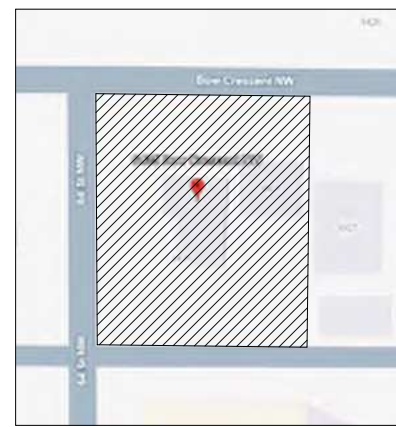


RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricor designs.com

#202 - 4216 10 STREET NE,
CALGARY, AB
AB T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricorg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.

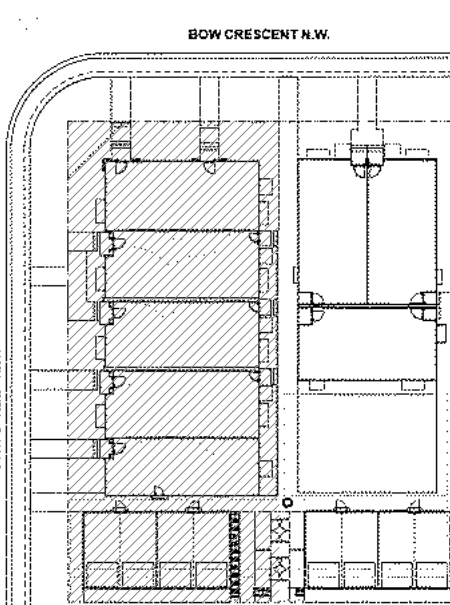
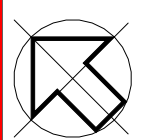
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-21	DTR	N.F.R.N	T.I.
03	2026-06-18	DTR 3	R.E	A.K
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I	
02				
03				
04				
05				



THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17&18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-202

PROJECT NO. :

CHECKED BY:

DATE:

A.K

2026-06-18

25-01840

DRAWN BY:

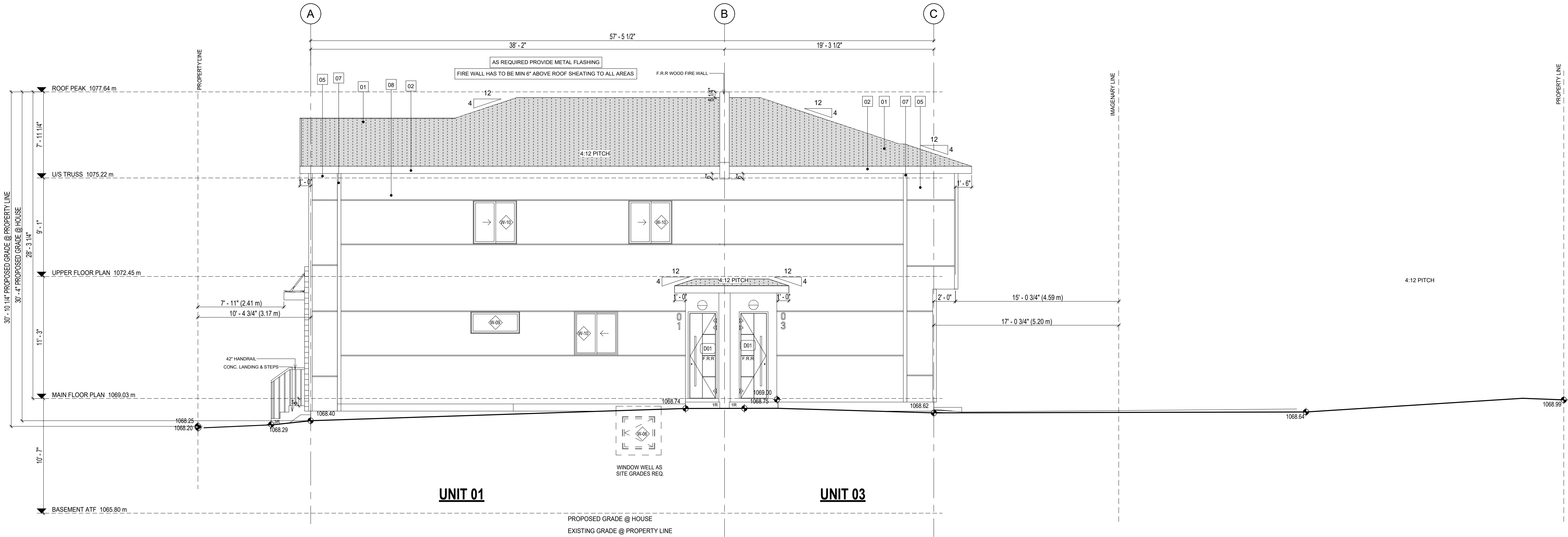
SCALE:

R.E

3/16" = 1'-0"

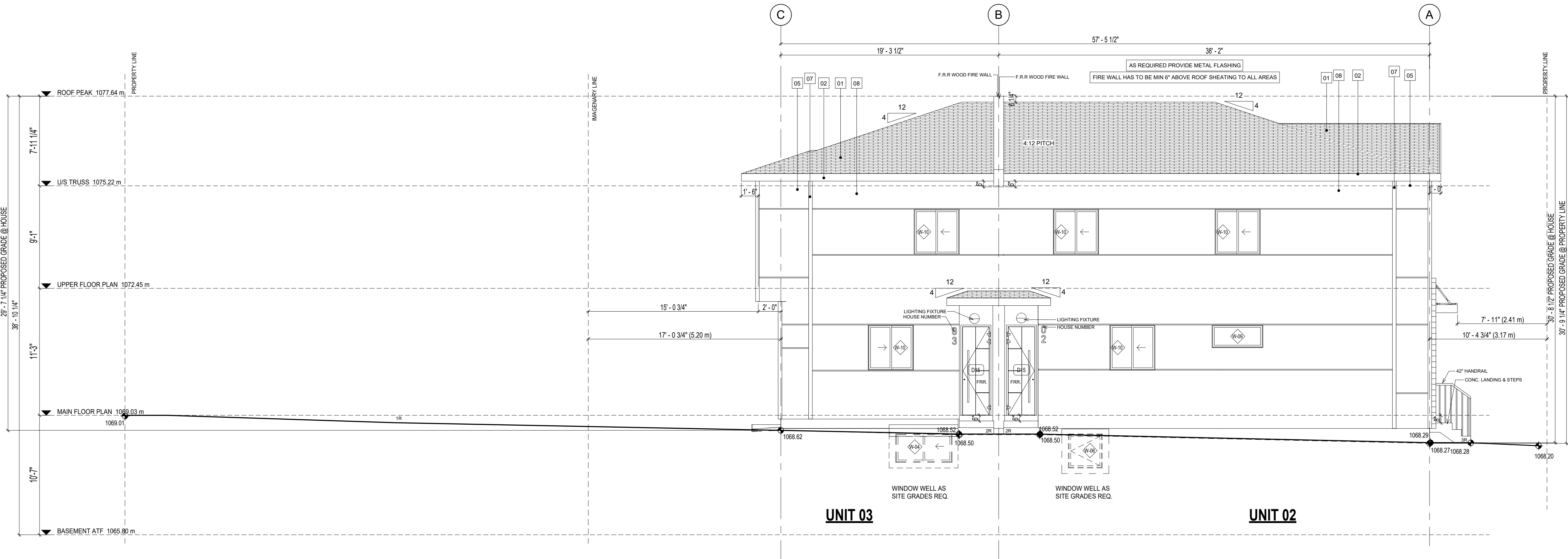
ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
04	SMART BOARD DARK
05	STUCCO CLADDING
05	STUCCO LIGHT GRAY
07	4" TRIM
07	CORNER BOARD 4"
08	STUCCO CLADDING LIGHT GRAY
09	4" GRAY TRIM
10	HORIZONTAL SIDING - HARDIE (LUX PANELS)
11	4" TRIM DARK

UNPROTECTED OPENINGS LEFT ELEV.	
CODE CHECK	
EXPOSED BUILDING FACE	1290.68 SQ. FT. 119.90 SQ.M²
MINIMUM SETBACK	4'-0" 1.23M
PERCENTAGE OF ALLOWED OPENINGS	7.00%
SQ. FTG. OF ALLOWED OPENINGS	90.34 SQ. FT. 8.39 SQ.M²
ACTUAL SQ. FTG. OF OPENINGS	90.19 SQ. FT. 8.37 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	45.17SQ. FT. 4.19 SQ.M²



1 PROPOSED RIGHT (NORTH EAST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS LEFT ELEV.	
CODE CHECK	
EXPOSED BUILDING FACE	1290.68 SQ. FT. 119.90 SQ.M²
MINIMUM SETBACK	4'-0" 1.23M
PERCENTAGE OF ALLOWED OPENINGS	7.00%
SQ. FTG. OF ALLOWED OPENINGS	90.34 SQ. FT. 8.39 SQ.M²
ACTUAL SQ. FTG. OF OPENINGS	90.19 SQ. FT. 8.37 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	45.17SQ. FT. 4.19 SQ.M²



2 PROPOSED LEFT (SOUTH WEST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

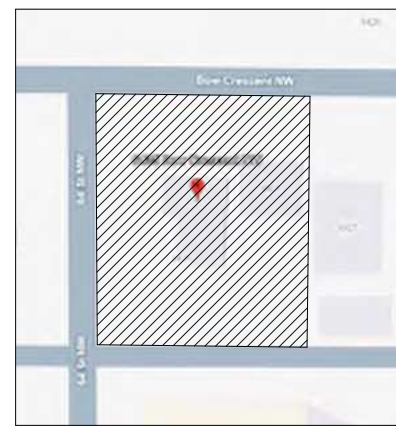


RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE,
CALGARY, AB
AB T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricorgp.ca

KEY PLAN



NOTES

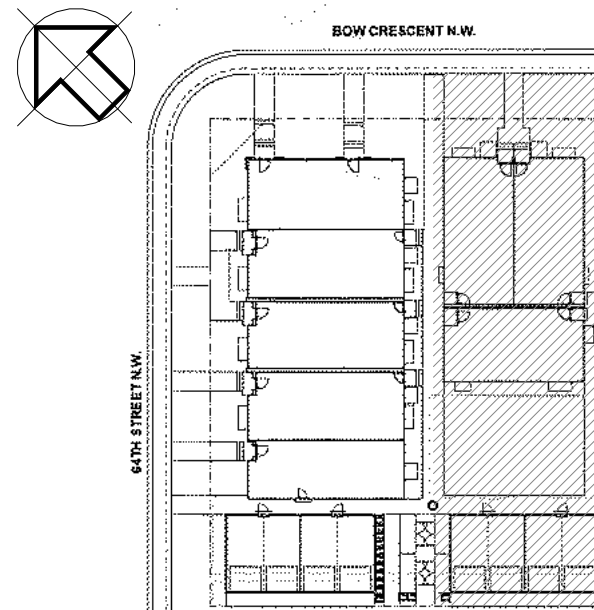
- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-21	DTR	N.F.R.N	
03	2026-06-11	DTR 3	R.E	A.K
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I	
02				
03				
04				
05				



THE CLIENT:

KOZEE HOMES LTD.

PROJECT:

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 & 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-204

PROJECT NO.:

CHECKED BY:

DATE:

25-01840

DRAWN BY:

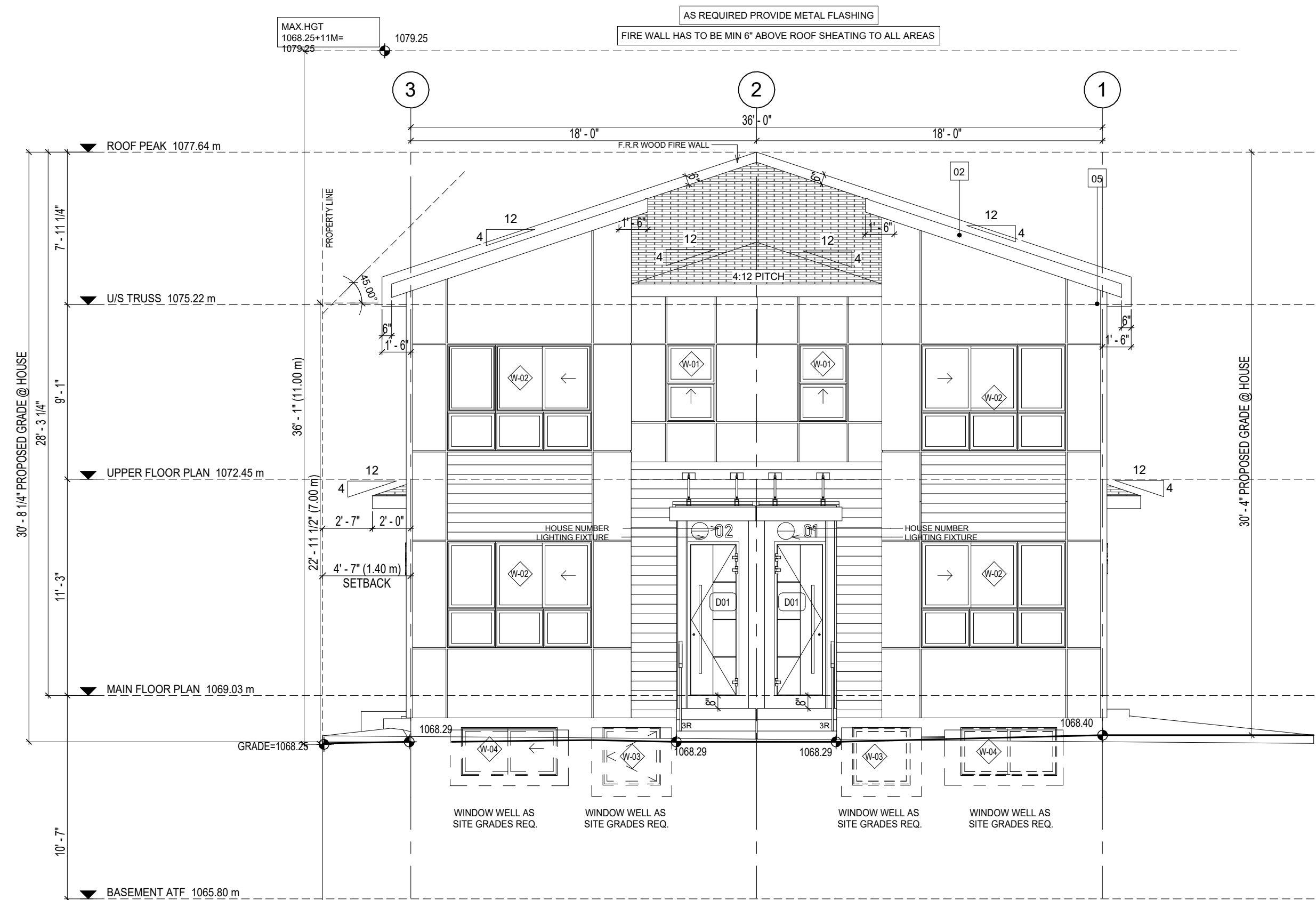
2026-06-11

R.E

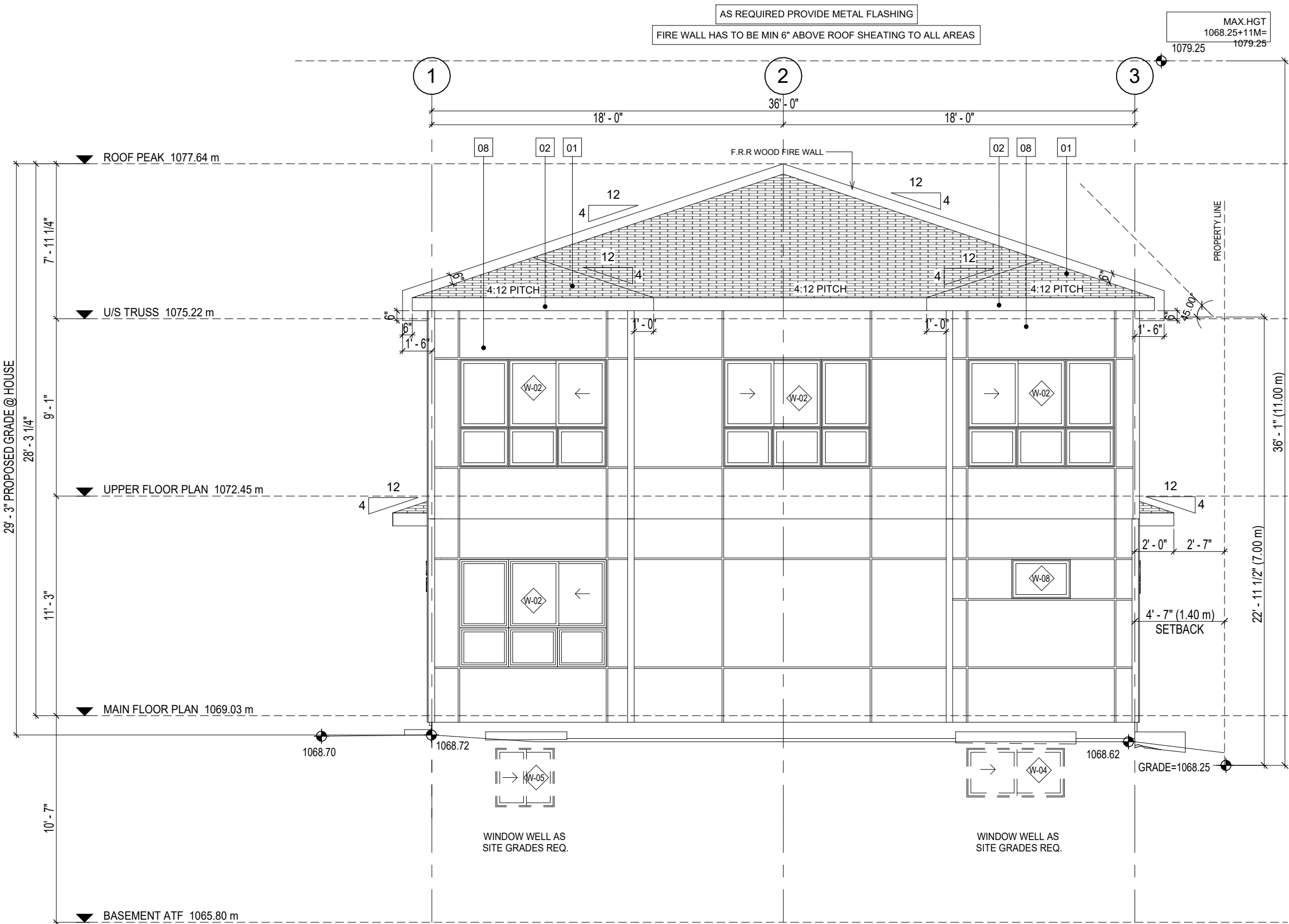
SCALE:

3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
04	SMART BOARD DARK
05	STUCCO CLADDING
05	STUCCO LIGHT GRAY
07	4" TRIM
07	CORNER BOARD 4"
08	STUCCO CLADDING LIGHT GRAY
09	4" GRAY TRIM
10	HORIZONTAL SIDING - HARDIE (LUX PANELS)
11	4" TRIM DARK



2 PROPOSED FRONT (NORTH WEST) ELEVATION
3/16" = 1'-0"



1 PROPOSED REAR (SOUTH EAST) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS LEFT ELEV.			
CODE CHECK			
EXPOSED BUILDING FACE	777.22 SQ. FT.	72.20 SQ.M	
MINIMUM SETBACK	17'-1"	5.20 M	
PERCENTAGE OF ALLOWED OPENINGS	40%		
SQ. FTG. OF ALLOWED OPENINGS	310.88 SQ. FT.	28.88 SQ.M	
ACTUAL SQ. FTG. OF OPENINGS	173.00 SQ. FT.	16.07 SQ.M	
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	155.44 SQ. FT.	14.44 SQ.M	

DESIGNED BY:

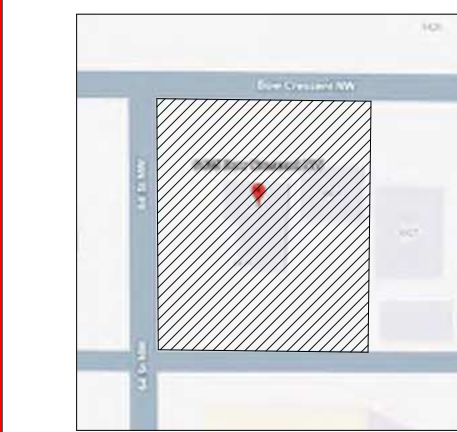


RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE,
CALGARY, AB
AB T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

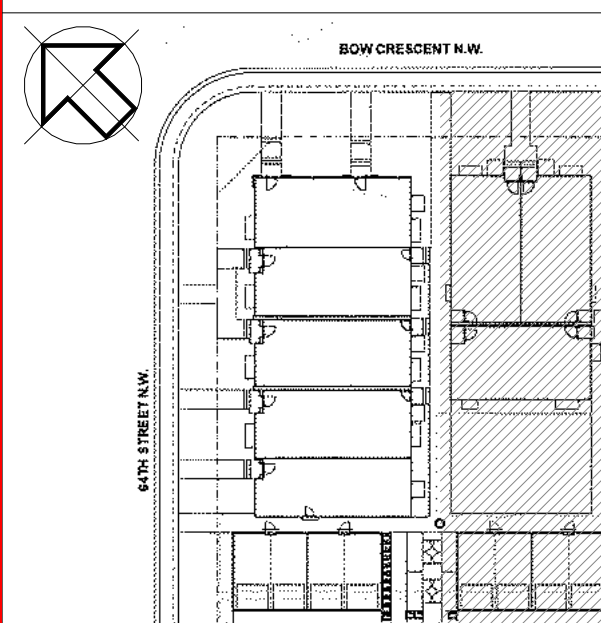
- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2026-01-12	COMMENTS	E.R.	T.I.
02	2026-04-21	DTR	N.F.R.N	
03	2026-06-11	DTR 3	R.E	A.K
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-12-11	DEVELOPMENT PERMIT SET	T.I	
02				
03				
04				
05				



THE CLIENT :

KOZEE HOMES LTD.

PROJECT :

8_PLEX

ADDRESS:

6431 & 6435 - BOW CRESCENT N.W.
CALGARY, ALBERTA
LOTS 17 & 18; BLOCK 4; PLAN 4610 AJ

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-203

PROJECT NO. :

CHECKED BY:

DATE:

-

2026-06-11

25-01840

DRAWN BY:

SCALE:

R.E

3/16" = 1'-0"