

This is a **contextual** application

What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



Contextual Semi-detached dwellings

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

-  The City
-  The public

Semi-detached dwellings

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

-  The City
-  The public

Tip: Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

Contextual Semi-detached dwellings applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

What if the application does not meet the rules?

If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Semi-detached** dwellings which would allow The City and the public to comment.

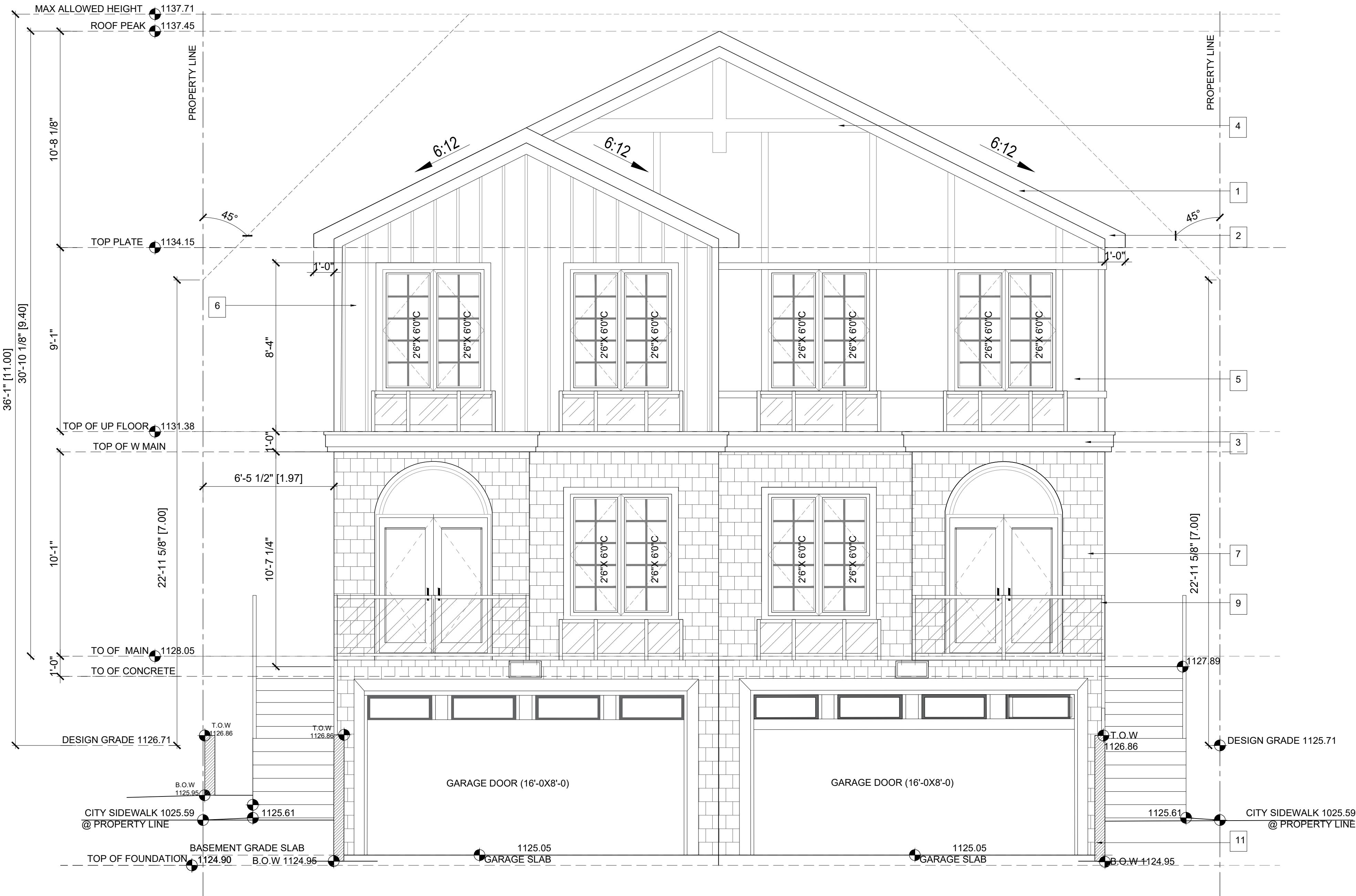


The City has reviewed this application and determined that it meets the contextual rules.

These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.

Learn more at:
Calgary.ca/development

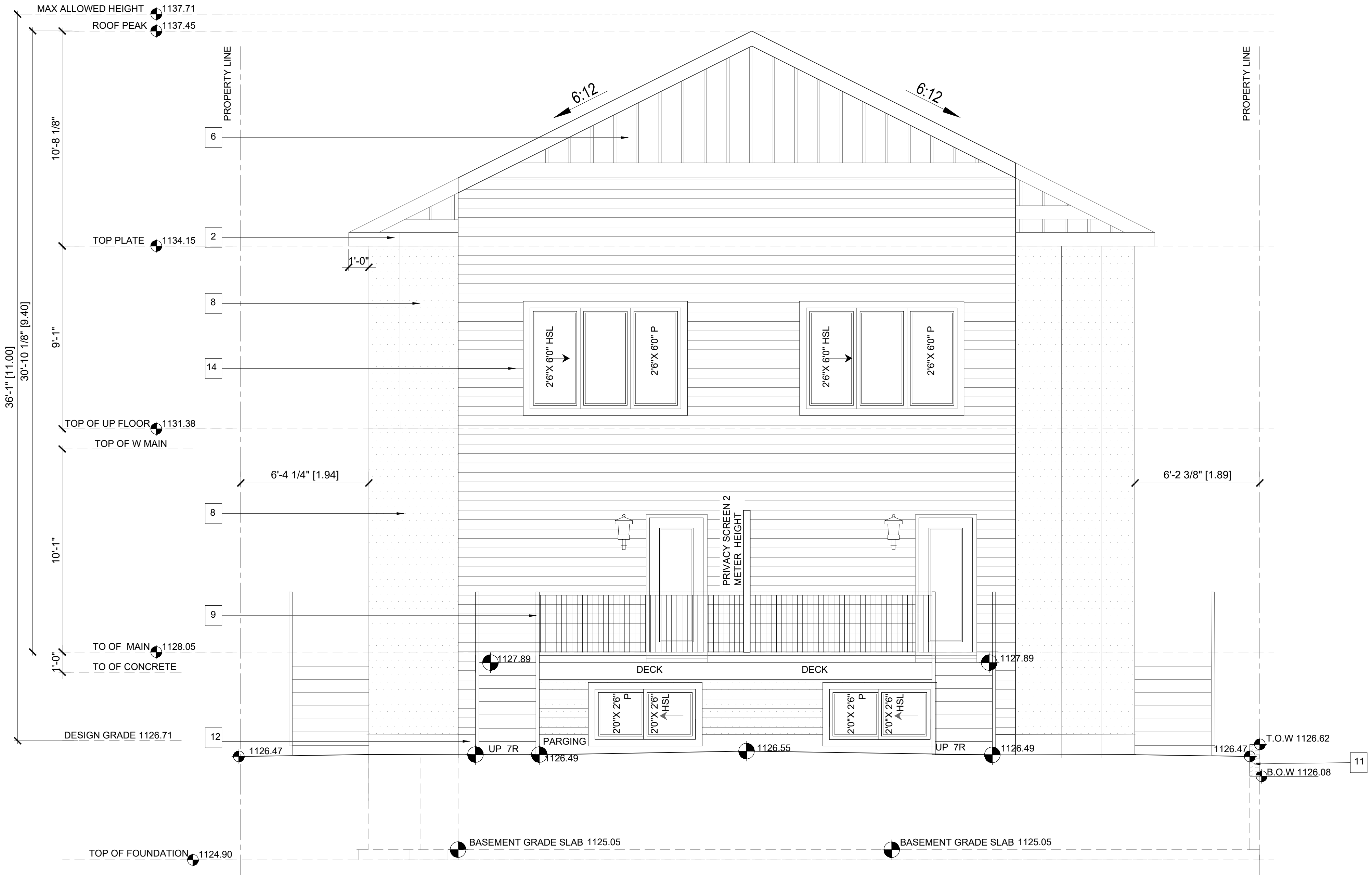
EXTERIOR FINISHES:			
1	ASPHALT SHINGLE	8	STUCCO
2	8" ALUMINUM FASCIA	9	42" ALUMINUM RAILING
3	12" ALUMINUM FASCIA	10	CAST IN PLACE CONCRETE
4	DECORATIVE TRUSS	11	WOODEN RETAINING WALL
5	SMART BOARD PANEL	12	CONCRETE PARGING
6	SMART BOARD BATTEN	13	PRIVACY WALL
7	STONE	14	HORIZONTAL SIDING



(FRONT)
EAST ELEVATION
SCALE: 1/8"=1'0"
UNIT -1

UNIT -2

EXTERIOR FINISHES:			
1	ASPHALT SHINGLE	8	STUCCO
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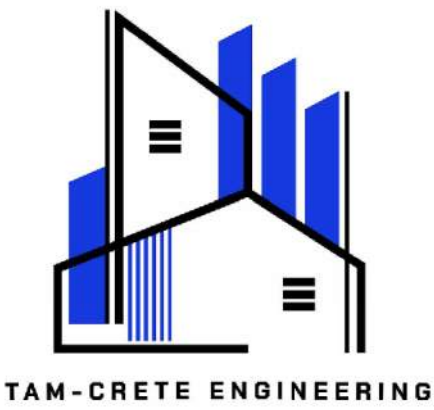
(REAR)
WEST ELEVATION
SCALE: 1/8"=1'0"
UNIT -2

UNIT -1

-WALL AREA -----372 SQ.FT OR 35 SQ.M
-LIMITING DISTANCE 6 m
-MAXIMUM ALLOWED DISTANCE =69% = 256.68 SQ. FT
-PROVIDED UNPROTECTED OPENINGS = 79.58 SQ.FT= 21.39%

-WALL AREA -----354.13 SQ.FT OR 32.9 SQ.M
-LIMITING DISTANCE 6 m
-MAXIMUM ALLOWED DISTANCE =69% = 244.35 SQ. FT
-PROVIDED UNPROTECTED OPENINGS = 79.58 SQ.FT= 22.47%

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SHEET NO.

CN - 2424 - xxx - xx - xxx
CANADA
PROJ. NO
SHEET NO.
DISCIPLINE
BLOCK

REV	DATE	ISSUED FOR	DRN	APR

CLIENT:

SMART DREAM DEVELOPMENT

PROJECT NAME:

WILDWOOD

PROJECT ADDRESS: 21 WILDWOOD DRIVE S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION: LOT 23
BLOCK 8
PLAN 7986 GW

SHEET TITLE :

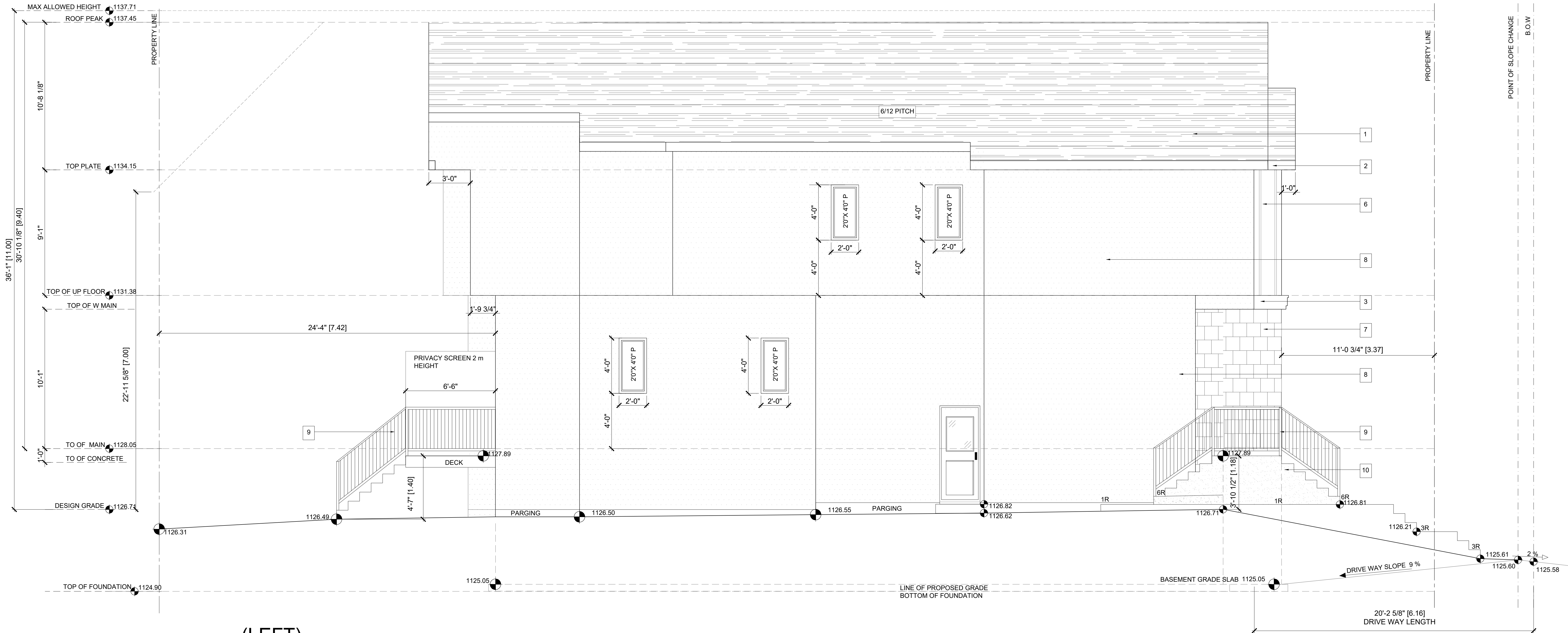
BUILDING ELEVATIONS (WEST &EAST)
SHEET - 06

SHEET No.:
CN-09690-B01-BE-04

REV.
0

SCALE:
Date : DEC. 12, 2025

EXTERIOR FINISHES:	
1 ASPHALT SHINGLE	8 STUCCO
2 8" ALUMINUM FASCIA	9 42" ALUMINUM RAILING
3 12" ALUMINUM FASCIA	10 CAST IN PLACE CONCRETE
4 DECORATIVE TRUSS	11 WOODEN RETAINING WALL
5 SMART BOARD PANEL	12 CONCRETE PARGING
6 SMART BOARD BATTEN	13 PRIVACY WALL
7 STONE	14 HORIZONTAL SIDING



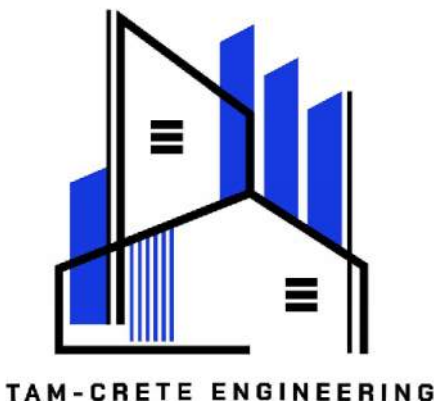
(LEFT)
SOUTH ELEVATION

SCALE: 1/8"=1'0"

UNIT -1

- WALL AREA -----1438.47 SQ.FT OR 133.63 SQ.M
- LIMITING DISTANCE 1.22 m
- MAXIMUM ALLOWED DISTANCE =7% = 100.69 SQ.FT
- PROVIDED UNPROTECTED OPENINGS = 52.33 SQ.FT

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CLIENT:

SMART DREAM DEVELOPMENT

PROJECT NAME:

WILDWOOD

PROJECT ADDRESS: 21 WILDWOOD DRIVE S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION: LOT 23
BLOCK 8
PLAN 7986 GW

SHEET TITLE :

BUILDING ELEVATIONS (NORTH)
SHEET - 05

SHEET No.:

CN-09690-B01-BE-07

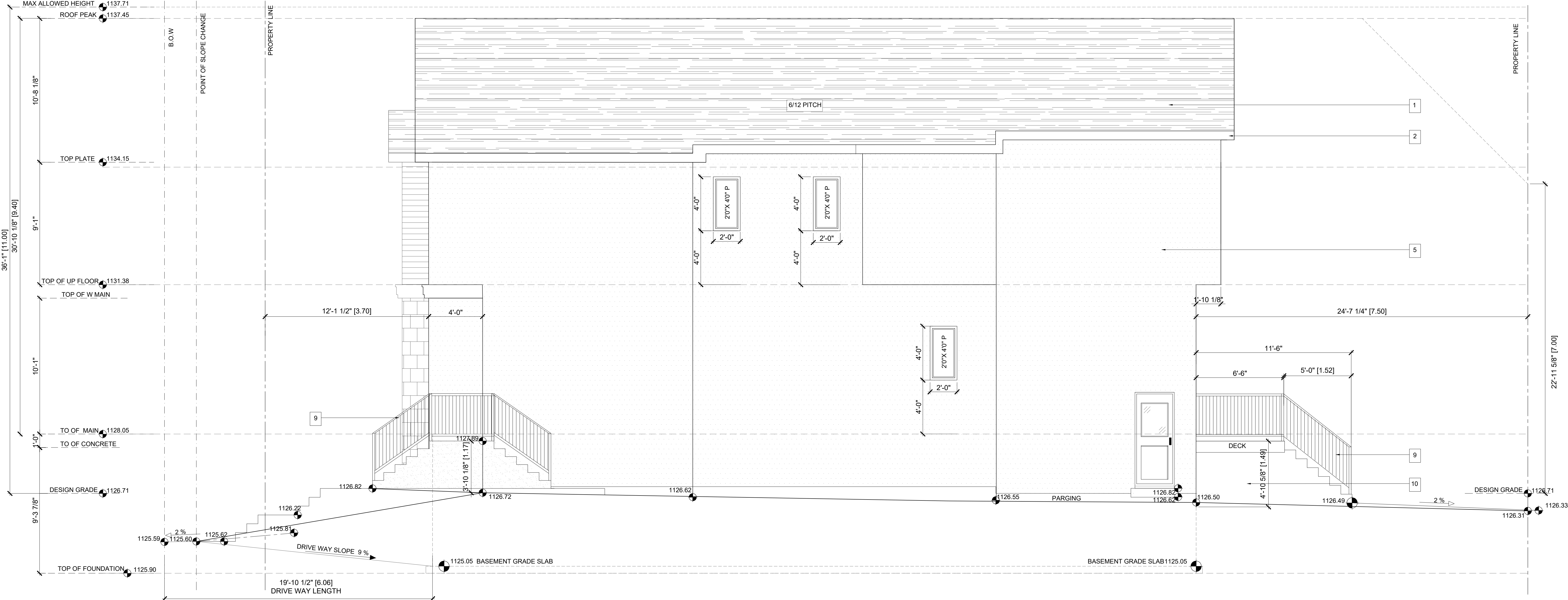
REV.

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SCALE:

Date : DEC.12, 2025

EXTERIOR FINISHES:	
1 ASPHALT SHINGLE	8 STUCCO
2 8" ALUMINUM FASCIA	9 42" ALUMINUM RAILING
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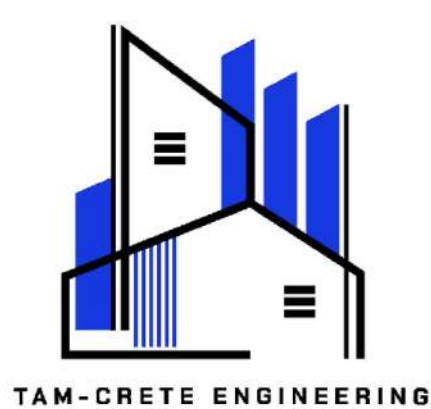
(RIGHT) NORTH ELEVATION

SCALE: 1/8"=1'0"

UNIT -2

-WALL AREA -----1473.21 SQ.FT OR 136.86 SQ.M
-LIMITING DISTANCE 1.22 m
-MAXIMUM ALLOWED DISTANCE =7% = 103.12 SQ.FT
-PROVIDED UNPROTECTED OPENINGS = 44.32 SQ.FT = 3%

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CN - 2424 - xxx - xx - xxx

CANADA

PROJ. NO. _____

SHEET NO.

DISCIPLINE

BLOCK

REV	DATE	ISSUED FOR	DRN	APP

CLIENT:

SMART DREAM DEVELOPMENT

PROJECT NAME:

WILDWOOD

PROJECT ADDRESS: 21 WILDWOOD DRIVE S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION: LOT 23
BLOCK 8
PLAN 7986 GW

SHEET TITLE :

BUILDING ELEVATIONS (SOUTH)
SHEET - 06

SHEET No.:

CN-09690-B01-BE-08

REV.

0

SCALE:

Date : DEC. 12, 2025

SITE PLAN

MUNICIPAL ADDRESS:
21 WILDWOOD DRIVE S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 23
BLOCK 8
PLAN 7986 GW

PREPARED FOR: Smart Dreams Development

DATE OF SURVEY: October 15th, 2025

0 2 4 8 12 16 20 METRES

SCALE: 1:200

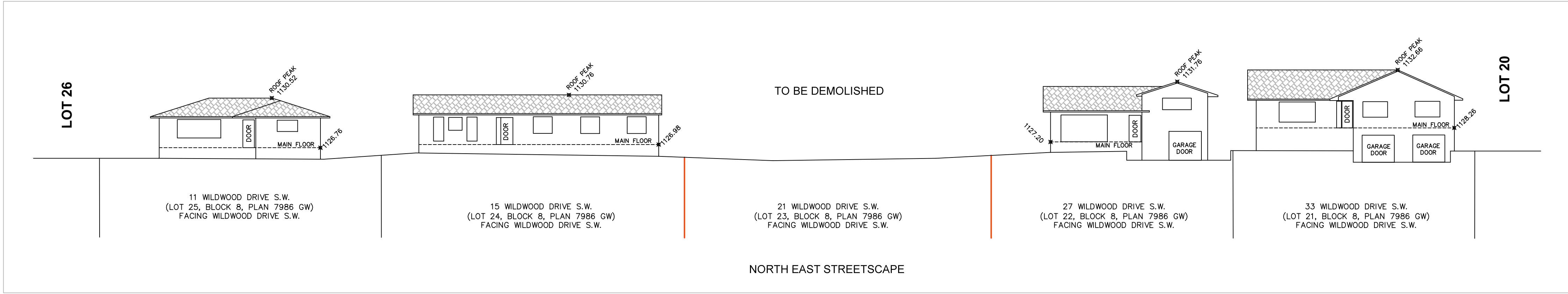
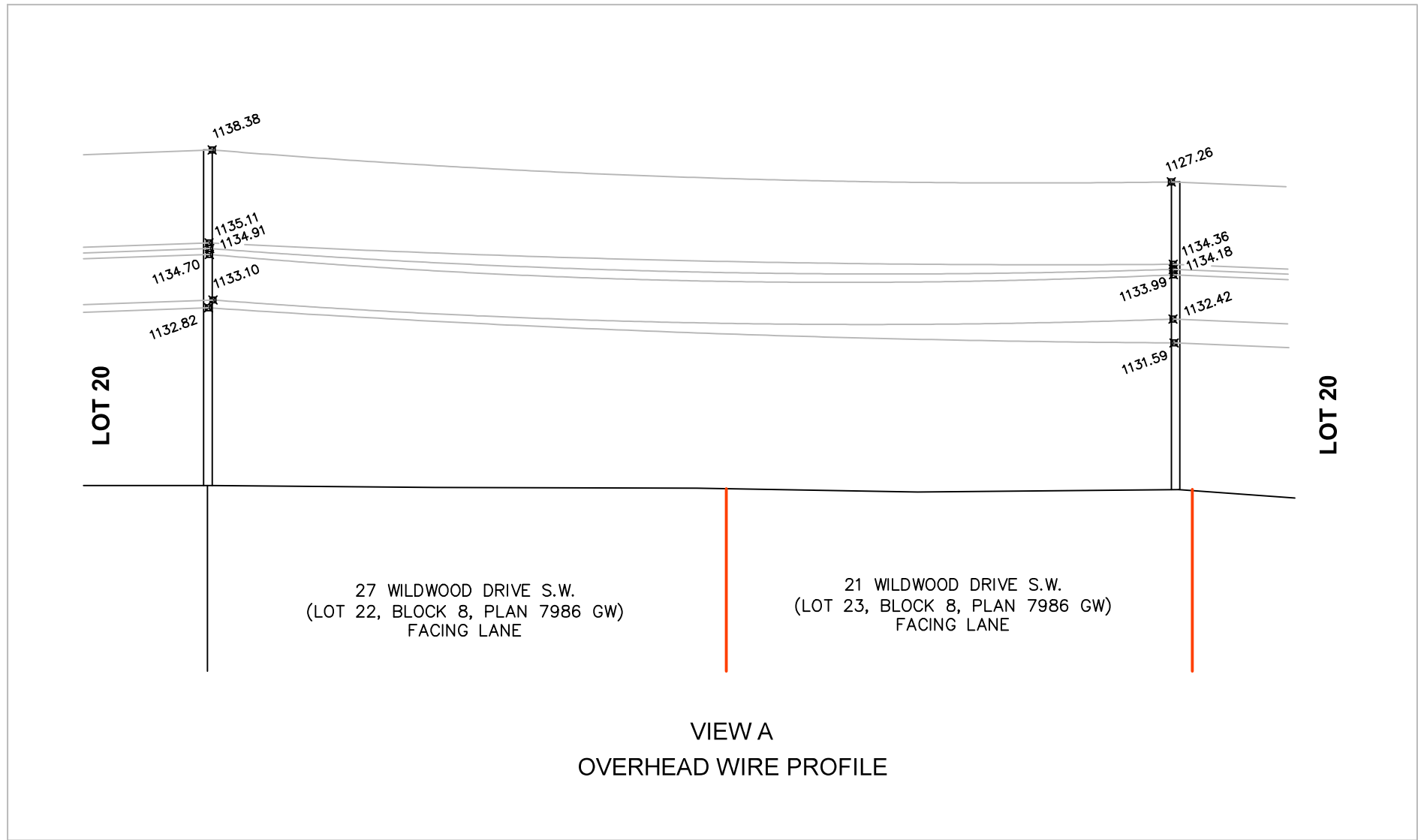
- LEGEND:
- Subject Property Line
 - Right of Way Line
 - Eave Line
 - Fence Line
 - Sanitary Line
 - Storm Line
 - Water Line
 - Gas Line
 - Overhead Wire
 - A.G.T. Line
 - Door
 - Second Floor Window
 - Main Floor Window
 - Basement Floor Window
 - Calculation points
 - Power Pole
 - Power Anchor
 - Light Pole
 - Manhole
 - Catch Basin
 - Water Valve
 - Gas Valve
 - Sign
 - Fire Hydrant
 - Tree
 - Main Building Hatch
 - Detached Garage Hatch
 - Shed Hatch
 - Concrete and Asphalt Hatch
 - Wood Hatch
 - Roof Hatch

'2F.'-Second Floor
'BC'-Back of Curb
'BW'-Back of Walkway
'Cant.'-Cantilever
'conc.'-Concrete
'Elev.'-Elevation
'Enc.'-Encroach(es)
'L'-Length of Arc
'LG'-Lip of Gutter
'M.F.'-Main Floor
'MFE'-Main Floor Elevation
'R'-Radius
'R/W'-Right of Way
'Ret.'-Retaining
'RPE'-Roof Peak Elevation
'WB'-Bottom of Wall
'WT'-Top of Wall

- NOTE:
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3 Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999725
 - Distances are in ground and are shown in metres and decimals thereof.
 - Distances along curves are arc distances.
 - Elevations are derived from ASCM 214171.
 - Existing spot elevations are shown thus: X 1000.00
 - The Certificate of Title 151 224 157 which was Searched on the 09th day of October, 2025, and includes the following instruments:
Utility Right of Way No. 6672 HB
 - The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 17, 39, 46 & 153 in Sec.24-Twp.24-Rge.2-W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

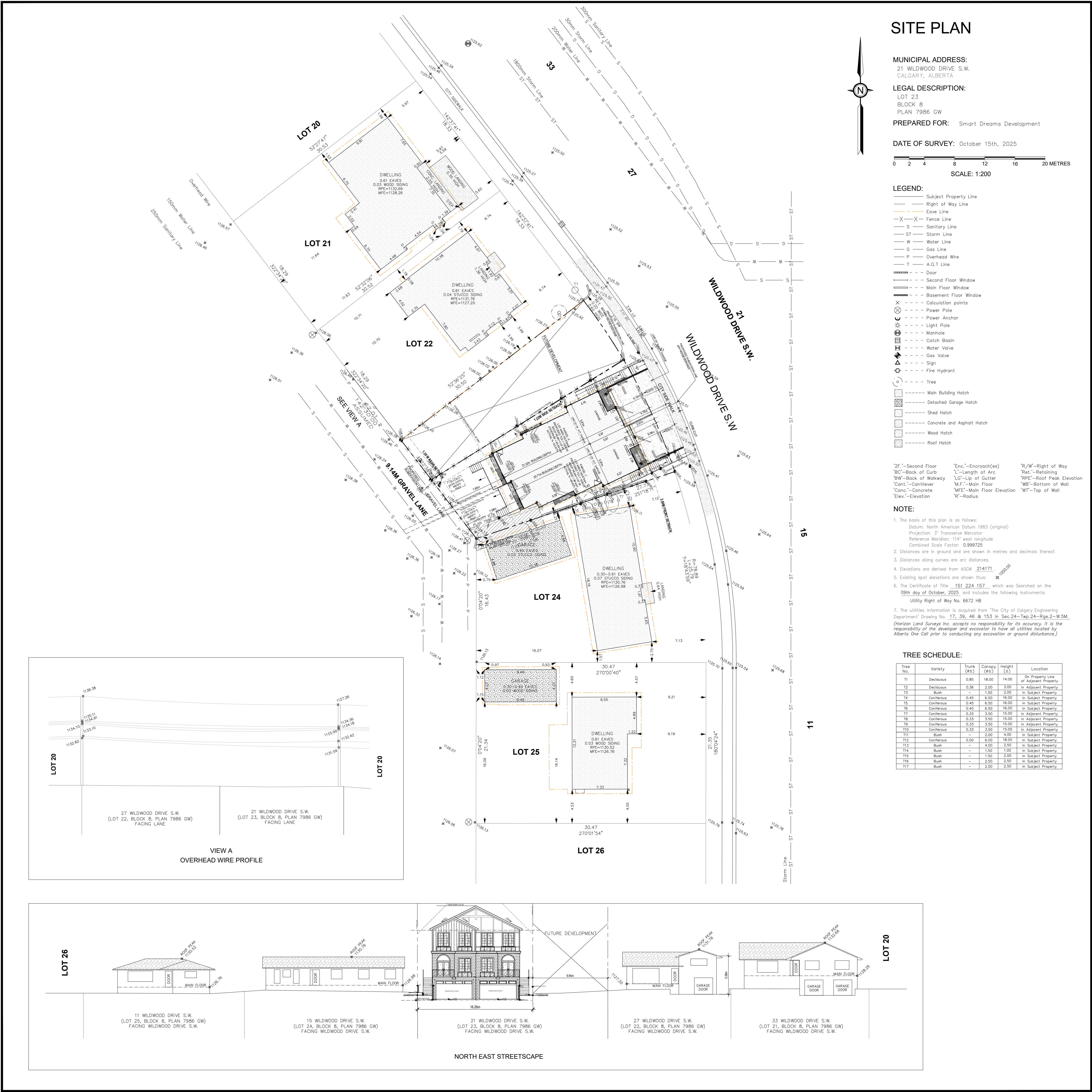
TREE SCHEDULE:

Tree No.	Variety	Trunk (±)	Canopy (±)	Height (±)	Location
T1	Deciduous	0.85	18.00	14.00	On Property Line of Adjacent Property
T2	Deciduous	0.36	2.00	3.00	In Adjacent Property
T3	Bush	-	1.50	2.00	In Subject Property
T4	Coniferous	0.45	6.50	16.00	In Subject Property
T5	Coniferous	0.45	6.50	16.00	In Subject Property
T6	Coniferous	0.40	6.50	16.00	In Subject Property
T7	Coniferous	0.33	3.50	15.00	In Adjacent Property
T8	Coniferous	0.33	3.50	15.00	In Adjacent Property
T9	Coniferous	0.33	3.50	15.00	In Adjacent Property
T10	Coniferous	0.33	3.50	15.00	In Adjacent Property
T11	Bush	-	2.00	4.00	In Subject Property
T12	Coniferous	0.50	6.00	18.00	In Subject Property
T13	Bush	-	4.00	2.50	In Subject Property
T14	Bush	-	1.50	1.00	In Subject Property
T15	Bush	-	1.50	2.00	In Subject Property
T16	Bush	-	2.50	2.50	In Subject Property
T17	Bush	-	2.00	2.50	In Subject Property

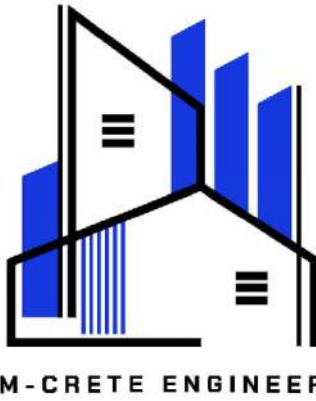


Category	Requirement	Provided	Compliance	Clause / Reference	Comments
Front Setback	min 3.0 M	3.69 m	✓	Part 5 Sec.537	
Rear Setback (lane)	min 1.2 m	7.61 m	✓	part 5 Sec.540(1)	
Side Setbacks	min 1.2 m	1.22 m	✓	Part 5 Sec.539	
PARCEL AREA	N/A	183.67sqm	✓		
DENSITY	MAX 75 PER HECTAR	54.4	✓	Part 5 clause 529	
COVERAGE(%)	MAX 50 % for density more than 50 units per hectar	46.82%	✓	Part 5 clause 534	
COVERAGE (SQM)	MAX 91.84 SQM	86 sqm	✓	Derived	
building depth	Max 22.36 m as per the calculations in the comment section	20.64 m	✓	Part 5 clause 347.1 point no 3 "The maximum building depth of a Contextual Semi-detached Dwelling is the greater of: a-60.0 per cent of the parcel depth; or b-the contextual building depth average."37 "contextual building depth average" means: 3P2010 where there are at least two other buildings on the same block face, the average building depth of the contextual adjacent buildings plus 4.6 metres;	Average building depth = 17.76 m for the 22 houses on the same block face. Average Contextual building depth= average buildings depth +4.6 m=22.36 meter
Front access Garage	Front attached allowed if ≥50% block face or there is existing driveway ,development authority must not required removal of the existing driveway	double private garages	✓	Part 5 Sec.341 point 6 and 8 6-In the Developed Area a driveway accessing a street must not be constructed, altered or replaced except where: (b)it is located on a laned parcel and 50.0 per cent or more parcels on the same block face have an existing driveway accessing a street ; or (c)there is a legally existing driveway that it is not being relocated or widened. 8-Where a parcel is the subject of development, the Development Authority must not require the removal of a legally existing driveway accessing a street even where the proposed development is a discretionary use.	No of house on the same block face=22 .No of houses with front driveway +17 . %≈77.27 More than 50 % . Also there is existing driveway on the parcel

Category	Requirement	Provided	Compliance	Clause / Reference	Comments
Front Setback	min 3.0 M	3.97	✓	Part 5 Sec.537	
Front Setback (lane)	min 1.2 m	7.61 m	✓	part 5 Sec.540(1)	
Side Setbacks	min 1.2 m	1.22 m	✓	Part 5 Sec.539	
PARCEL AREA	N/A	192.36 sqm	✓		
DENSITY	MAX 75 PER HECTAR	51.99	✓	Part 5 clause 529	
COVERAGE(%)	MAX 50 % for density more than 50 units per hectar	43.97%	✓	Part 5 clause 534	
COVERAGE (SQM)	MAX 96.315 SQM	84.69 sqm	✓	Derived	
building depth	Max 22.36 m as per the calculations in the comment section	20.64 m	✓	Part 5 clause 347.1 point no 3 "The maximum building depth of a Contextual Semi-detached Dwelling is the greater of: a-60.0 per cent of the parcel depth; or b-the contextual building depth average."37 "contextual building depth average" means: 3P2010 where there are at least two other buildings on the same block face, the average building depth of the contextual adjacent buildings plus 4.6 metres;	Average building depth = 17.76 m for the 22 houses on the same block face. Average Contextual building depth= average buildings depth +4.6 m=22.36 meter
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CN - 2424 - xxx - xx - xxx
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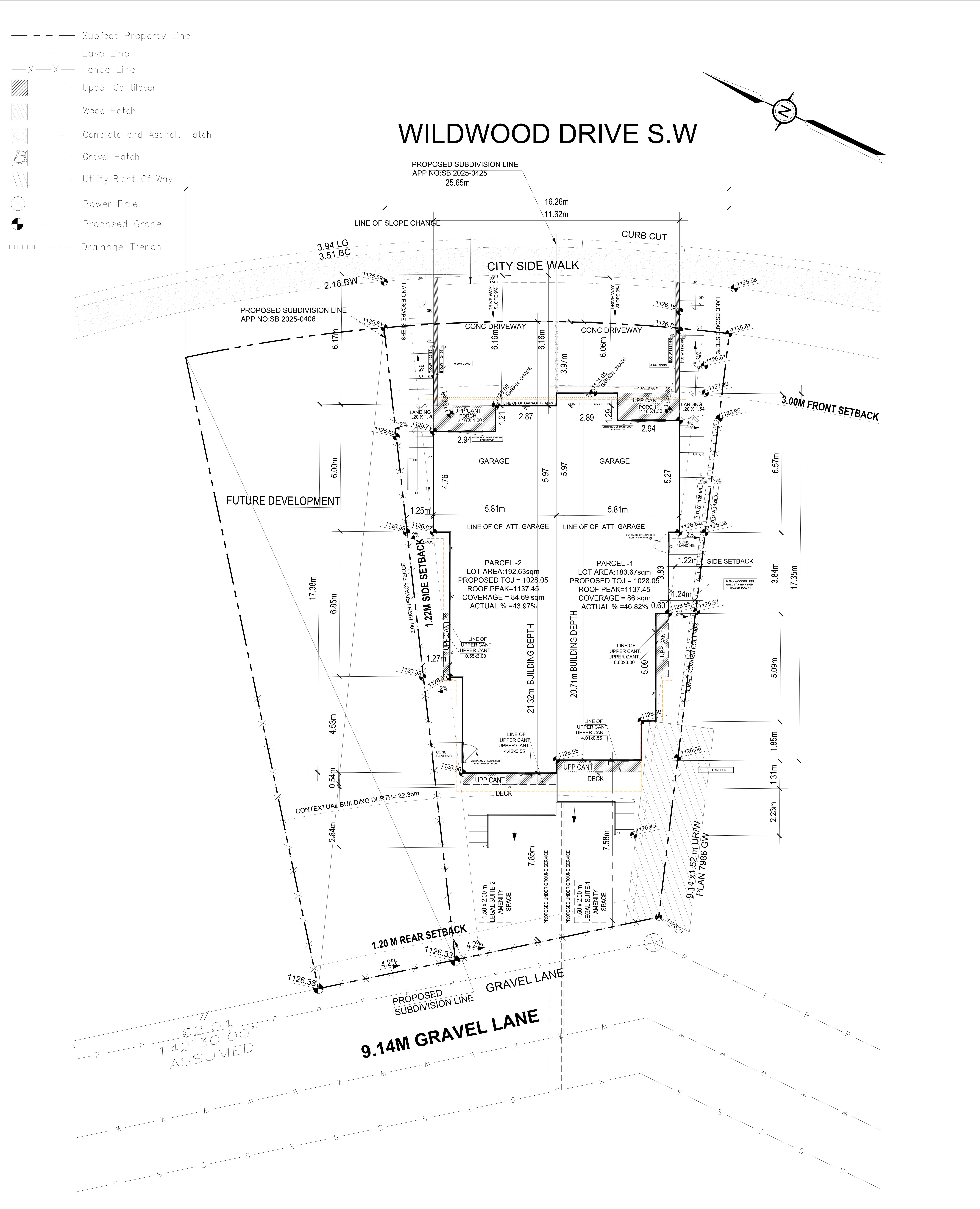
BUILDING ELEVATIONS (WEST & EAST)
SHEET - 01

SHEET No.:
CN-09690-B01-BE-06

REV.
0

SCALE:

Date : DEC. 12, 2025



ENGINEER:



TAM-CRETE ENGINEERING

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SHEET NO.

CN - 2424 - xxx - xx - xxx

CANADA

PROJ. NO.

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DISCIPLINE

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21 WILDWOOD DRIVE S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:

LOT 23
BLOCK 8
PLAN 7986 GW

SHEET TITLE :

BUILDING ELEVATIONS (SOUTH)
SHEET - 02

SHEET No.:

CN-09690-B01-BE-08

REV.

0

SCALE: 1:200

Date : DEC. 12, 2025