



FLOOR AREA	
BASEMENT	= 660.46 SQ. FT.
ATTACHED GARAGE	= 757.29 SQ. FT.
MAIN FLOOR	= 1435.92 SQ. FT.
UPPER FLOOR	= 1523.67 SQ. FT.
TOTAL	= 2959.49 SQ. FT.

LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Left Elevation
A-2.2	Right Elevation

GENERAL NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION
WITH ALL OTHER APPLICABLE CONSULTANT
DRAWINGS. CONTRACTOR IS TO CONFIRM AND
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	10/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--



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ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

MUNICIPAL ADDRESS:
5019 14A ST S.W.
CALGARY, ALBERTA
PROJECT:
NEW HOME

STATUS:
--

LEGAL LAND DISCRPTION:
LOT: BLOCK: PLAN:

PROJECT NUMBER: 458 - 25

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

LAST REVISION DATE:

SCALE:

DRAWING SET:

SHEET NAME:
Cover Page

PAGE:

A-0.0

EXTERIOR FINISHES:

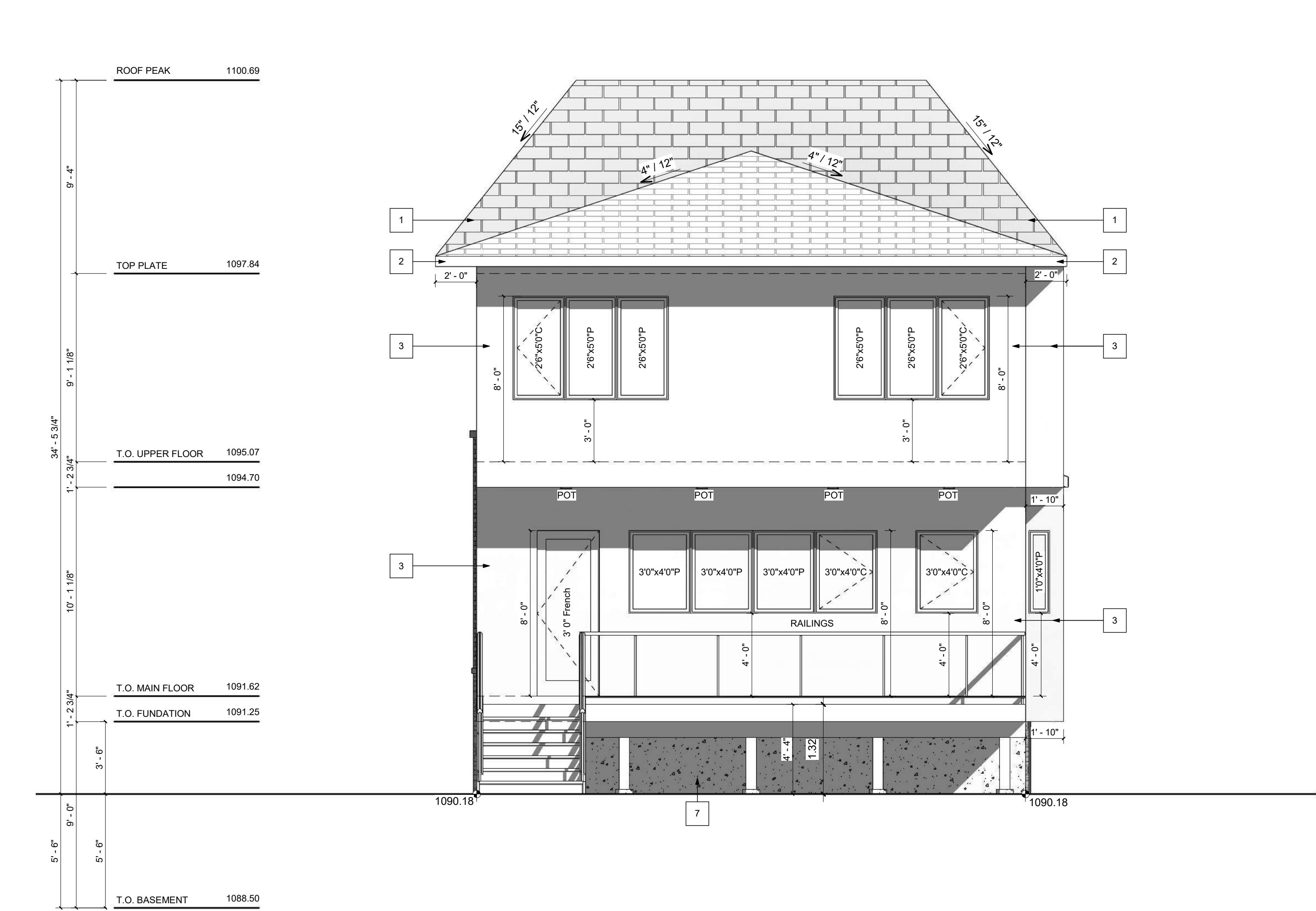
1	ASPHALT SHINGLE	5	STONE AS SPEC'D - WHITE
2	6" ALUMINUM FASCIA	6	CONCRETE PARGING
3	STUCCO FINISH - WHITE	7	CAST-IN-PLACE CONCRETE
4	BRICK AS SPEC'D - WHITE		

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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FRONT ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"

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02.	-	-	-
03.	-	-	-
04.	-	-	-



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MUNICIPAL ADDRESS:
5019 14A ST S.W.
CALGARY, ALBERTA
NEW HOME

STATUS:
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LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:

PROJECT NUMBER: 458 - 25

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

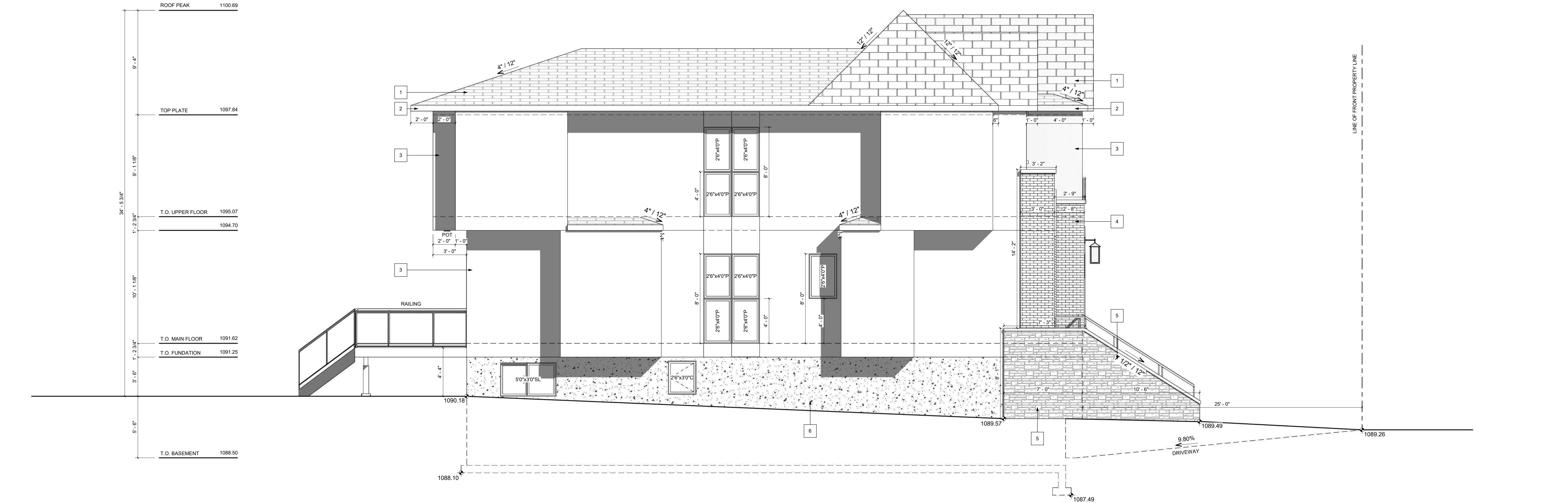
LAST REVISION DATE: *

SCALE: 1/4" = 1'-0"

DRAWING SET:

SHEET NAME:
Front & Rear Elevation

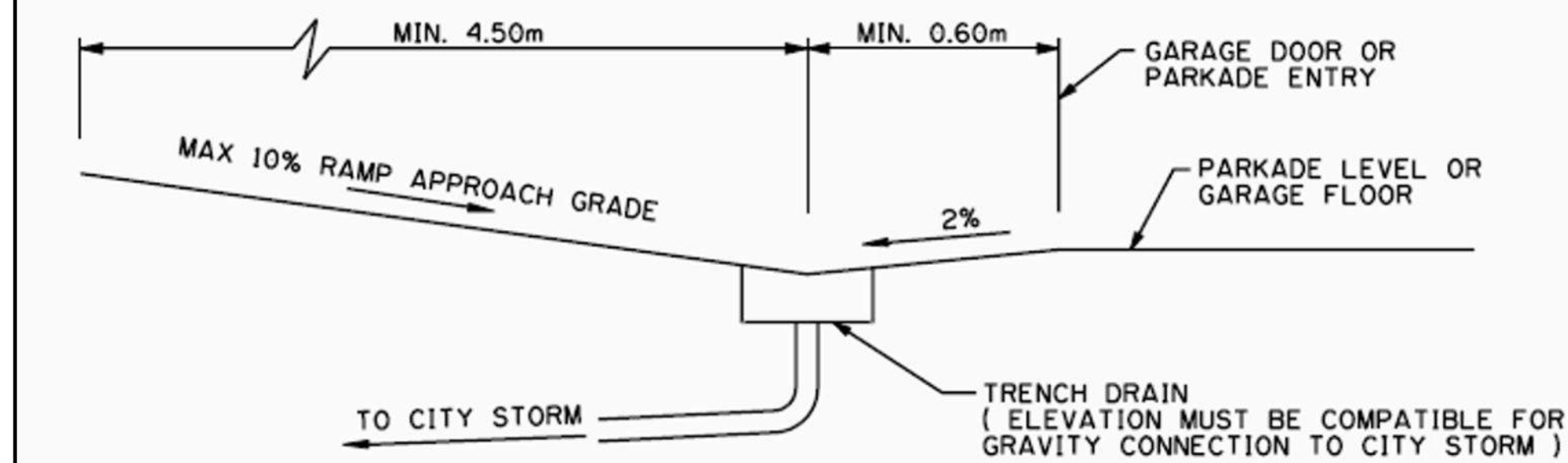
A-2.0



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

1	ASPHALT SHINGLE
2	6" ALUMINUM FASCIA
3	STUCCO FINISH - WHITE
4	BRICK AS SPEC'D - WHITE

- | | |
|---|-------------------------|
| 5 | STONE AS SPEC'D - WHITE |
| 6 | CONCRETE PAVING |
| 7 | CAST-IN-PLACE CONCRETE |



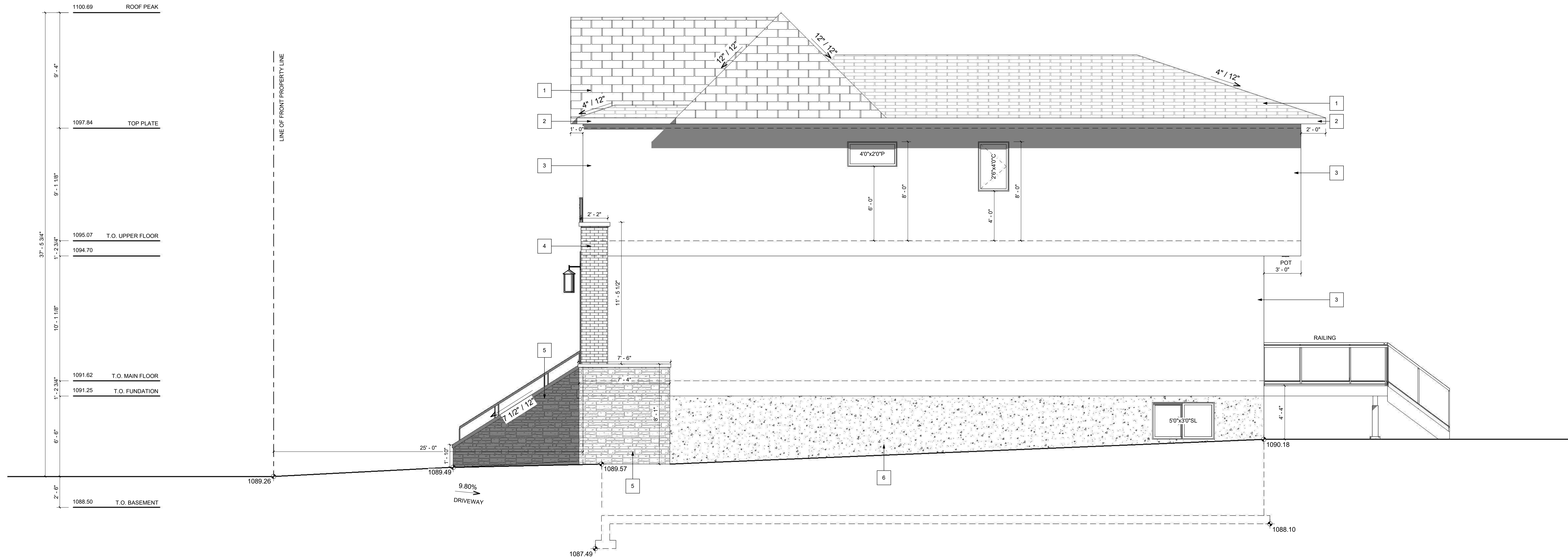
DRIVEWAY DETAIL

SCALE: NTS

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION :
@ 1.22m LIMITING DISTANCE

WALL AREA = 1492.43 SQ. FT.
WINDOW AREA = 34.73 SQ. FT.
TOTAL: 34.73 / 1492.43 = 2.33%



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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01.	10/12/2025	DP PLANS	K.G.
02.	--	--	--
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04.	--	--	--



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CALGARY, ALBERTA
PROJECT:
NEW HOME

STATUS:
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LEGAL LAND DISCRIPTION:
LOT: BLOCK: PLAN:

PROJECT NUMBER:	458 - 25
DESIGN BY:	JT
DRAWN BY:	JT
LAST REVISION BY:	
LAST REVISION DATE:	*
SCALE:	1/4" = 1'-0"

DRAWING SET:

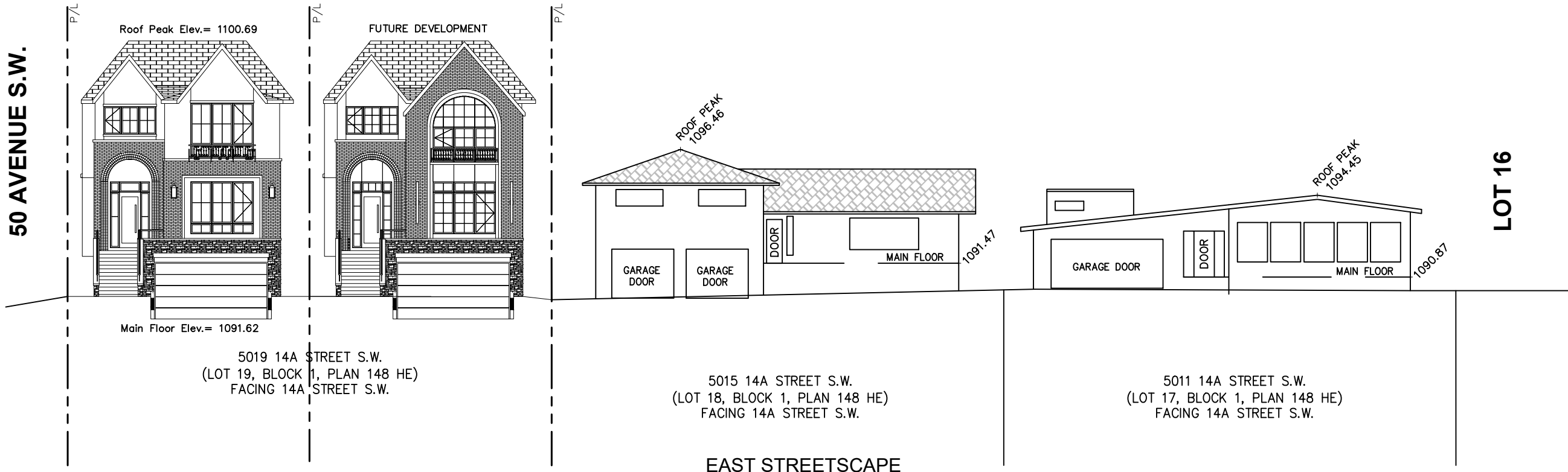
SHEET NAME:

Right Elevation

A-2.2

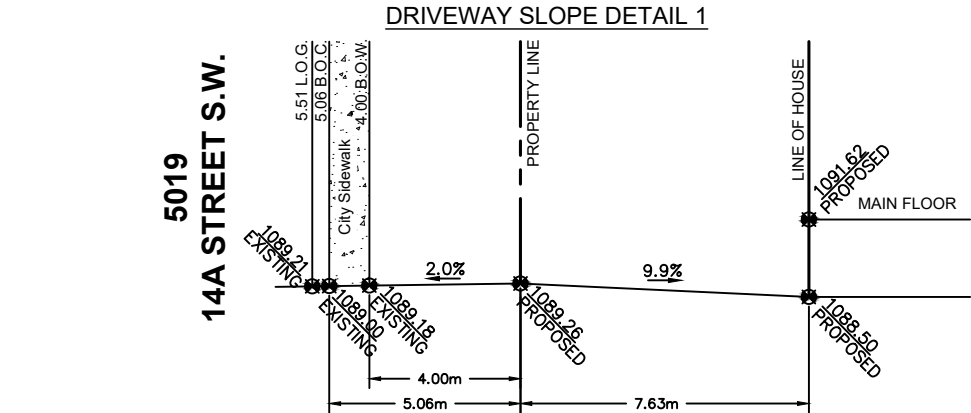


PROJECT NAME AND ADDRESS: 5019 14A ST. S.W. Calgary, Alberta Lot 19 Block 1 Plan 148 HE	PROJECT: SINGLE DETACHED	SCALE: 1: 200
	DATE: Dec. 11, 2025	DIVISION NUMBER S 01

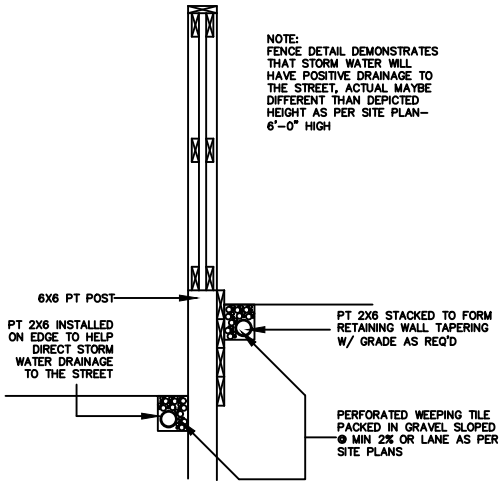


TREE SCHEDULE:

Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	1.40	10.00	10.00	In Adjacent Property	To Stay
T2	Bush	–	1.50	1.50	In Subject Property	To Be Removed
T3	Bush	–	2.00	2.00	In Subject Property	To Be Removed
T4	Deciduous	0.80	3.00	5.00	In Subject Property	To Be Removed
T5	Deciduous	0.12	3.00	3.50	In Adjacent Property	To Stay
T6	Deciduous	0.12	3.00	3.50	In City Property	To Stay
T7	Deciduous	0.70	3.00	4.00	In Subject Property	To Be Removed
T8	Coniferous	0.80	8.00	15.00	In Subject Property	To Be Removed
T9	Deciduous	0.12	1.20	7.00	In City Property	To Be Removed
T10	Deciduous	0.10	1.00	3.00	In City Property	To Be Removed
T11	Deciduous	0.10	1.00	3.00	In City Property	To Be Removed
T12	Deciduous	0.10	1.00	4.00	In City Property	To Stay
T13	Deciduous	0.10	1.00	4.00	In City Property	To Stay
T14	Deciduous	0.13	1.00	6.00	In Subject Property	To Be Removed
T15	Deciduous	0.13	1.00	6.00	In City Property	To Stay
T16	Deciduous	0.13	1.00	6.00	In City Property	To Stay
T17	Deciduous	0.13	1.00	6.00	In Subject Property	To Be Removed
T18	Deciduous	0.13	1.00	6.00	In City Property	To Stay
T19	Deciduous	0.13	1.00	6.00	In City Property	To Stay
T20	Deciduous	0.20	1.20	8.00	On Property Line	To Be Removed
T21	Deciduous	0.20	1.20	8.00	In City Property	To Stay
T22	Deciduous	0.20	1.20	8.00	In City Property	To Stay
T23	Deciduous	0.20	1.20	8.00	In City Property	To Stay
T24	Deciduous	0.20	1.20	8.00	In City Property	To Stay
T25	Hedge	–	1.50	2.00	In Subject Property	To Be Removed
T26	Hedge	–	1.50	2.00	In City Property	To Be Removed
T27	Deciduous	0.10	2.00	2.50	In Subject Property	To Be Removed
T28	Deciduous	0.10	2.00	2.50	In Subject Property	To Be Removed
T29	Deciduous	0.70	9.00	6.00	In Subject Property	To Be Removed
T30	Deciduous	0.60	9.00	5.00	In Subject Property	To Be Removed
T31	Hedge	–	1.50	2.00	In Subject Property	To Be Removed
T32	Deciduous	0.10	4.00	5.00	In Subject Property	To Be Removed
T33	Deciduous	0.90	4.00	4.00	In City Property	To Stay



DRIVEWAY SLOPE DETAIL
 SCALE: NTS



FENCE SECTION DETAIL
 SCALE: NTS

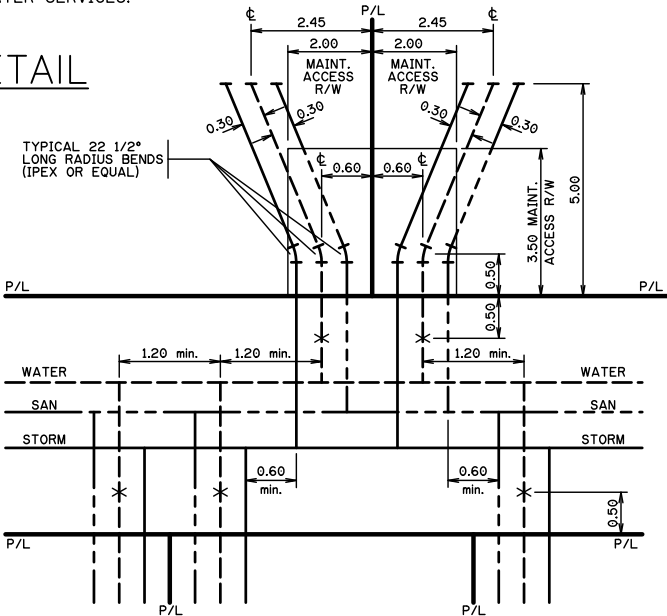
SINGLE DETACHED SQFT.

	UNIT #1
ATTACHED GARAGE	757.29 SQ FT
BASEMENT	660.46 SQ FT
MAIN FLOOR	1435.92 SQ FT
UPPER FLOOR	1523.67 SQ FT
TOTAL AREA	2959.49 SQ FT

NO.	DATE (D/M/Y)	DETAIL	BY
01.	11/12/2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

- NOTES:
- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
 - DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
 - SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
 - THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
 - DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
 - WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
 - THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
 - WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.

TRENCH DETAIL
 SCALE: NTS



NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS: 5019 14A ST. S.W. Calgary, Alberta	PROJECT: SINGLE DETACHED	SCALE: AS SHOWN
01.	11/12/2025	DP SITEPLAN	K.G.	Lot 19 Block 1 Plan 148 HE	DATE: Dec. 11, 2025	DIVISION S
02.						NUMBER 02
03.						
04.						

