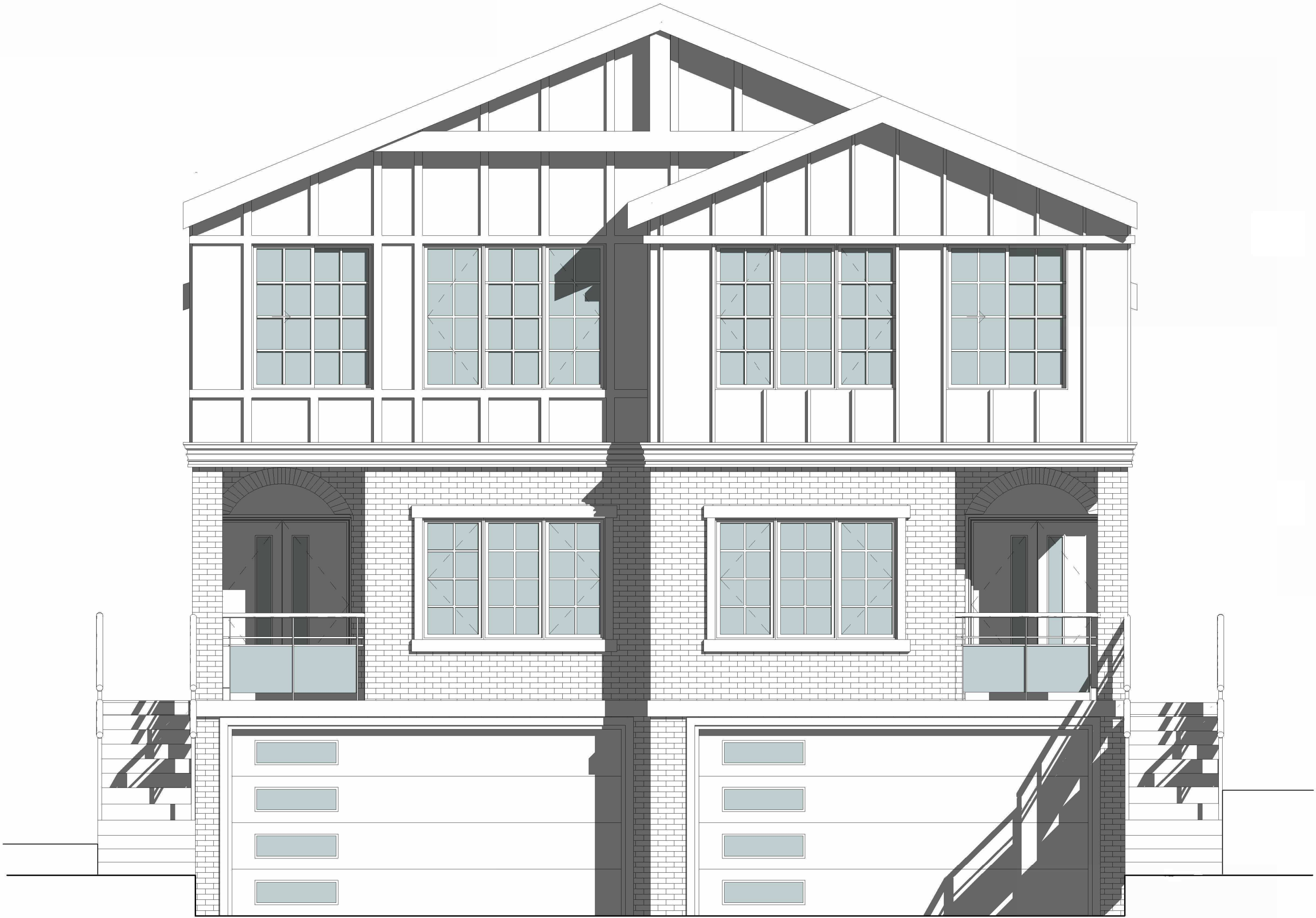


SEMI-DETACHED
21 WILLWOOD DRIVE SW,
CALGARY, AB



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-03-11

REV. DATE : -

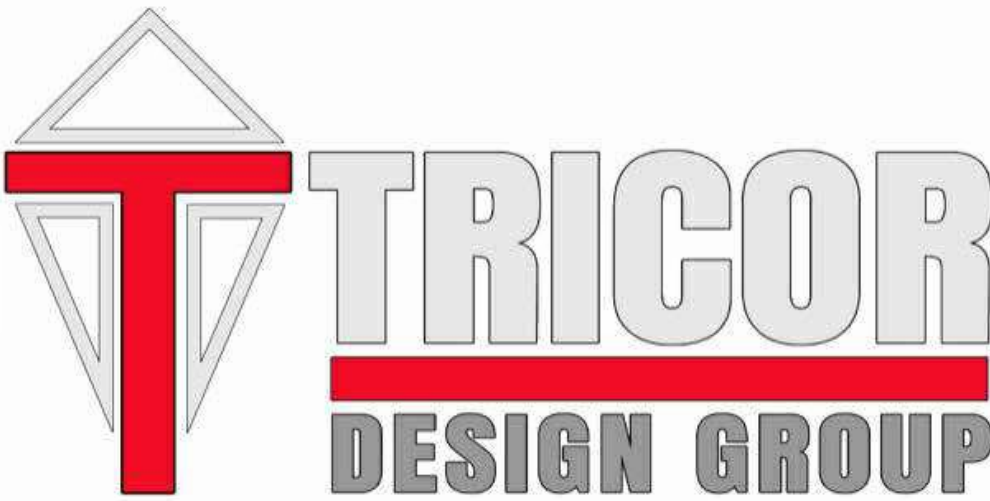
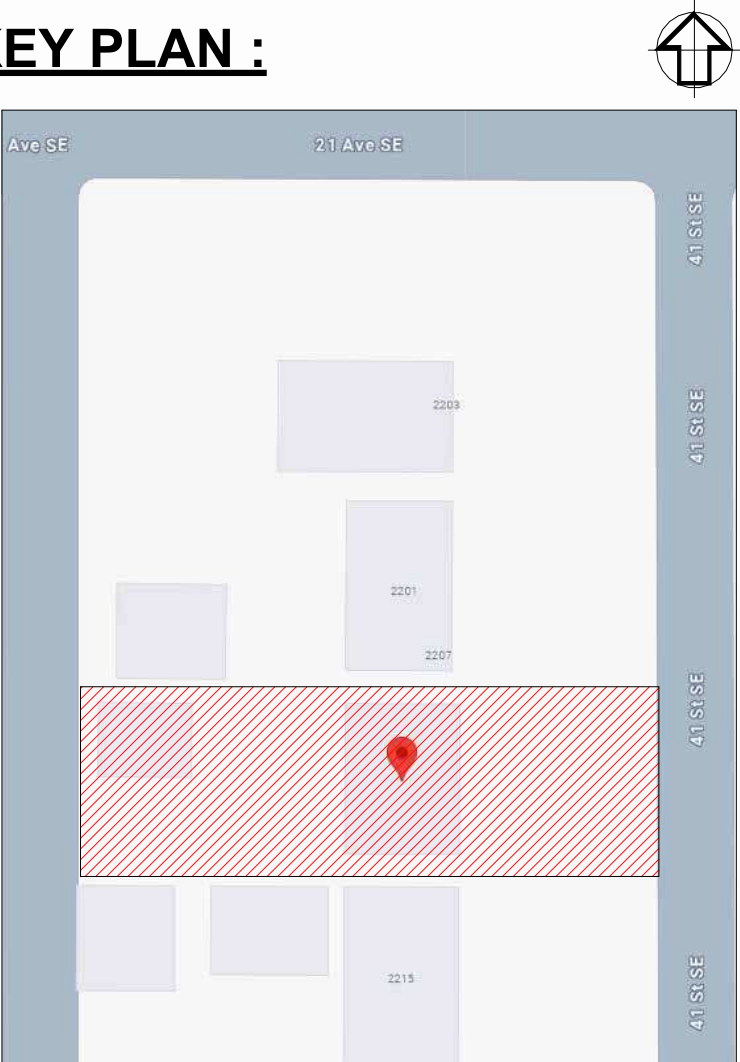
LIST OF DRAWINGS:

- G-001 GENERAL NOTES
- A-001 EXISTING SURVEY
- A-002 PROPOSED & EXISTING SITE PLAN
- A-003 PROPOSED SITE PLAN
- A-004 STREETSCAPE
- A-101 PROPOSED BASEMENT AND MAIN FLOOR PLAN
- A-102 PROPOSED UPPER FLOOR PLAN AND LOFT PLAN
- A-201 PROPOSED FRONT AND REAR ELEVATION
- A-202 PROPOSED RIGHT AND LEFT ELEVATION
- A-301 BUILDING SECTIONS AND ROOF PLAN

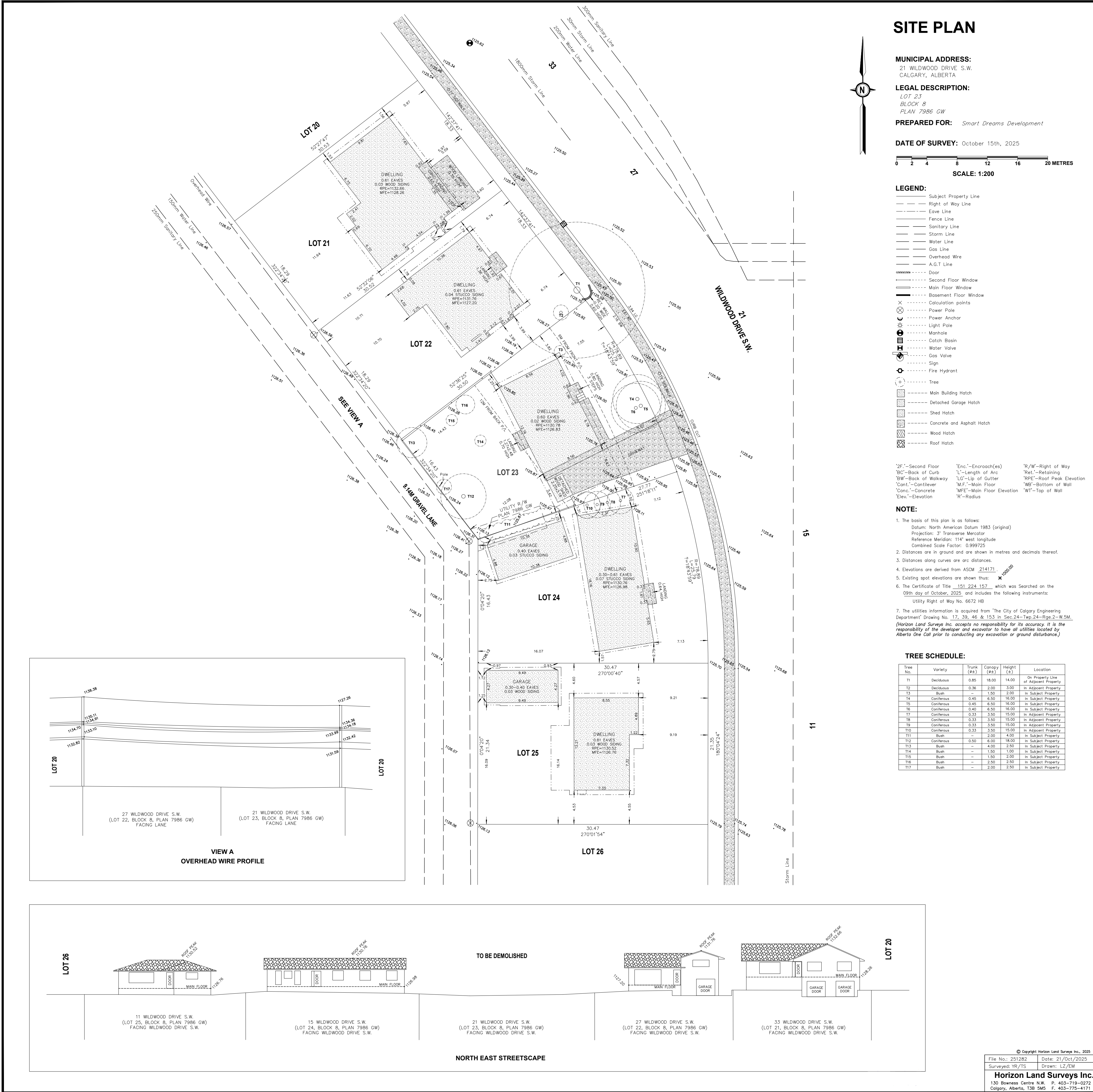
UNIT 1			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	834.00	77.48
	UPPER FLOOR	870.00	80.83
	LOFT FLOOR	354.00	32.89
	TOTAL	2058.00	191.19
	BASEMENT FLOOR	436.00	40.51
	GRAND TOTAL	2494.00	231.70
	GARAGE	377.00	35.02
	PATIO	113.00	10.50
	PORCH	50.00	4.65

UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	841.00	78.13
	UPPER FLOOR	875.00	81.29
	LOFT FLOOR	354.00	32.89
	TOTAL	2070.00	192.31
	BASEMENT FLOOR	443.00	41.16
	GRAND TOTAL	2513.00	233.47
	GARAGE	377.00	35.02
	PATIO	108.00	10.03
	PORCH	50.00	4.65

KEY PLAN :



#202, 4216 10th Street NE Calgary,
Alta T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordesigns.com
www.tricordesigns.com



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DESIGN GROUP

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.

tricordesigns.com

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CALGARY, AB.
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REVISIONS:

No.	Date	Description	DRAWN By	CHK'd By
01				
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	CHK'd By
01				
02				
03				
04				
05				

THE CLIENT :

SMART DREAM HOMES

PROJECT :

SEMI-DETACHED

ADDRESS :

21 WILLWOOD DRIVE SE,
CALGARY, ALBERTA

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

EXISTING SURVEY

DRAWING NO.

A-001

DRAWN BY:

R.W

CHECKED BY:

EZ

DATE:

2026-03-03

SCALE: 1:100

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File No.: 251282 | Date: 21/Oct/2025

Surveyed: TR/TS | Drawn: LZ/DW

Horizon Land Surveys Inc.

130 Business Centre N.W. P. 403-719-0272

Calgary, Alberta, T2E 6M5 F. 403-775-4171

SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

21 WILLWOOD DRIVE SW, CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 7986 GW, BLOCK 8, LOT 23

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.Positions of spot elevations are approximate.Distances are in meters and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA =376.78 m²
MAXIMUM COVERAGE (45%) = 169.55 m²
PROPOSED BUILDING COVERAGE = 161.40 m²
TOTAL PROPOSED COVERAGE = 42.83%

PROJECT SETBACK REQUIREMENTS:

1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF .6m INTO THE FRONT SETBACK AREA)
2. MINIMUM 1.2 m REAR SETBACK
3. MINIMUM 1.20 m SIDE SETBACK

NOTE:

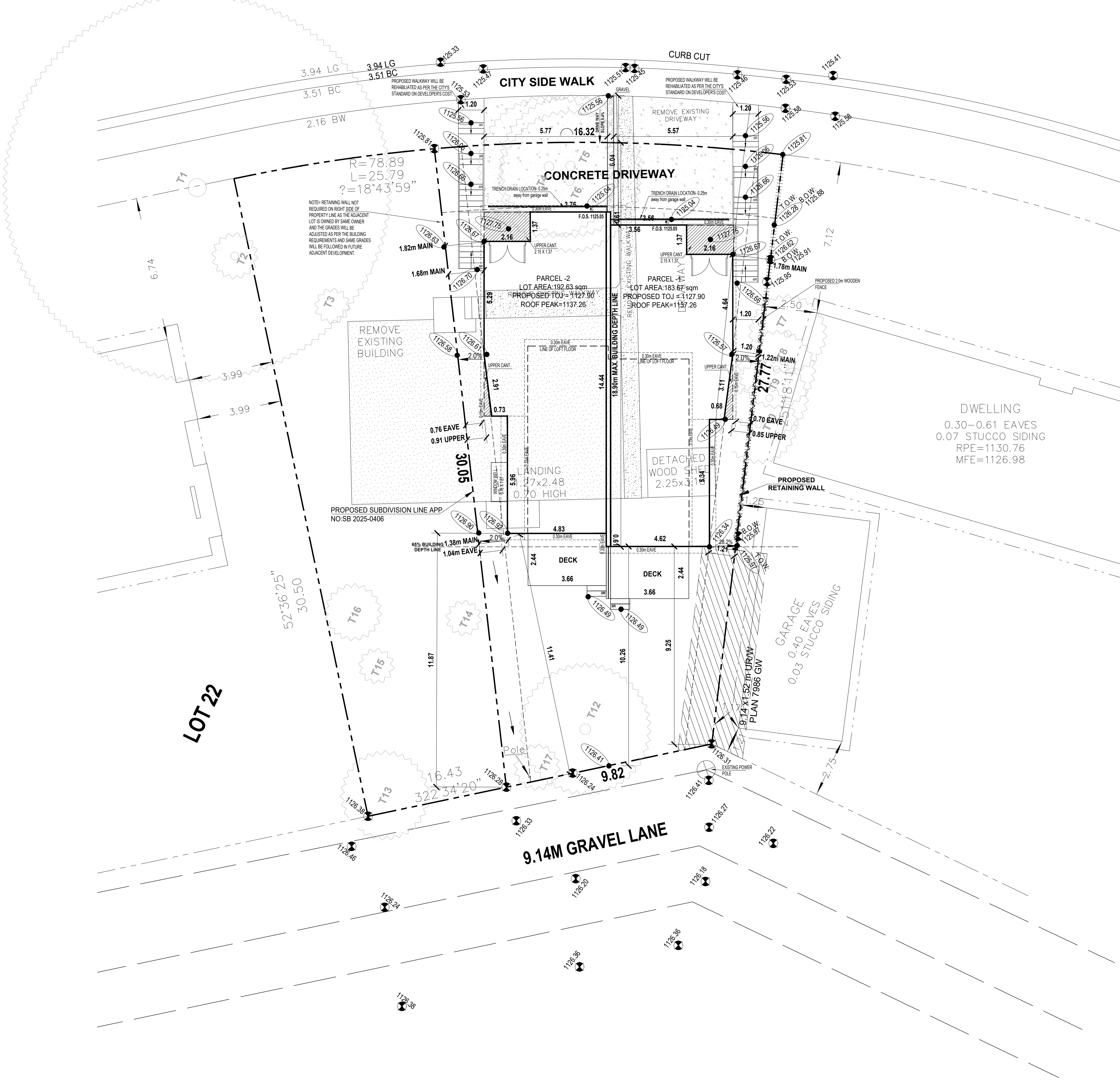
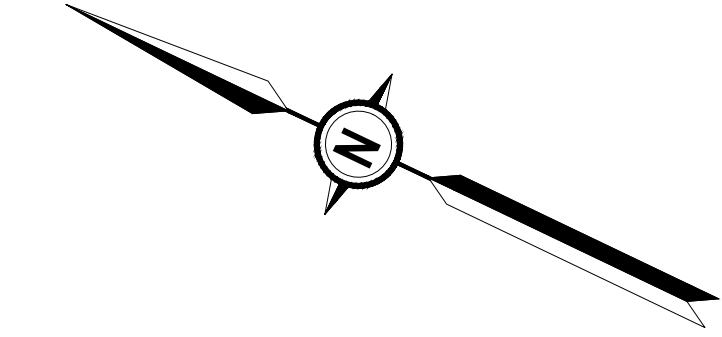
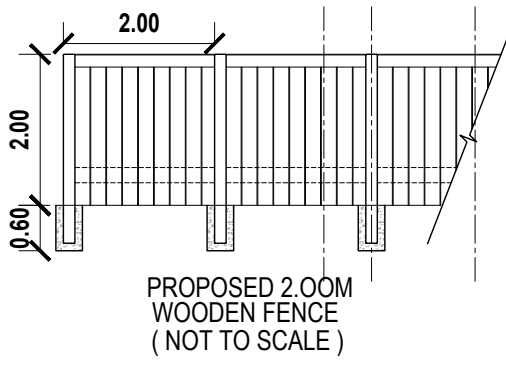
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

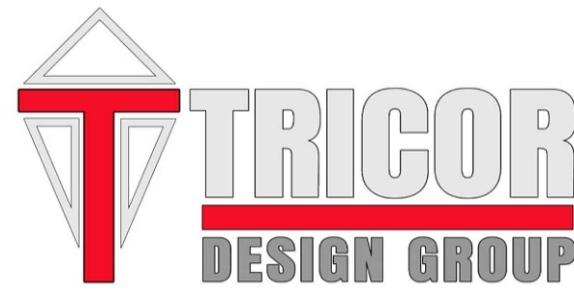
TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location
T1	Deciduous	0.85	18.00	14.00	On Property Line of Adjacent Property
T2	Deciduous	0.36	2.00	3.00	In Adjacent Property
T3	Bush	—	1.50	2.00	In Subject Property
T4	Coniferous	0.45	6.50	16.00	In Subject Property
T5	Coniferous	0.45	6.50	16.00	In Subject Property
T6	Coniferous	0.40	6.50	16.00	In Subject Property
T7	Coniferous	0.33	3.50	15.00	In Adjacent Property
T8	Coniferous	0.33	3.50	15.00	In Adjacent Property
T9	Coniferous	0.33	3.50	15.00	In Adjacent Property
T10	Coniferous	0.33	3.50	15.00	In Adjacent Property
T11	Bush	—	2.00	4.00	In Subject Property
T12	Coniferous	0.50	6.00	18.00	In Subject Property
T13	Bush	—	4.00	2.50	In Subject Property
T14	Bush	—	1.50	1.00	In Subject Property
T15	Bush	—	1.50	2.00	In Subject Property
T16	Bush	—	2.50	2.50	In Subject Property
T17	Bush	—	2.00	2.50	In Subject Property

NOTE= ALL EXISTING TREES WITHIN THE SUBJECT PROPERTY WILL BE REMOVED ON DEVELOPER'S COST.
- THERE IS NO EXISTING PUBLIC TREE IN SUBJECT LOT.



DESIGNED BY:

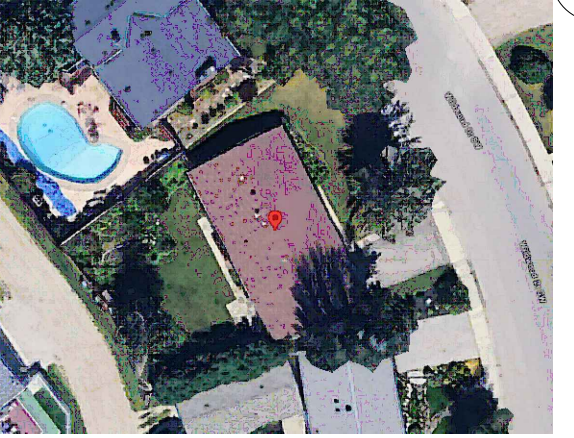


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T2E 6K3

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KEY PLAN



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REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01				
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01				
02				
03				
04				
05				

THE CLIENT :

SMART DREAM HOMES

PROJECT:

SEMI-DETACHED

ADDRESS:

21 WILLWOOD DRIVE SE,
CALGARY, ALBERTA

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED & EXISTING
SITE PLAN

DRAWING NO.

A-002

DRAWN BY:

R.W

CHECKED BY:

E.Z

DATE:

2025-03-03

SCALE: 1:100

SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

21 WILLWOOD DRIVE SW, CALGARY, ALBERTA

ZONING : R-CG

LEGAL ADDRESS:-

PLAN 7986 GW, BLOCK 8, LOT 23

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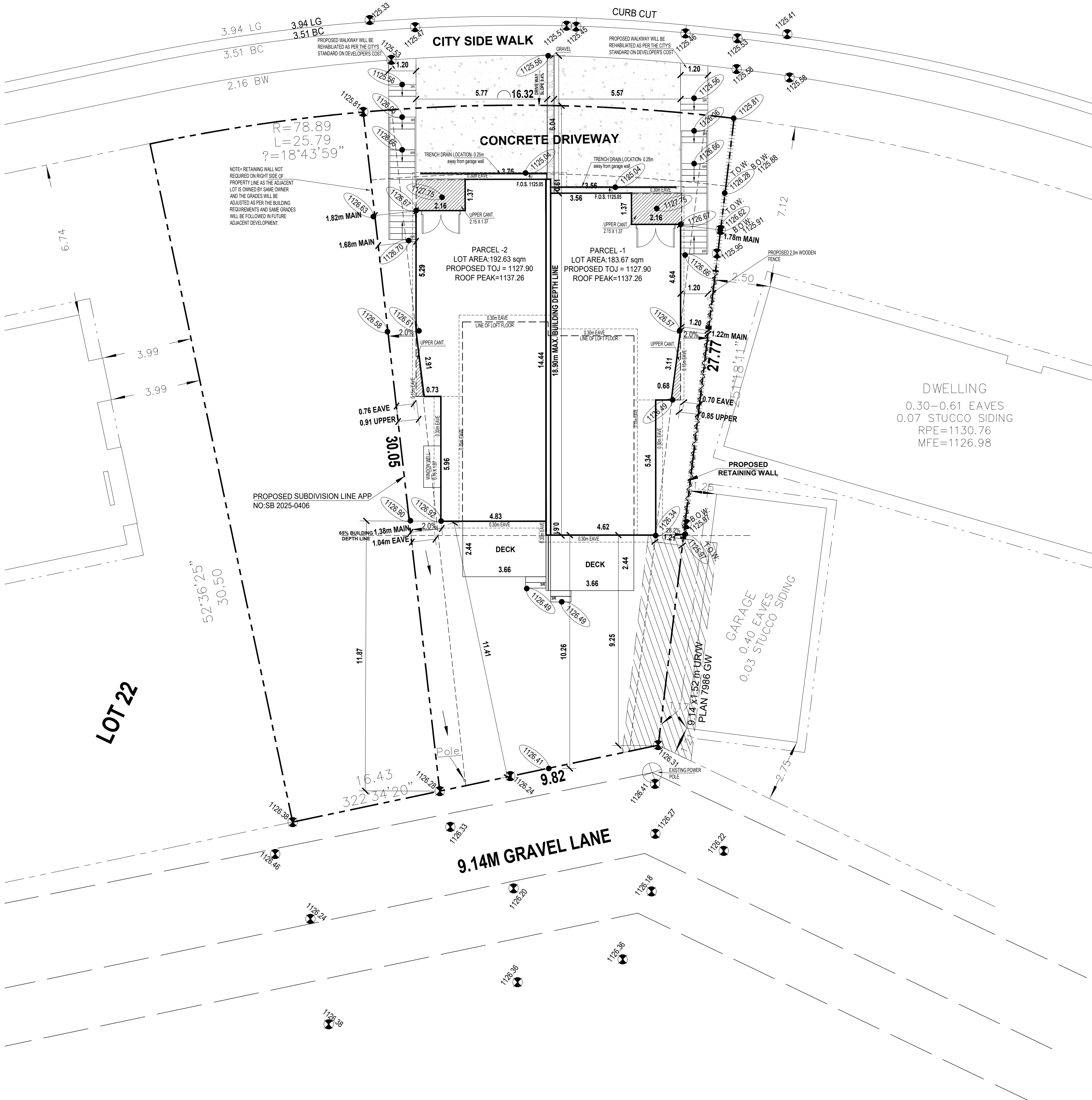
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

TREE SCHEDULE:

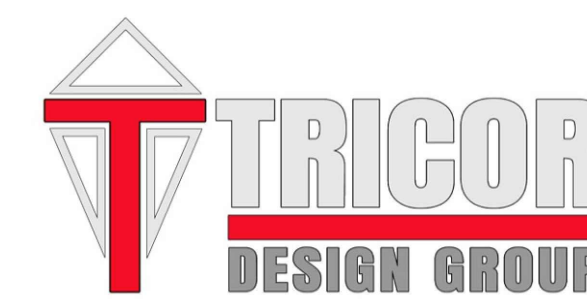
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T6	Coniferous	0.40	6.50	16.00	In Subject Property
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T8	Coniferous	0.33	3.50	15.00	In Adjacent Property
T9	Coniferous	0.33	3.50	15.00	In Adjacent Property
T10	Coniferous	0.33	3.50	15.00	In Adjacent Property
T11	Bush	—	2.00	4.00	In Subject Property
T12	Coniferous	0.50	6.00	18.00	In Subject Property
T13	Bush	—	4.00	2.50	In Subject Property
T14	Bush	—	1.50	1.00	In Subject Property
T15	Bush	—	1.50	2.00	In Subject Property
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DESIGNED BY:

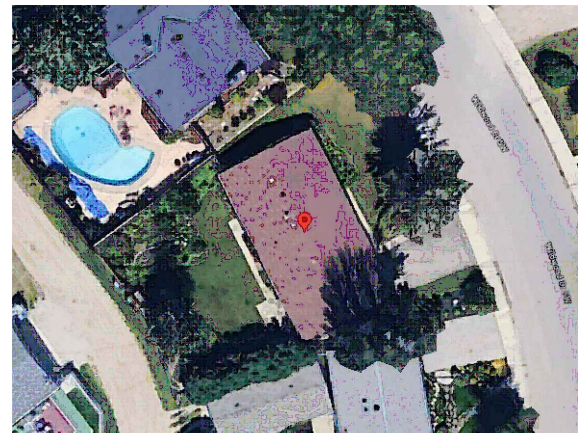


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T2E 6K3

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KEY PLAN



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REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By
01				
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01				
02				
03				
04				
05				

THE CLIENT :

SMART DREAM HOMES

PROJECT :

SEMI-DETACHED

ADDRESS:

21 WILLWOOD DRIVE SE,
CALGARY, ALBERTA

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED SITE PLAN

DRAWING NO.

A-003

DRAWN BY:

R.W

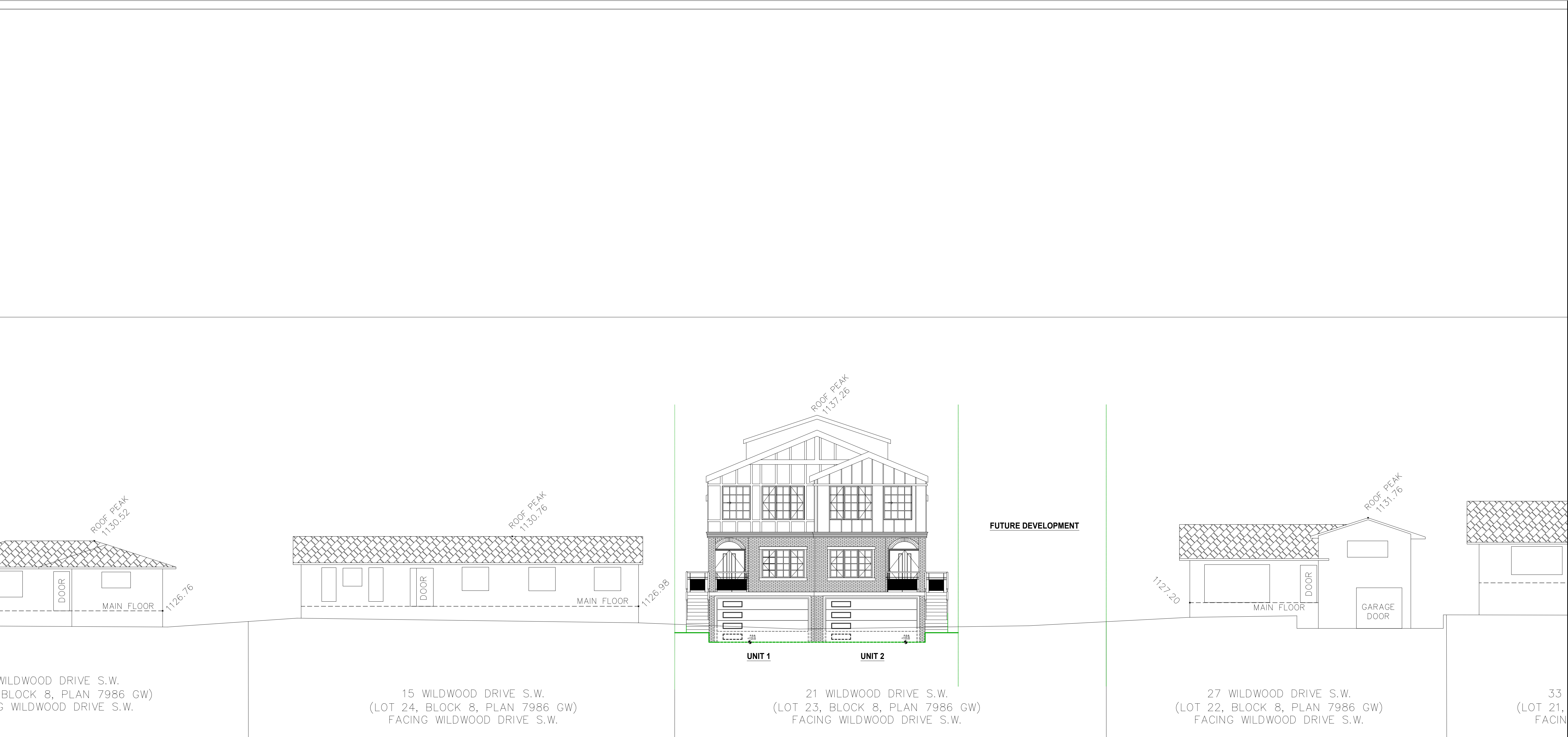
CHECKED BY:

E.Z

DATE:

2026-03-03

SCALE: 1:100



WILDWOOD DRIVE S.W.
BLOCK 8, PLAN 7986 GW)
3 WILDWOOD DRIVE S.W.

15 WILDWOOD DRIVE S.W.
(LOT 24, BLOCK 8, PLAN 7986 GW)
FACING WILDWOOD DRIVE S.W.

21 WILDWOOD DRIVE S.W.
(LOT 23, BLOCK 8, PLAN 7986 GW)
FACING WILDWOOD DRIVE S.W.

27 WILDWOOD DRIVE S.W.
(LOT 22, BLOCK 8, PLAN 7986 GW)
FACING WILDWOOD DRIVE S.W.

33
(LOT 21,
FACIN

NORTH EAST STREETSCAPE

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DESIGN GROUP

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No.	Date	Description	DRAWN By	Chk'd By
01				
02				
03				
04				
05				

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01				
02				
03				
04				
05				

THE CLIENT :

SMART DREAM HOMES

PROJECT :

SEMI-DETACHED

ADDRESS:

21 WILLWOOD DRIVE SE,
CALGARY, ALBERTA

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

STREETSCAPE

DRAWING NO.

A-004

DRAWN BY:
R.W

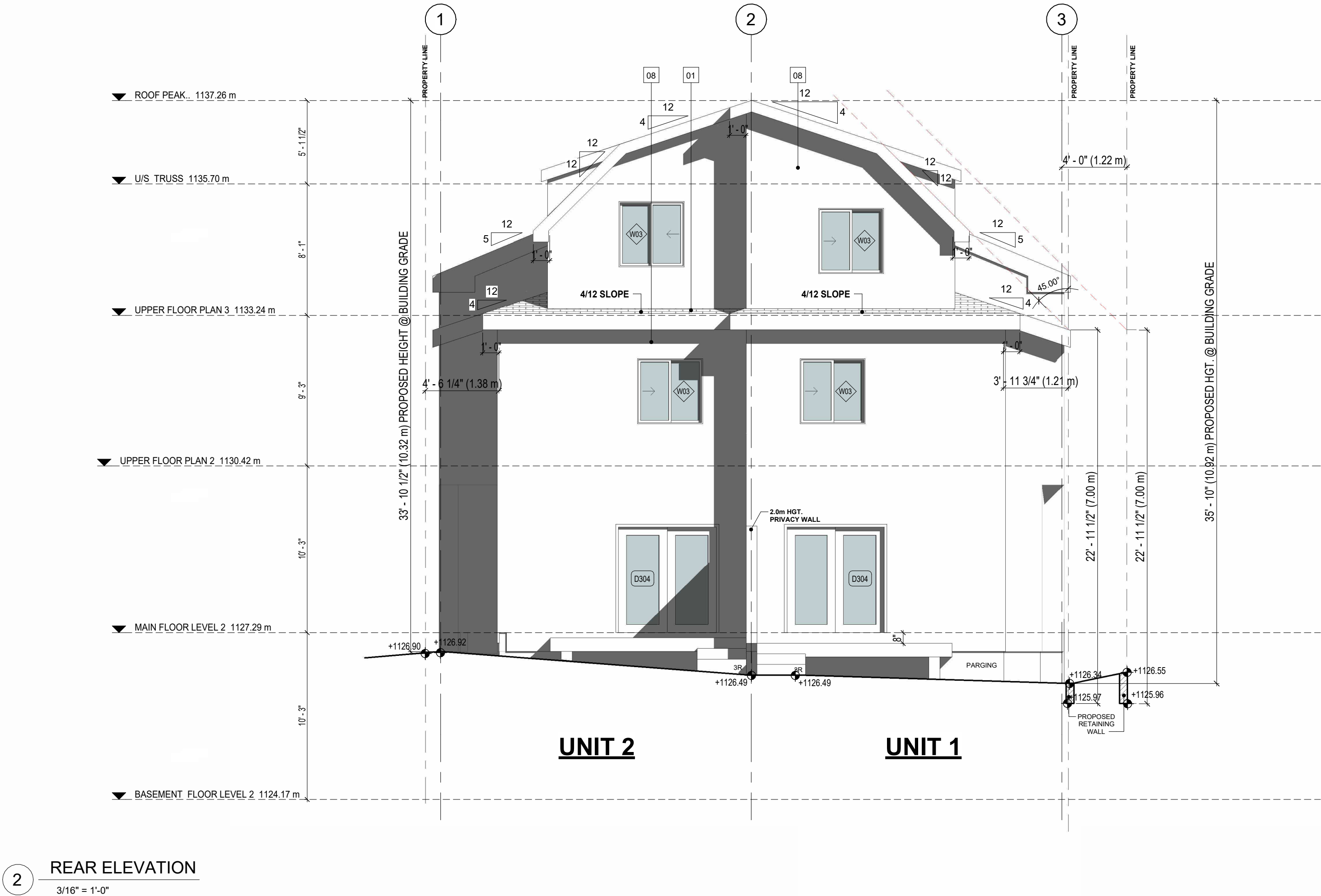
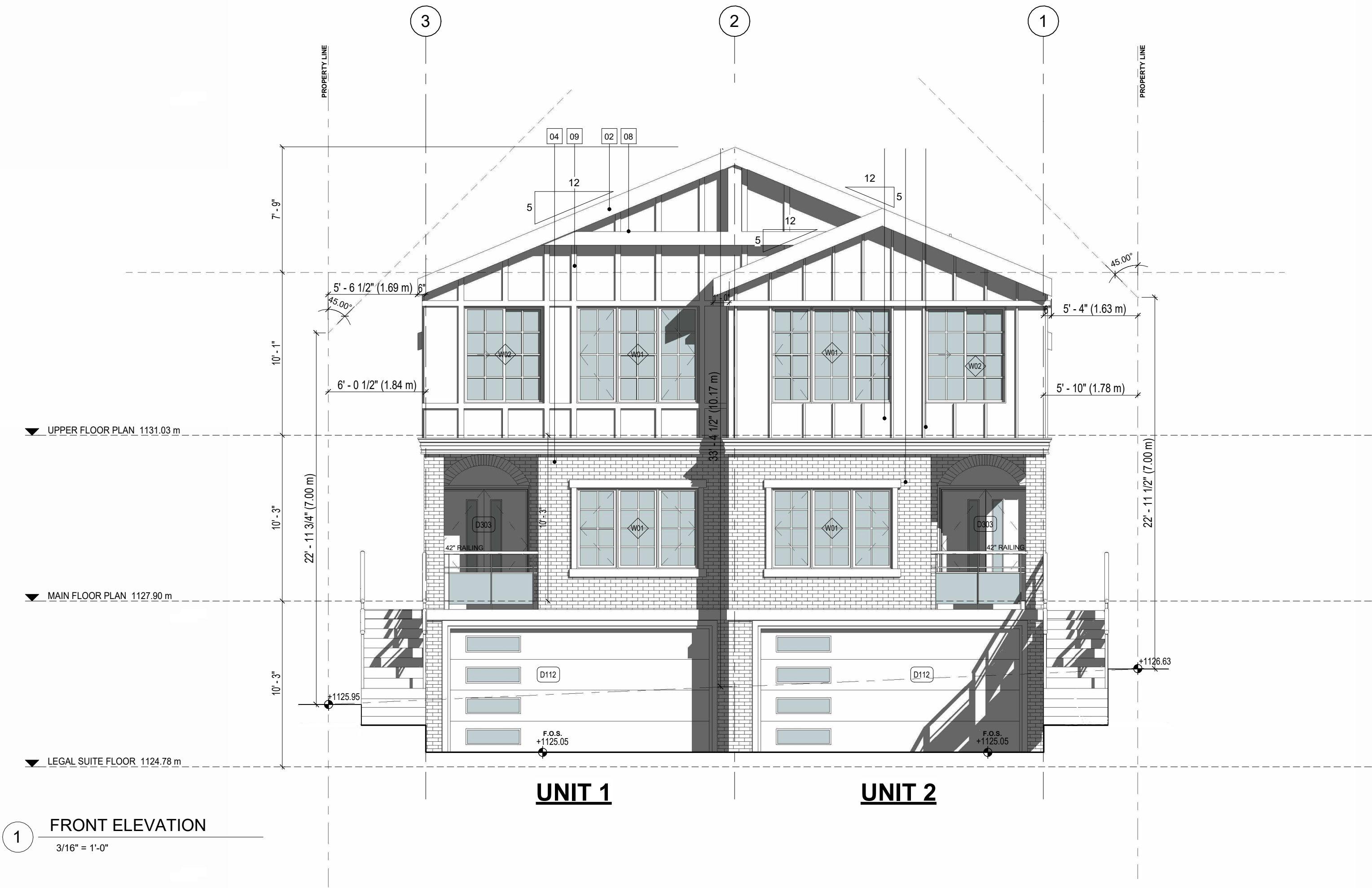
CHECKED BY:
E.Z

DATE:
2026-03-03

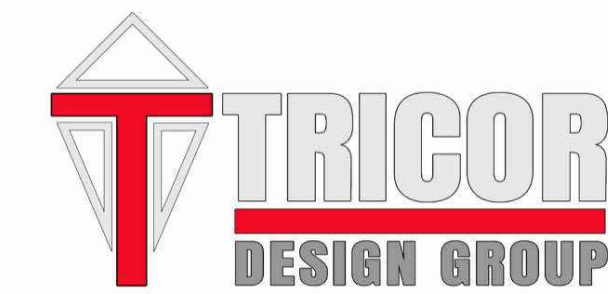
SCALE: N.T.S

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
04	EXTERIOR MANUFACTURED BRICK VENEER
05	STUCCO CLADDING
07	4" TRIM LIGHT GRAY
08	STUCCO CLADING LIGHT
09	4" GRAY TRIM
11	4" TRIM DARK
12	4" STONE CAP
13	TRIM - HORIZONTAL /VERTICAL 8"

WINDOWS SCHEDULE.			
Type Mark	Width	Height	Family and Type
LEGAL SUITE FLOOR			
W04	5' - 0"	3' - 0"	TRC-SLD-Double1: WINDOW WELL
MAIN FLOOR PLAN			
W05	2' - 0"	5' - 0"	TRC-PICTURE-03: P
UPPER FLOOR PLAN 2			
W01	7' - 6"	5' - 0"	TRC-CAS/FIX/CAS-TRIPLE: C-P-C
W03	4' - 0"	4' - 0"	TRC-EXT-SLD-DOUBLE: SL
UPPER FLOOR PLAN			
W01	7' - 6"	6' - 0"	TRC-CAS/FIX/CAS-TRIPLE: C-P-C
W02	5' - 0"	6' - 0"	TRC-SLD-Double: SL
UPPER FLOOR PLAN 3			
W03	4' - 0"	4' - 0"	TRC-EXT-SLD-DOUBLE: SL



DESIGNED BY:

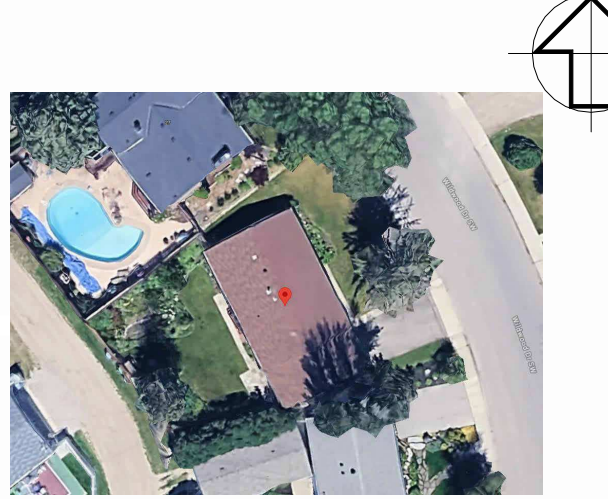


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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	-	DTR	W.B / G.K	E.R

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-07-02	DEVELOPMENT PERMIT SET	T.J / W.B	E.Z / E.R

THE CLIENT :

SMART DREAM HOMES

PROJECT :

SEMI-DETACHED

ADDRESS:

21 WILLWOOD DRIVE SW,
CALGARY, AB

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-201

DRAWN BY:

T.J / W.B

CHECKED BY:

E.Z / E.R

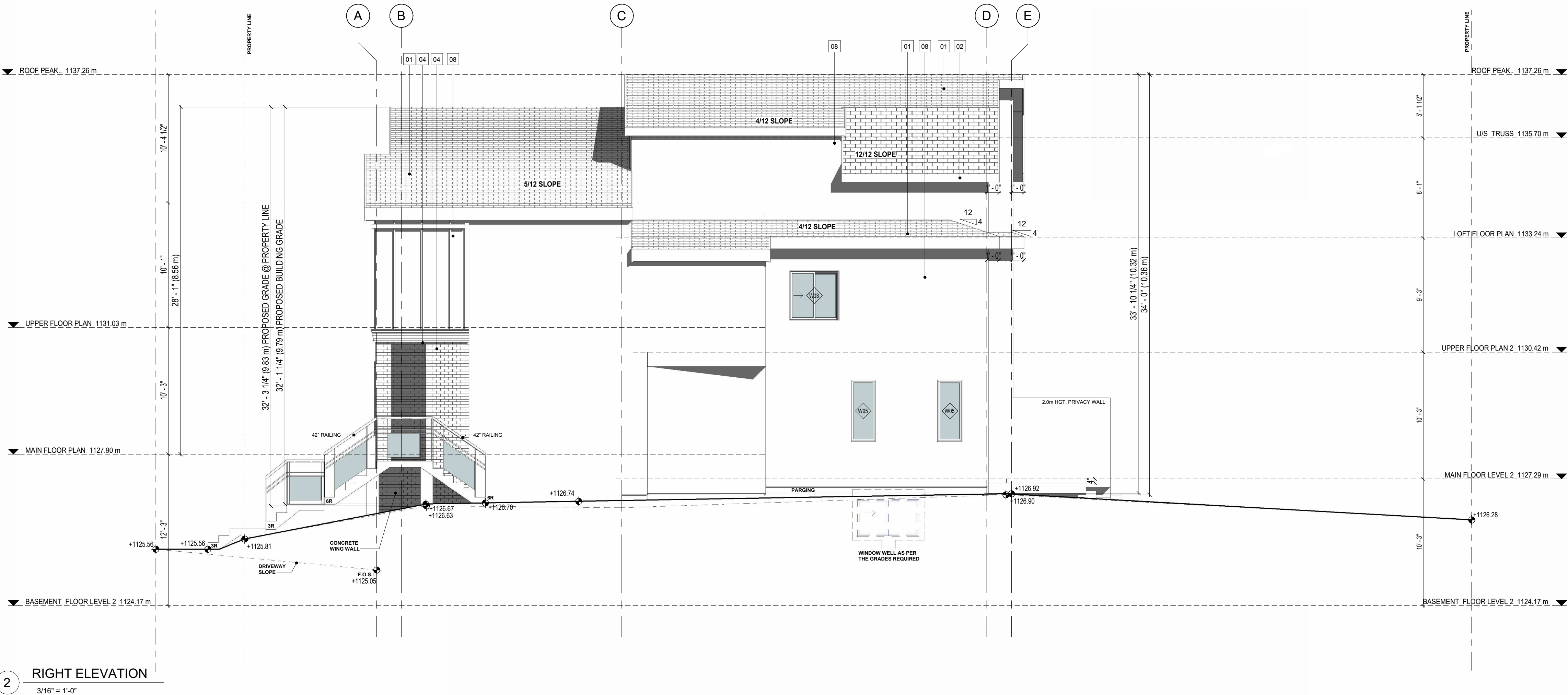
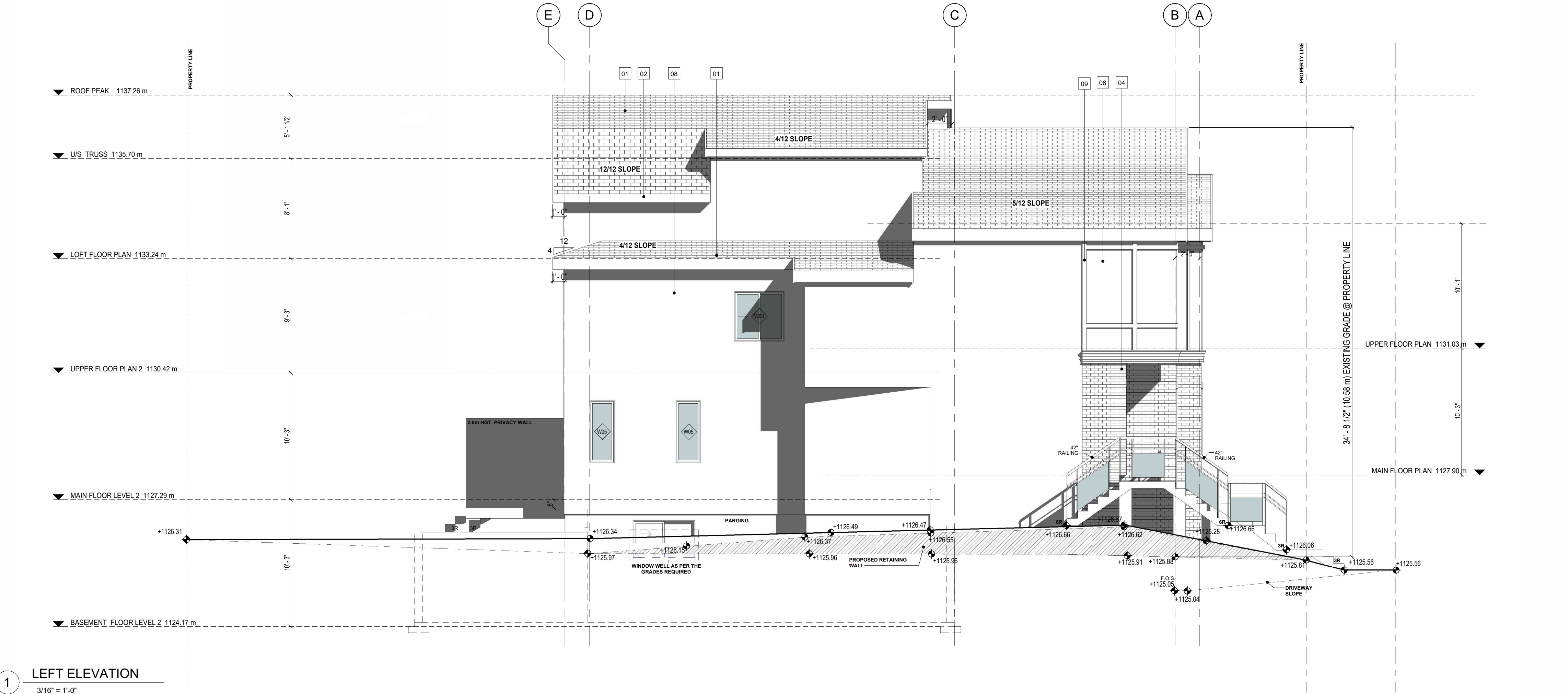
DATE:

-

SCALE: 3/16"=1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
02	PRE-FINISHED METAL FASCIA
04	EXTERIOR MANUFACTURED BRICK VENEER
05	STUCCO CLADDING
07	4" TRIM LIGHT GRAY
08	STUCCO CLADDING LIGHT
09	4" GRAY TRIM
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Type Mark	Widt h	Height	Family and Type
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W04	5' - 0"	3' - 0"	TRC-SLD-Double1: WINDOW WELL
MAIN FLOOR PLAN			
W05	2' - 0"	5' - 0"	TRC-PICTURE-03: P
UPPER FLOOR PLAN 2			
W01	7' - 6"	5' - 0"	TRC-CAS/FIX/CAS-TRIPLE: C-P-C
W03	4' - 0"	4' - 0"	TRC-EXT-SLD-DOUBLE: SL
UPPER FLOOR PLAN			
W01	7' - 6"	6' - 0"	TRC-CAS/FIX/CAS-TRIPLE: C-P-C
W02	5' - 0"	6' - 0"	TRC-SLD-Double: SL
UPPER FLOOR PLAN 3			
W03	4' - 0"	4' - 0"	TRC-EXT-SLD-DOUBLE: SL



DESIGNED BY:



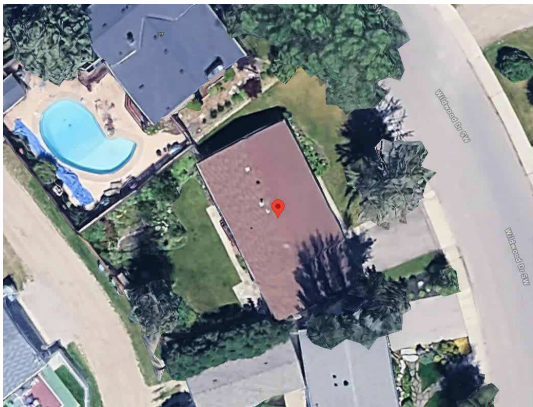
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CALGARY, AB
T2E 6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	-	DTR	W.B / G.K	E.R

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-07-02	DEVELOPMENT PERMIT SET	T.J / W.B	E.Z / E.R

THE CLIENT:

SMART DREAM HOMES

PROJECT:

SEMI-DETACHED

ADDRESS:

21 WILLWOOD DRIVE SW,
CALGARY, AB

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-202

DRAWN BY:

T.J / W.B

CHECKED BY:

E.R.

DATE:

-

SCALE: 3/16"=1'-0"