



FLOOR AREA	
BASEMENT	= 660.46 SQ. FT.
ATTACHED GARAGE	= 757.29 SQ. FT.
MAIN FLOOR	= 1435.92 SQ. FT.
UPPER FLOOR	= 1523.67 SQ. FT.
TOTAL	= 2959.49 SQ. FT.

LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left Elevation
A-2.2	Right Elevation

GENERAL NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION
WITH ALL OTHER APPLICABLE CONSULTANT
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COORDINATE ALL DETAILS WITH SITE CONDITIONS
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT
EDITION OF THE ALBERTA BUILDING CODE AND ANY
OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

MUNICIPAL ADDRESS:
5019 14A ST S.W.
CALGARY, ALBERTA
PROJECT:
NEW HOME
STATUS:
DP PLANS

LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:

PROJECT NUMBER: 14-26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE:
SCALE:

DRAWING SET:
SHEET NAME:
Cover Page
PAGE:

A-0.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	5	STONE AS SPEC'D - BEIGE
2	6" ALUMINUM FASCIA	6	CONCRETE PARGING
3	STUCCO FINISH - BLACK	7	CAST-IN-PLACE CONCRETE
4	BRICK AS SPEC'D - RED		

VENTED SOFFIT NOTES:

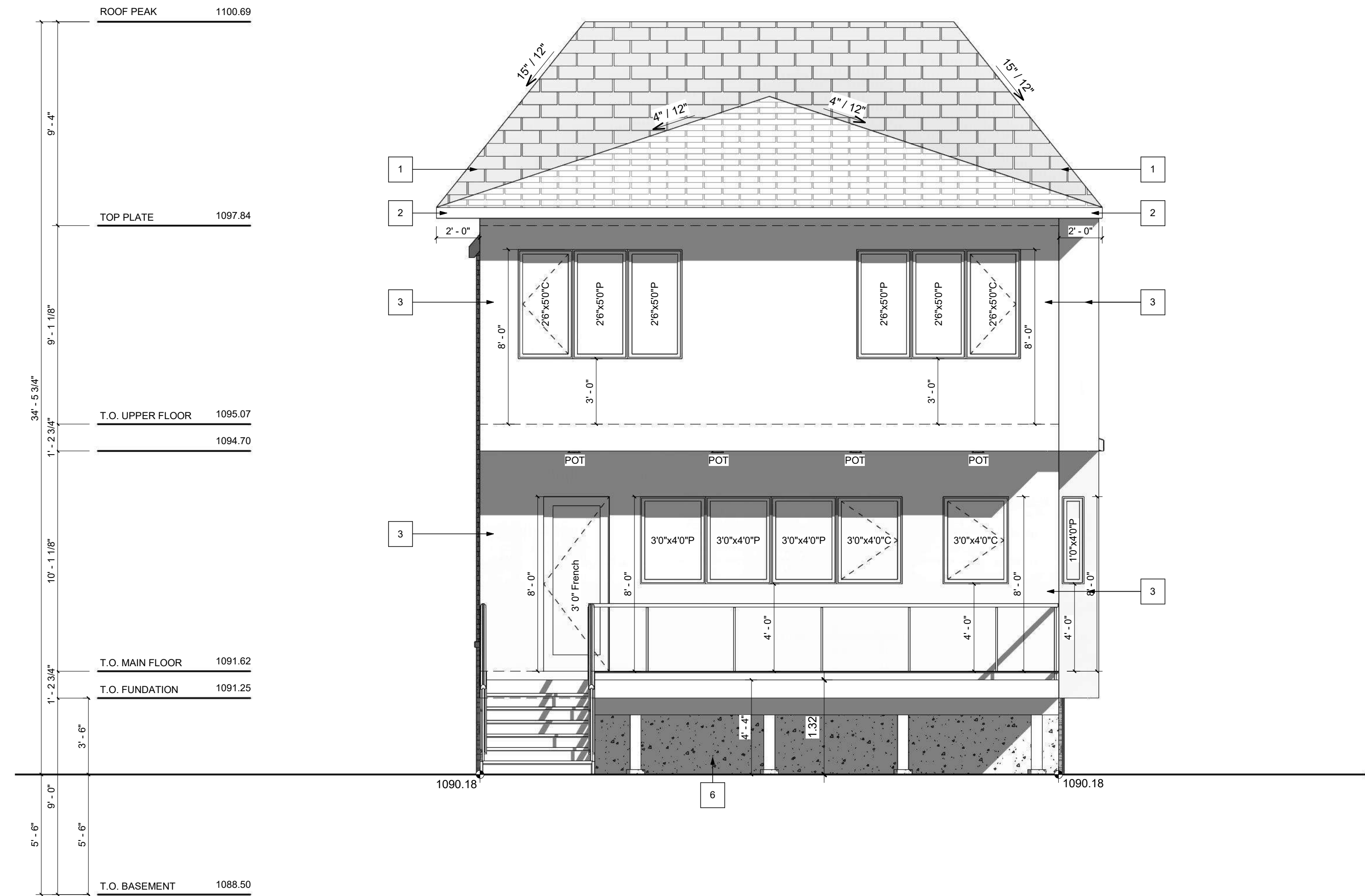
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	5	STONE AS SPEC'D - BEIGE
2	6" ALUMINUM FASCIA	6	CONCRETE PARGING
3	STUCCO FINISH - BLACK	7	CAST-IN-PLACE CONCRETE
4	BRICK AS SPEC'D - RED		

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

REAR ELEVATION

SCALE: 1/4" = 1'-0"

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/12/2025	DP PLANS	K.G.
02.	-	-	-
03.	-	-	-
04.	-	-	-



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MUNICIPAL ADDRESS:
5019 14A ST S.W.
CALGARY, ALBERTA
PROJECT:
NEW HOME

STATUS:
DP PLANS

LEGAL LAND DISCRPTION:
LOT: BLOCK: PLAN:

PROJECT NUMBER: 14-26
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
LAST REVISION DATE: *
SCALE: 1/4" = 1'-0"

DRAWING SET:
SHEET NAME:
Front & Rear Elevation

A-2.0

1	ASPHALT SHINGLE
2	6" ALUMINUM FASCIA
3	STUCCO FINISH - WHITE
4	BRICK AS SPEC'D - WHITE

- | | |
|---|-------------------------|
| 5 | STONE AS SPEC'D - WHITE |
| 6 | CONCRETE PAVING |
| 7 | CAST-IN-PLACE CONCRETE |

WINDOW CALCULATION :
@ 1.22m LIMITING DISTANCE

WALL AREA = 1436.80 SQ. FT.
WINDOW AREA = 80.78 SQ. FT.
 TOTAL: $80.78 / 1436.80 = 5.62\%$



SCALE: $1/4" = 1'-0"$

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01.	11/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--



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MUNICIPAL ADDRESS:
5019 14A ST S.W.
CALGARY, ALBERTA
PROJECT:
NEW HOME
STATUS:
DP PLANS

LEGAL LAND DESCRIPTION:
LOT: BLOCK: PLAN:

PROJECT NUMBER:	14-26
DESIGN BY:	JT
DRAWN BY:	JT
LAST REVISION BY:	
LAST REVISION DATE:	*
SCALE:	1/4" = 1'-0"

DRAWING SET:

SHEET NAME:

Left Elevation

A-2.1

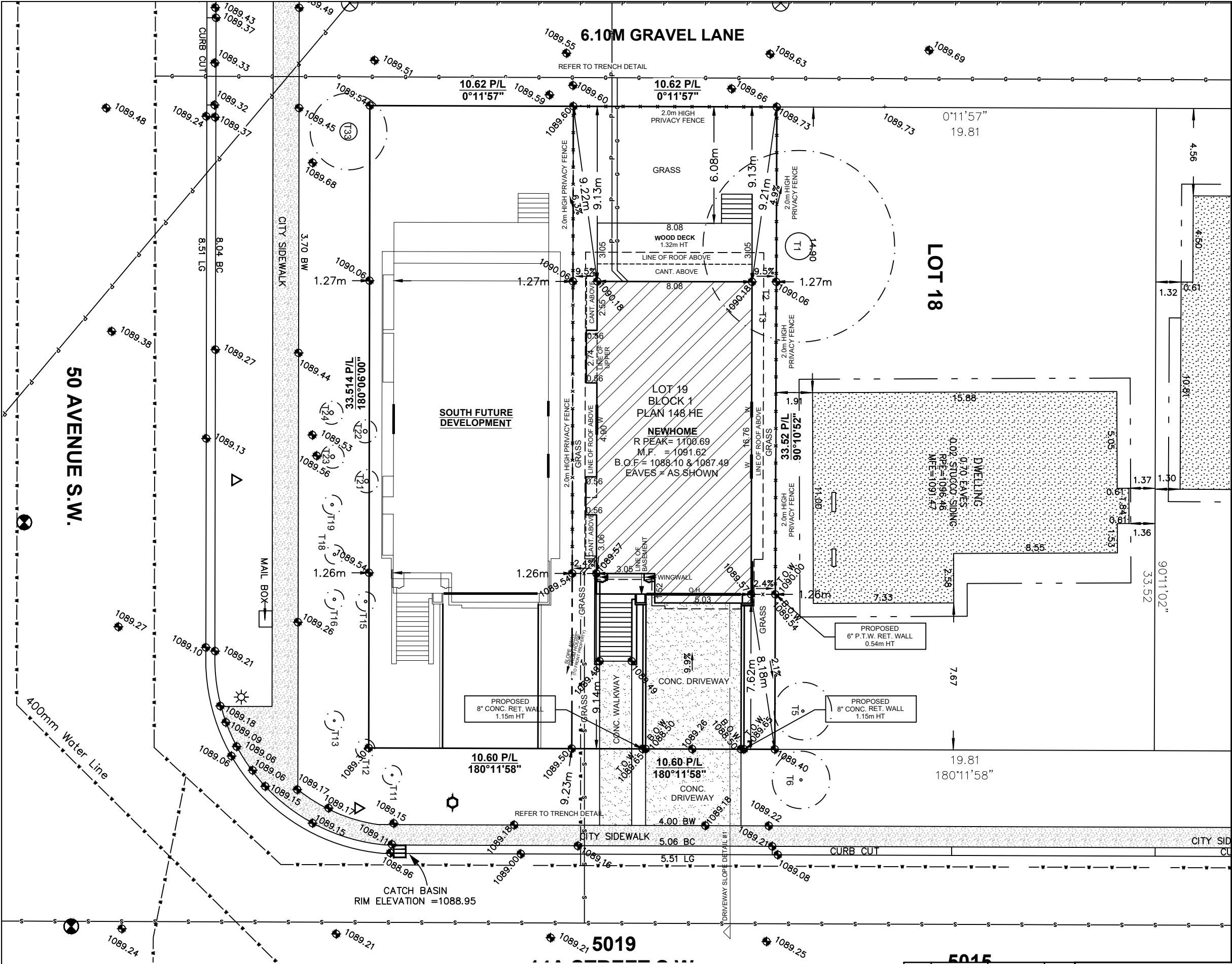
1	ASPHALT SHINGLE	5	STONE AS SPEC'D - BEIGE
2	6" ALUMINUM FASCIA	6	CONCRETE PARGING
3	STUCCO FINISH - BLACK	7	CAST-IN-PLACE CONCRETE
4	BRICK AS SPEC'D - RED		



WALL AREA = 1492.43 SQ. FT.
WINDOW AREA = 34.73 SQ. FT.
TOTAL: $34.73 / 1492.43 = 2.33\%$



A-2.2



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: * = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- denotes Fence
- denotes Sanitary Line
- denotes Storm Line
- denotes Water Line
- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1: 200

LEGAL DESCRIPTION:

Lot 19
Block 1
Plan 148 HE

MUNICIPAL ADDRESS:

5019 14A ST. S.W.
Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)

LOT SIZE: 355.489 SQ M
HOUSE SIZE: 133.401 SQ M
ATTACHED GARAGE: 70.35 SQ M
COVERED PORCH: 0.00 SQ M
CANT.: 2.640 SQ M
WING WALL: 2.626 SQ M

= 136.027/355.489
= 38.26%

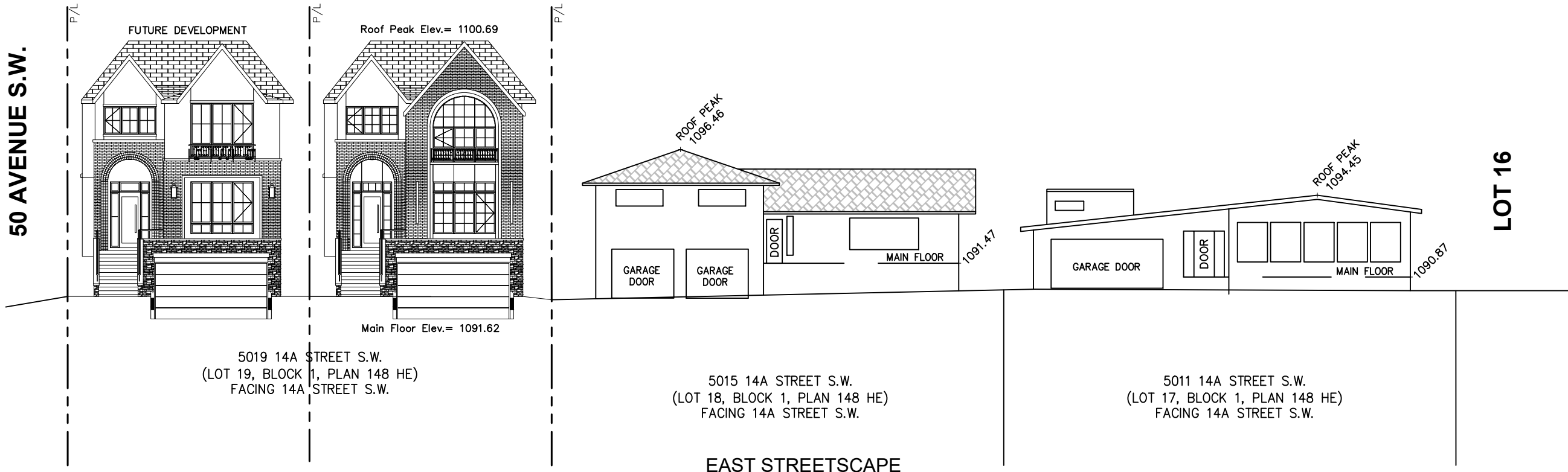
SITE PLAN/BLOCK PLAN
SCALE: 1: 200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	11/12/2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:
5019 14A ST. S.W.
Calgary, Alberta
Lot 19
Block 1
Plan 148 HE

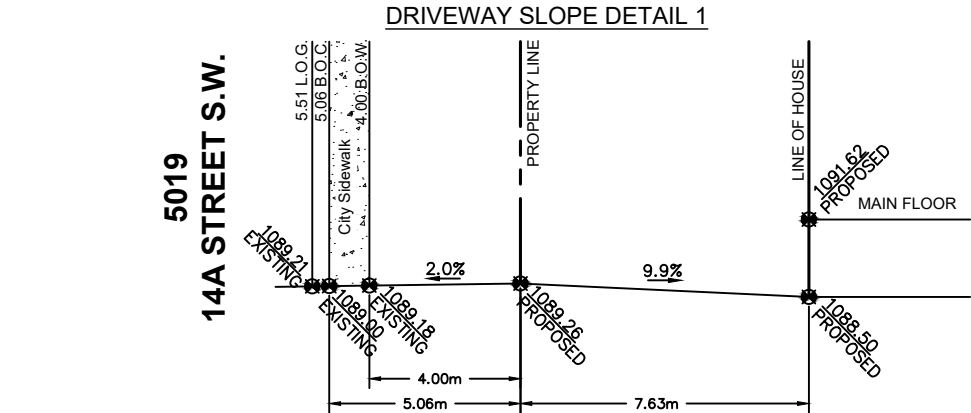
PROJECT:
SINGLE DETACHED
DATE:
Dec. 11, 2025

SCALE:
1: 200
DIVISION NUMBER:
S 01

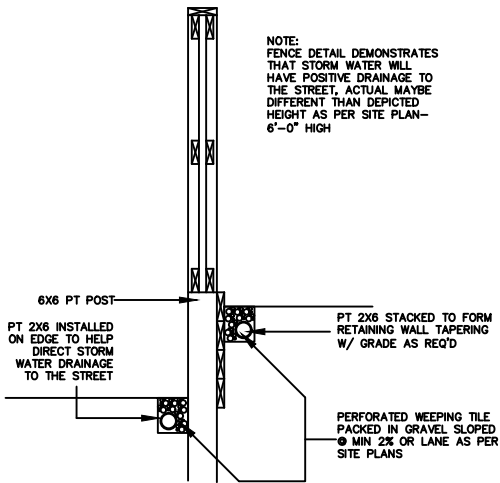


TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	1.40	10.00	10.00	In Adjacent Property	To Stay
T2	Bush	–	1.50	1.50	In Subject Property	To Be Removed
T3	Bush	–	2.00	2.00	In Subject Property	To Be Removed
T4	Deciduous	0.80	3.00	5.00	In Subject Property	To Be Removed
T5	Deciduous	0.12	3.00	3.50	In Adjacent Property	To Stay
T6	Deciduous	0.12	3.00	3.50	In City Property	To Stay
T7	Deciduous	0.70	3.00	4.00	In Subject Property	To Be Removed
T8	Coniferous	0.80	8.00	15.00	In Subject Property	To Be Removed
T9	Deciduous	0.12	1.20	7.00	In City Property	To Be Removed
T10	Deciduous	0.10	1.00	3.00	In City Property	To Be Removed
T11	Deciduous	0.10	1.00	3.00	In City Property	To Be Removed
T12	Deciduous	0.10	1.00	4.00	In City Property	To Stay
T13	Deciduous	0.10	1.00	4.00	In City Property	To Stay
T14	Deciduous	0.13	1.00	6.00	In Subject Property	To Be Removed
T15	Deciduous	0.13	1.00	6.00	In City Property	To Stay
T16	Deciduous	0.13	1.00	6.00	In City Property	To Stay
T17	Deciduous	0.13	1.00	6.00	In Subject Property	To Be Removed
T18	Deciduous	0.13	1.00	6.00	In City Property	To Stay
T19	Deciduous	0.13	1.00	6.00	In City Property	To Stay
T20	Deciduous	0.20	1.20	8.00	On Property Line	To Be Removed
T21	Deciduous	0.20	1.20	8.00	In City Property	To Stay
T22	Deciduous	0.20	1.20	8.00	In City Property	To Stay
T23	Deciduous	0.20	1.20	8.00	In City Property	To Stay
T24	Deciduous	0.20	1.20	8.00	In City Property	To Stay
T25	Hedge	–	1.50	2.00	In Subject Property	To Be Removed
T26	Hedge	–	1.50	2.00	In City Property	To Be Removed
T27	Deciduous	0.10	2.00	2.50	In Subject Property	To Be Removed
T28	Deciduous	0.10	2.00	2.50	In Subject Property	To Be Removed
T29	Deciduous	0.70	9.00	6.00	In Subject Property	To Be Removed
T30	Deciduous	0.60	9.00	5.00	In Subject Property	To Be Removed
T31	Hedge	–	1.50	2.00	In Subject Property	To Be Removed
T32	Deciduous	0.10	4.00	5.00	In Subject Property	To Be Removed
T33	Deciduous	0.90	4.00	4.00	In City Property	To Stay



DRIVEWAY SLOPE DETAIL
SCALE: NTS



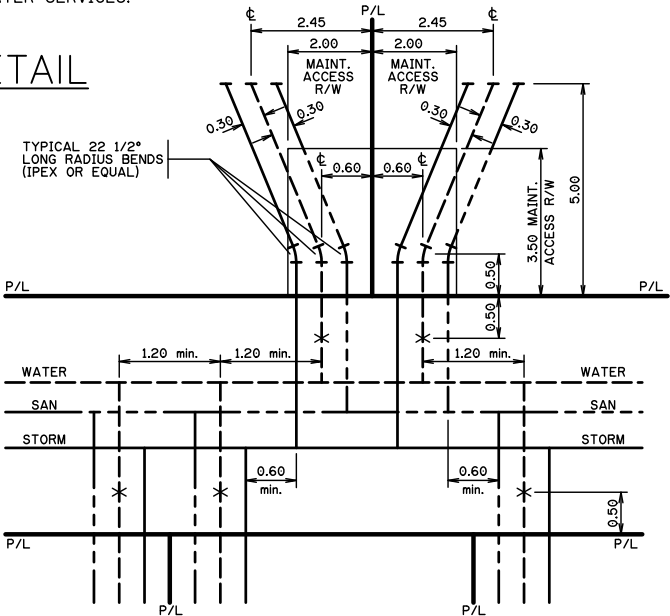
FENCE SECTION DETAIL
SCALE: NTS

	UNIT #1
ATTACHED GARAGE	757.29 SQ FT
BASEMENT	660.46 SQ FT
MAIN FLOOR	1435.92 SQ FT
UPPER FLOOR	1523.67 SQ FT
TOTAL AREA	2959.49 SQ FT

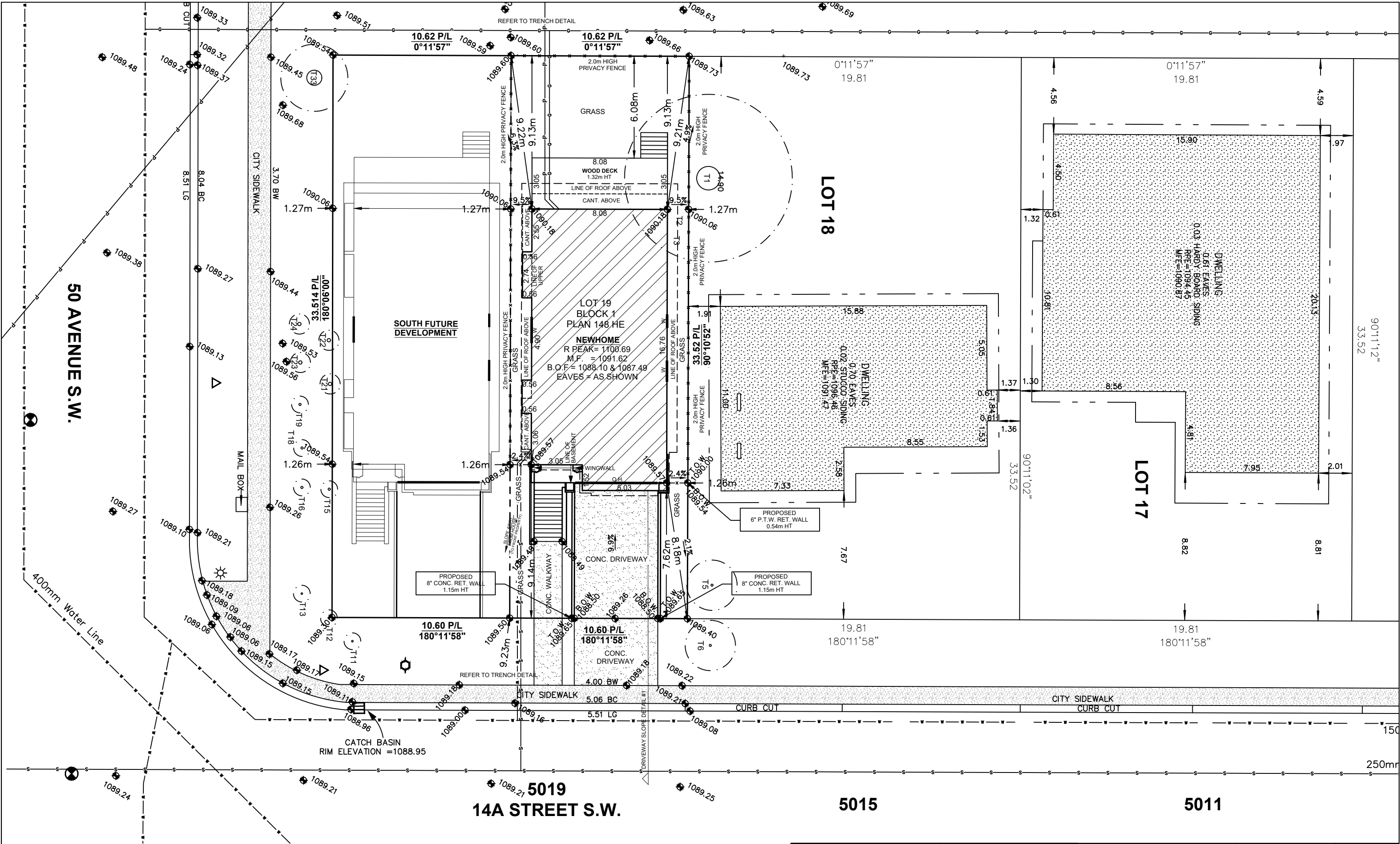
NO.	DATE (D/M/Y)	DETAIL	BY
01.	11/12/2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

- NOTES:
- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
 - DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
 - SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
 - THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
 - DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
 - WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
 - THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
 - WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.

TRENCH DETAIL
SCALE: NTS



PROJECT NAME AND ADDRESS: 5019 14A ST. S.W. Calgary, Alberta				PROJECT: SINGLE DETACHED		SCALE: AS SHOWN	
DATE: Dec. 11, 2025				DIVISION: S		NUMBER: 02	



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS: 5019 14A ST. S.W. Calgary, Alberta Lot 19 Block 1 Plan 148 HE		PROJECT: SINGLE DETACHED	SCALE: 1: 250
01.	11/12/2025	DP SITEPLAN	K.G.			DATE: Dec. 11, 2025	DIVISION NUMBER: S 03
02.							
03.							
04.							