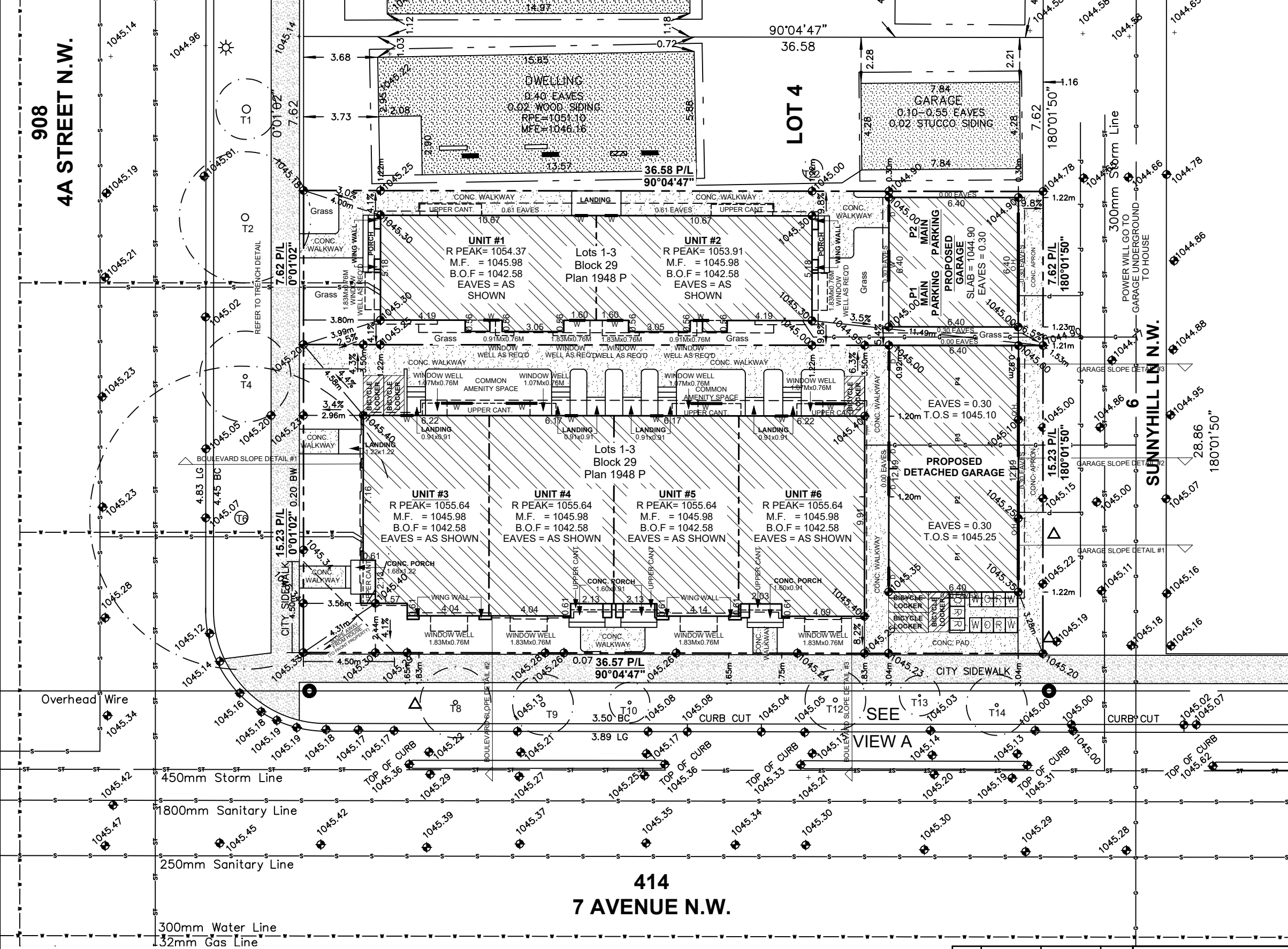


Note: Basement stairwell drains to be connected to the gravity storm service (minimum 2%) which drains to the public storm sewer



# SITE PLAN

- ### LEGEND
- ELEVATIONS ARE SHOWN THUS:  $\square$  = 1000.00 METRES. (GEODETIC)  
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM  
 AND ARE DERIVED FROM ASCMS 55269 AND 179085  
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
- THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- $\square$  ----- denotes Calculation points
  - $\boxtimes$  ----- denotes Water Valve
  - $\diamond$  ----- denotes Gas Valve
  - $\odot$  ----- denotes Manhole
  - $\odot$  ----- denotes Tree
  - $\bullet$  ----- denotes Power Pole
  - $\triangle$  ----- denotes Sign
  - $\odot$  ----- denotes Light Standard
  - X-X- denotes Fence
  - S-S- denotes Sanitary Line
  - ST-ST- denotes Storm Line
  - W-W- denotes Water Line
  - G-G- denotes Gas Line
  - E-E- denotes Electrical Line
  - A.A.T- denotes A.G.T Line
  - denotes Utility Right of Way Line
  - denotes Property Line
  - denotes Door
  - denotes Main Floor Windows
  - denotes Second Floor Windows
  - denotes Basement Floor Windows
  - denotes Shed Hatch
  - denotes Detached Garage Hatch
  - denotes Main Building Hatch
  - denotes Concrete and Asphalt Hatch
  - denotes Wood Hatch

'Cant.' denotes Cantilevers  
 'Enc.' denotes Encroach(es)  
 'BW' denotes Back of Walkway  
 'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete  
 'Ret.' denotes Retaining  
 'BC' denotes Back of Curb  
 'TOW' denotes Top of Wall

**Disclaimer**  
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential  
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lots 1-3  
 Block 29  
 Plan 1948 P

MUNICIPAL ADDRESS:

414 7 Ave. N.W.  
 Calgary, Alberta

LOT COVERAGE DETAIL: (ROW HOUSE)	LOT COVERAGE DETAIL: (DUPLX)	DENSITY:
LOT SIZE: 556.992 SQ M HOUSE SIZE: 238.484 SQ M CANT.: 0.000 SQ M COVERED PORCH: 1.301 SQ M GARAGE: 78.039 SQ M WINGWALL: 1.540 SQ M	LOT SIZE: 278.628 SQ M HOUSE SIZE: 115.324 SQ M CANT.: 4.769 SQ M COVERED PORCH: 0.00 SQ M GARAGE: 40.970 SQ M WINGWALL: 0.619 SQ M	TOTAL UNITS: 6 LOT SIZE: 835.620 SQ M (0.083562ha) DENSITY: 72 UNITS/ha
TOTAL: 319.364/556.992 = 57.34%	TOTAL: 156.913/278.628 = 56.32%	PARKING: PARKING PROVIDED: 6 STALLS

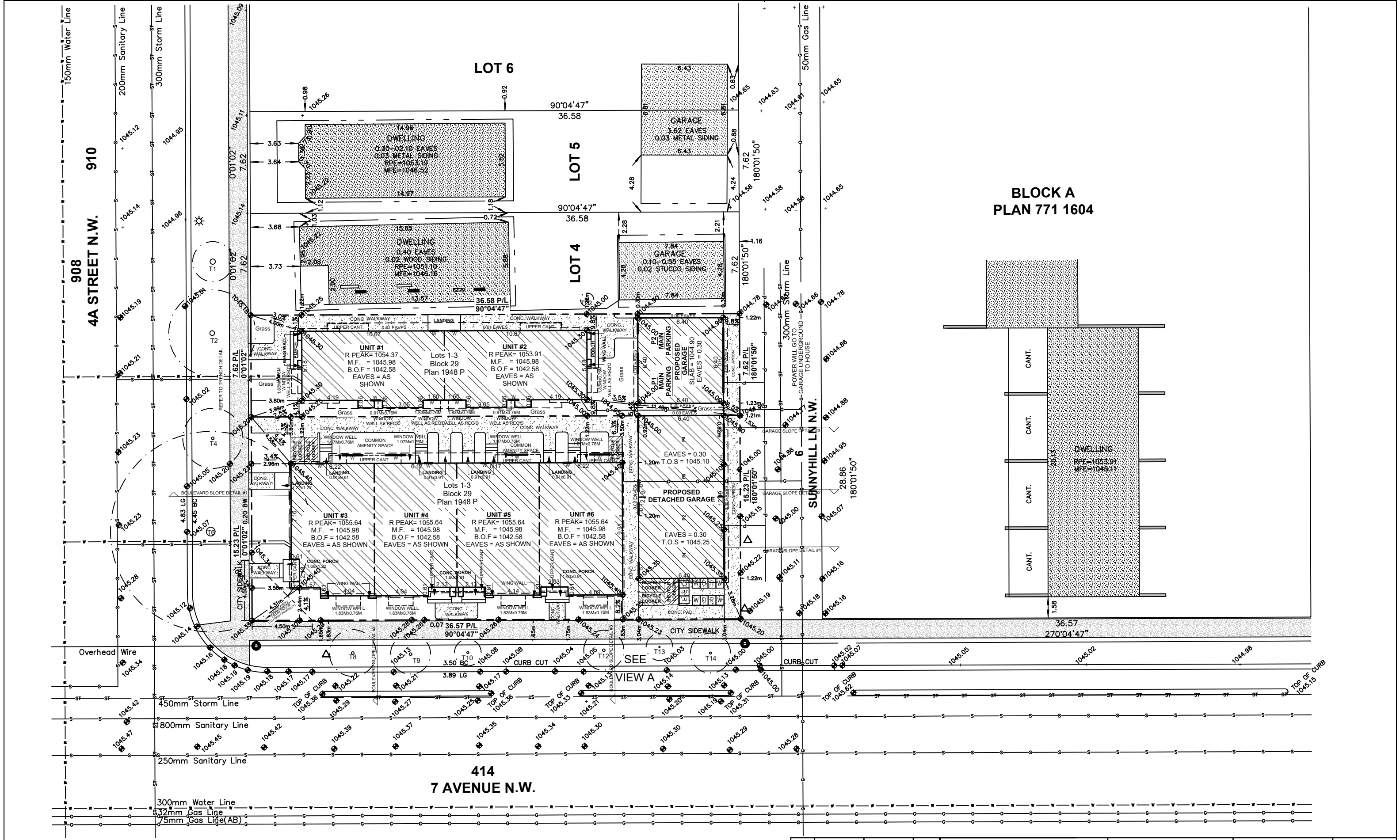


# SITE PLAN

SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	09/12/2025	DP PLANS	K.G.
02.			
03.			
04.			

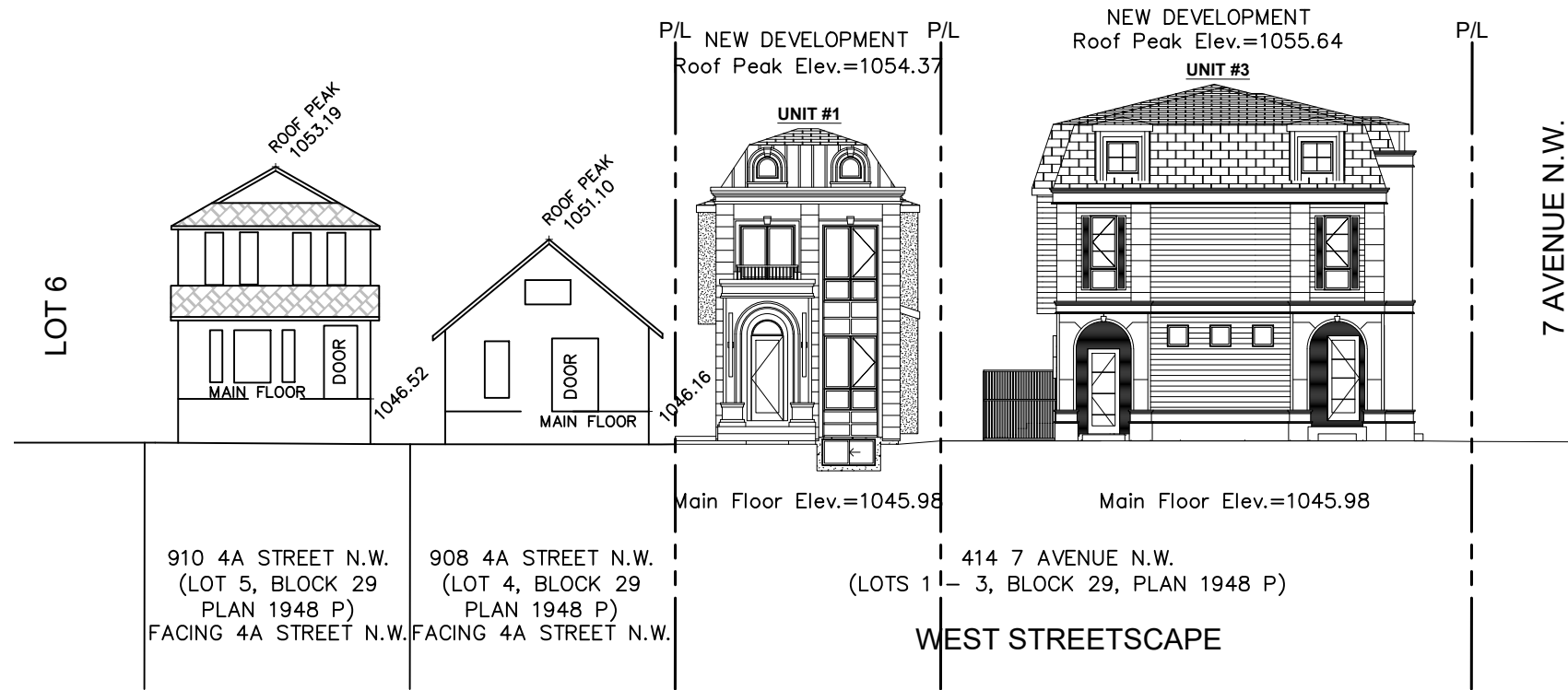
PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
414 7 AVE. N.W. Calgary, Alberta	DUPLEX & ROWHOUSE (6+6)	1:200
Lot 1-3 Block 29 Plan 1948 P	DATE: DEC. 09, 2025	DIVISION NUMBER: S 01



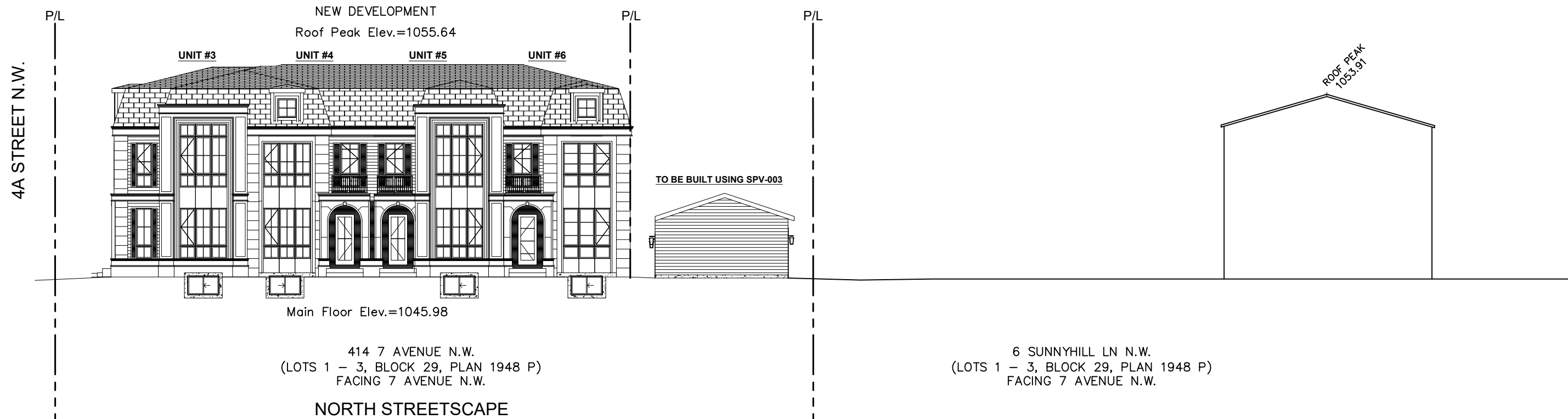
**BLOCK PLAN**  
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	09/12/2025	DP PLANS	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS: 414 7 AVE. N.W. Calgary, Alberta	PROJECT: DUPLEX & ROWHOUSE (6+6)	SCALE: 1:200
DATE: DEC. 09, 2025	DIVISION NUMBER: S 02	



STREETSCAPE  
SCALE: 1:200



STREETSCAPE  
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	09/12/2025	DP PLANS	K.G.	414 7 AVE. N.W. Calgary, Alberta Lot 1-3 Block 29 Plan 1948 P	DUPLEX & ROWHOUSE (6+6)	1: 200
02.						
03.						
04.						
				DATE:	DEC. 09, 2025	DIVISION NUMBER: S 04



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevations
A-4.2	Garage Section

**GARAGE** = 441.00 SQ. FT.

**FLOOR AREA - UNIT #1**  
 BASEMENT = 595.00 SQ. FT.

MAIN = 620.67 SQ. FT.  
 UPPER = 631.67 SQ. FT.  
 TOTAL = 1252.34 SQ. FT.

**FLOOR AREA - UNIT #2**  
 BASEMENT = 595.00 SQ. FT.

MAIN = 620.67 SQ. FT.  
 UPPER = 631.67 SQ. FT.  
 TOTAL = 1252.34 SQ. FT.

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
 CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	08/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:  
 X \_\_\_\_\_

PRINTED: 12/12/2025 11:45:16 AM

PROJECT NAME:  
 414 7 AVE NW  
 CALGARY, ALBERTA

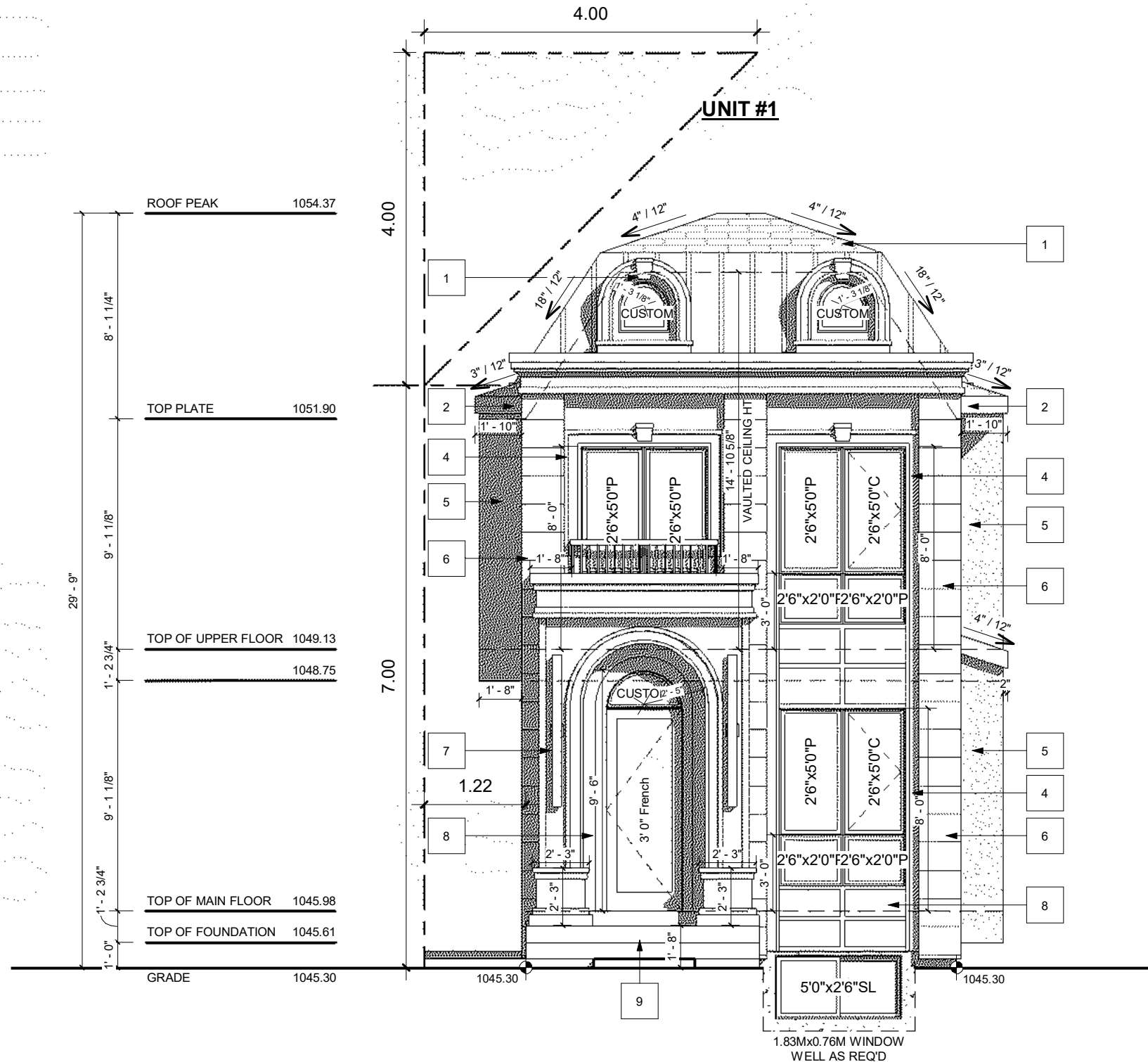
DESIGNER: JT JOB #: 21-26

SCALE: AS SHOWN SHEET: A-0.0

**EXTERIOR FINISHES:**

- |                       |                                |                                |                  |
|-----------------------|--------------------------------|--------------------------------|------------------|
| 1 ASPHALT SHINGLES    | 4 SMOOTH STUCCO FINISH - WHITE | 7 BOARD & BATTEN - WHITE       | 10 CONC. PARGING |
| 2 8" ALUMNIMUM FASCIA | 5 STUCCO FINISH - WHITE        | 8 SMOOTH STUCCO FINISH - BLACK |                  |
| 3 ALUMINUM EAVES      | 6 SMOOTH STUCCO - GRAY         | 9 CAST IN PLACE CONCRETE       |                  |

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**FRONT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL, ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	08/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

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PROJECT: SEMI DETACHED  
 STATUS: -  
 SIGNATURES: X  
 PRINTED: 12/12/2025 11:45:22 AM

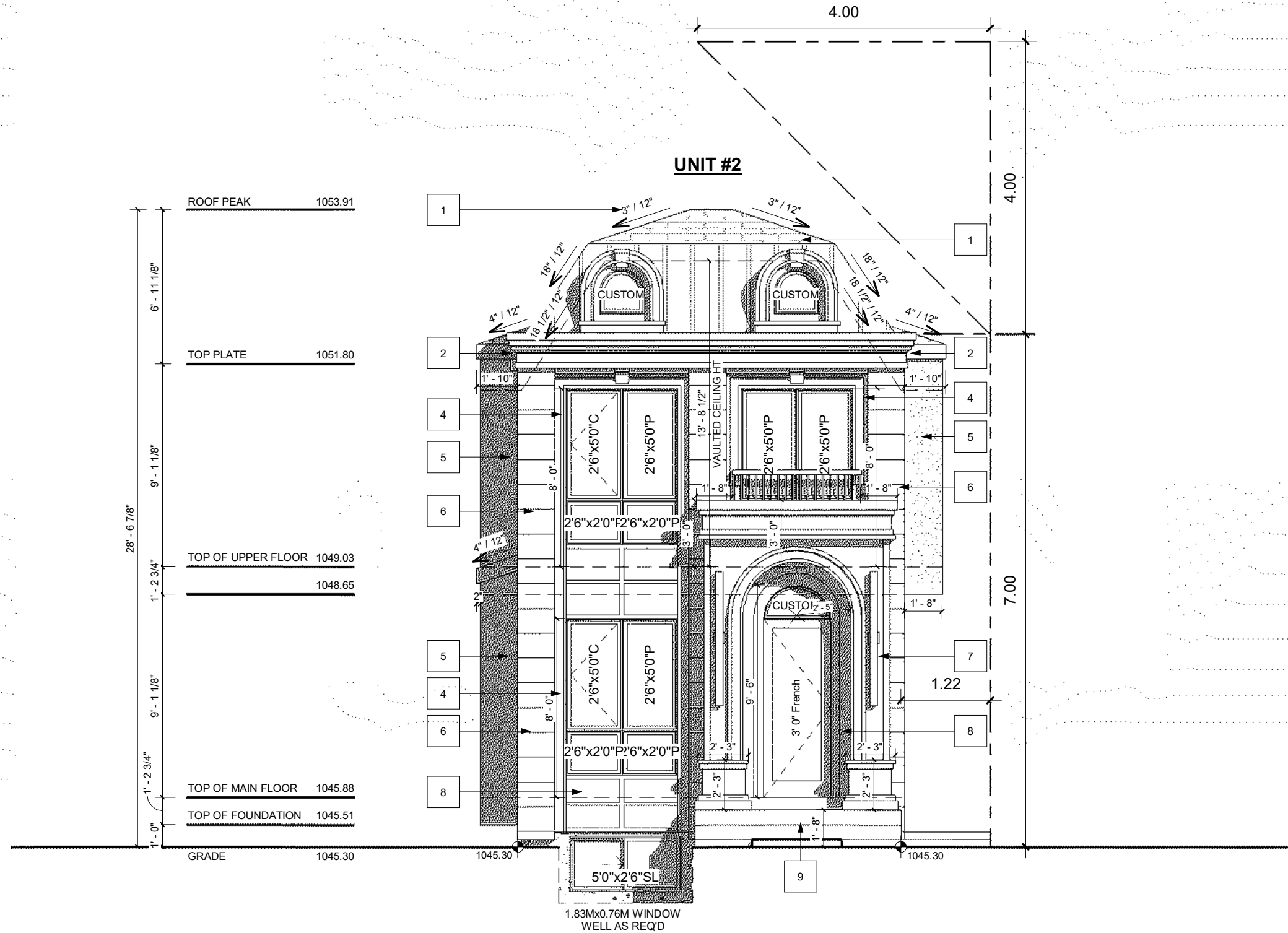


PROJECT NAME: 414 7 AVE NW CALGARY, ALBERTA  
 DESIGNER: JT JOB #: 21-26  
 SCALE: AS SHOWN SHEET: A-2.0

**EXTERIOR FINISHES:**

- |                       |                                |                                |                  |
|-----------------------|--------------------------------|--------------------------------|------------------|
| 1 ASPHALT SHINGLES    | 4 SMOOTH STUCCO FINISH - WHITE | 7 BOARD & BATTEN - WHITE       | 10 CONC. PARGING |
| 2 8" ALUMNIMUM FASCIA | 5 STUCCO FINISH - WHITE        | 8 SMOOTH STUCCO FINISH - BLACK |                  |
| 3 ALUMINUM EAVES      | 6 SMOOTH STUCCO - GRAY         | 9 CAST IN PLACE CONCRETE       |                  |

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**REAR ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	08/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

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**PROJECT:**

SEMI DETACHED

**STATUS:**

-

**SIGNATURES:**

X

PRINTED: 12/12/2025 11:45:22 AM



**PROJECT NAME:**

414 7 AVE NW  
 CALGARY, ALBERTA

**DESIGNER:**

JT

**JOB #:**

21-26

**SC/AS SHOWN**

AS SHOWN

**SHEET:**

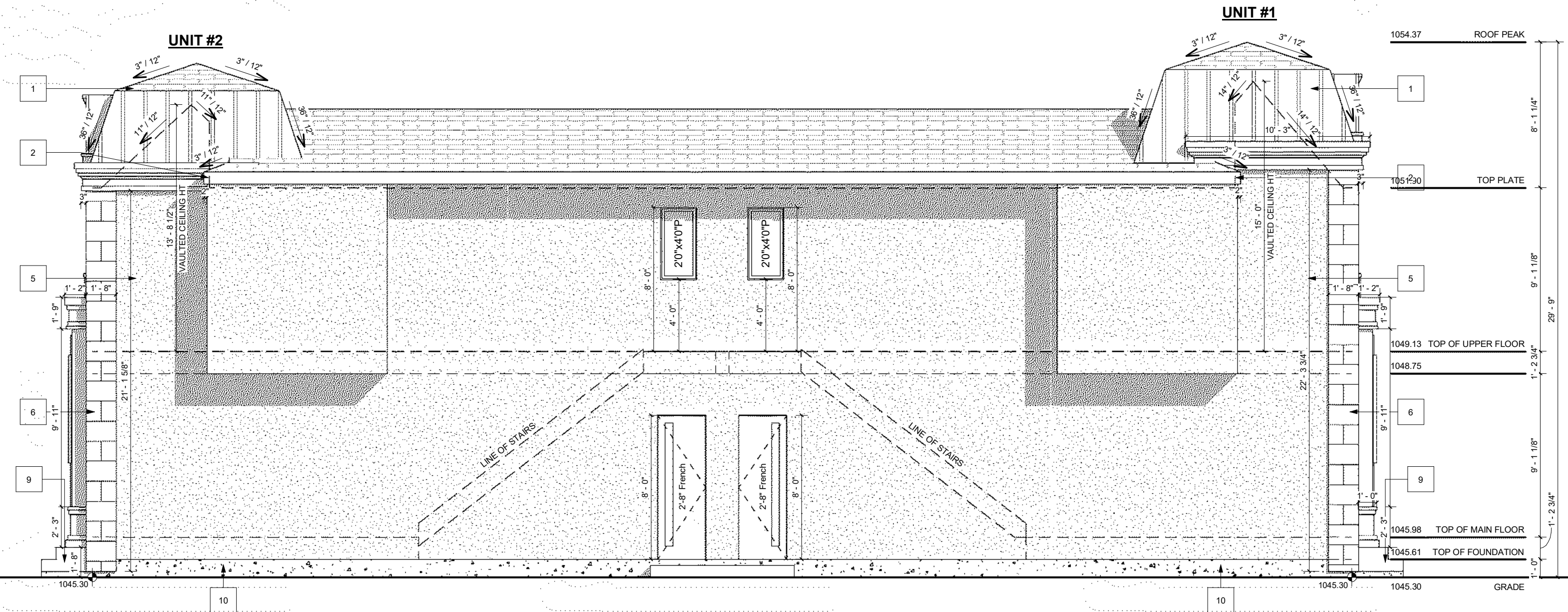
A-2.1

**EXTERIOR FINISHES:**

- |                       |                                |                                |                  |
|-----------------------|--------------------------------|--------------------------------|------------------|
| 1 ASPHALT SHINGLES    | 4 SMOOTH STUCCO FINISH - WHITE | 7 BOARD & BATTEN - WHITE       | 10 CONC. PARGING |
| 2 8" ALUMNIMUM FASCIA | 5 STUCCO FINISH - WHITE        | 8 SMOOTH STUCCO FINISH - BLACK |                  |
| 3 ALUMINUM EAVES      | 6 SMOOTH STUCCO - GRAY         | 9 CAST IN PLACE CONCRETE       |                  |

**WINDOW CALCULATION**  
 WALL AREA = 1491.88 SQ. FT.  
 WINDOW AREA = 17.01 SQ. FT.  
 TOTAL: 17.01 / 1491.88 = 1.14%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL, ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	08/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

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<b>PROJECT:</b>	SEMI DETACHED
<b>STATUS:</b>	-
<b>SIGNATURES:</b>	X
<b>PRINTED:</b>	12/12/2025 11:45:23 AM



<b>PROJECT NAME:</b> 414 7 AVE NW CALGARY, ALBERTA	
<b>DESIGNER:</b> JT	<b>JOB #:</b> 21-26
<b>SCALE:</b> AS SHOWN	<b>SHEET:</b> A-2.2

**EXTERIOR FINISHES:**

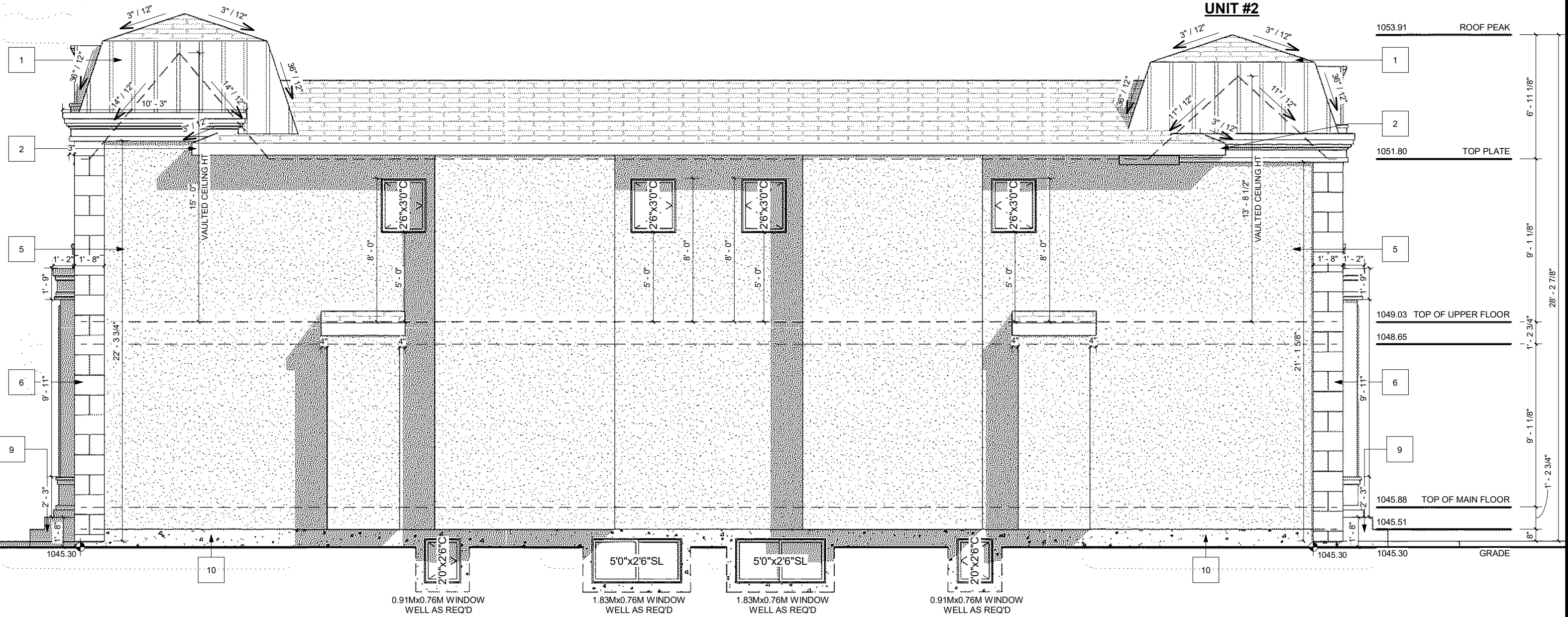
1 ASPHALT SHINGLES	4 SMOOTH STUCCO FINISH - WHITE	7 BOARD & BATTEN - WHITE	10 CONC. PARGING
2 8" ALUMNIMUM FASCIA	5 STUCCO FINISH - WHITE	8 SMOOTH STUCCO FINISH - BLACK	
3 ALUMINUM EAVES	6 SMOOTH STUCCO - GRAY	9 CAST IN PLACE CONCRETE	

**WINDOW CALCULATION**  
 WALL AREA = 1491.88 SQ. FT.  
 WINDOW AREA = 34.85 SQ. FT.  
 TOTAL: 34.85 / 1491.88 = 2.34%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)

**UNIT #1**

**UNIT #2**



**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL, ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	08/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

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**PROJECT:**

SEMI DETACHED

**STATUS:**

-

**SIGNATURES:**

X

PRINTED: 12/12/2025 11:45:23 AM



**PROJECT NAME:**

4147 AVE NW  
 CALGARY, ALBERTA

DESIGNER: JT

JOB #: 21-26

SCALE: AS SHOWN

SHEET: A-2.3

**EXTERIOR FINISHES:**

- |                       |                                |                                |                 |
|-----------------------|--------------------------------|--------------------------------|-----------------|
| 1 ASPHALT SHINGLES    | 4 SMOOTH STUCCO FINISH - WHITE | 7 BOARD & BATTEN - WHITE       | 10 CONC. PAVING |
| 2 8" ALUMNIMUM FASCIA | 5 STUCCO FINISH - WHITE        | 8 SMOOTH STUCCO FINISH - BLACK |                 |
| 3 ALUMINUM EAVES      | 6 SMOOTH STUCCO - GRAY         | 9 CAST IN PLACE CONCRETE       |                 |

PROJECT NOTES:

**GARAGE TO BE BUILT USING SPV-003**

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	08/12/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES: X \_\_\_\_\_

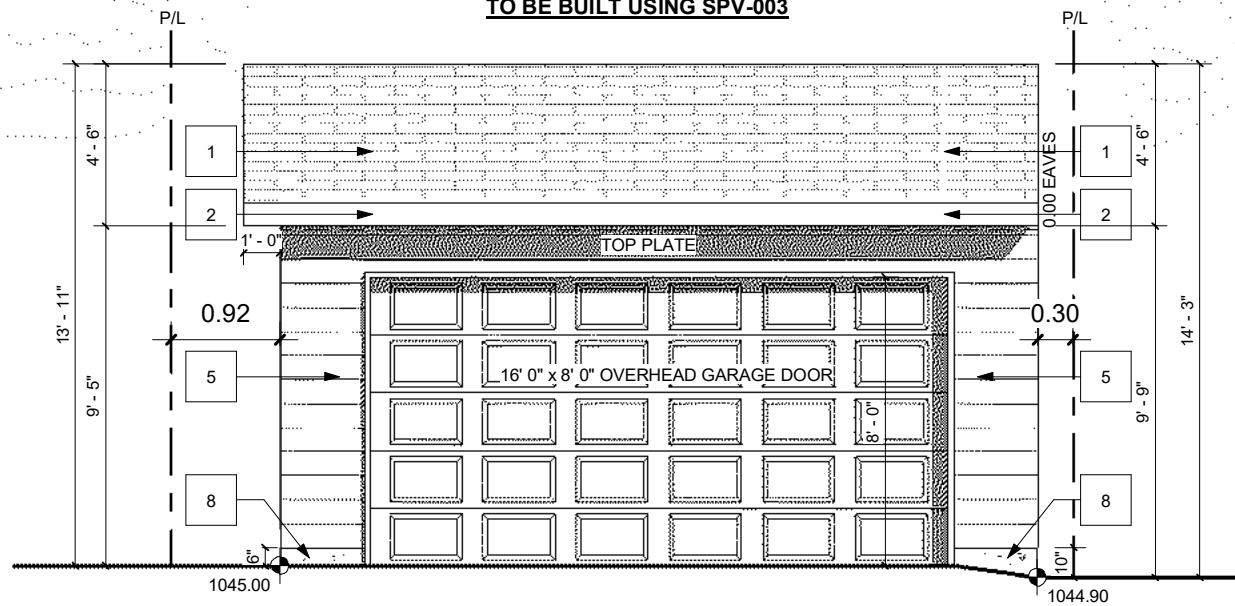
PRINTED: 12/12/2025 11:45:25 AM

PROJECT NAME: 414 7 AVE NW CALGARY, ALBERTA

DESIGNER: JT JOB #: 21-26

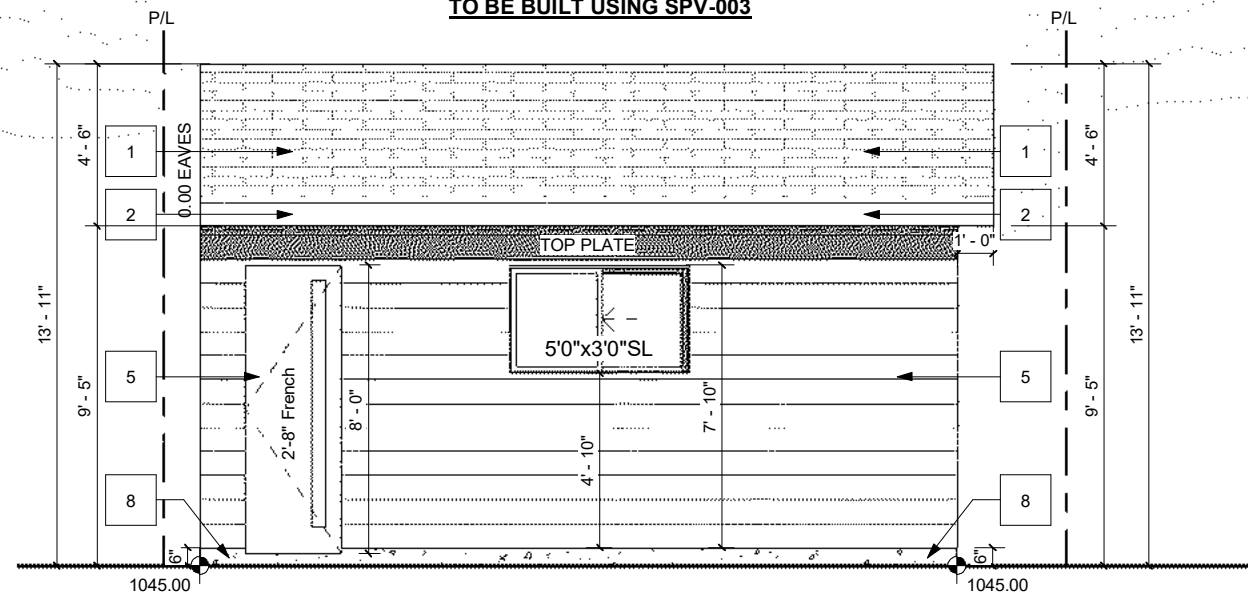
SCALE: AS SHOWN SHEET: A-4.1

**TO BE BUILT USING SPV-003**



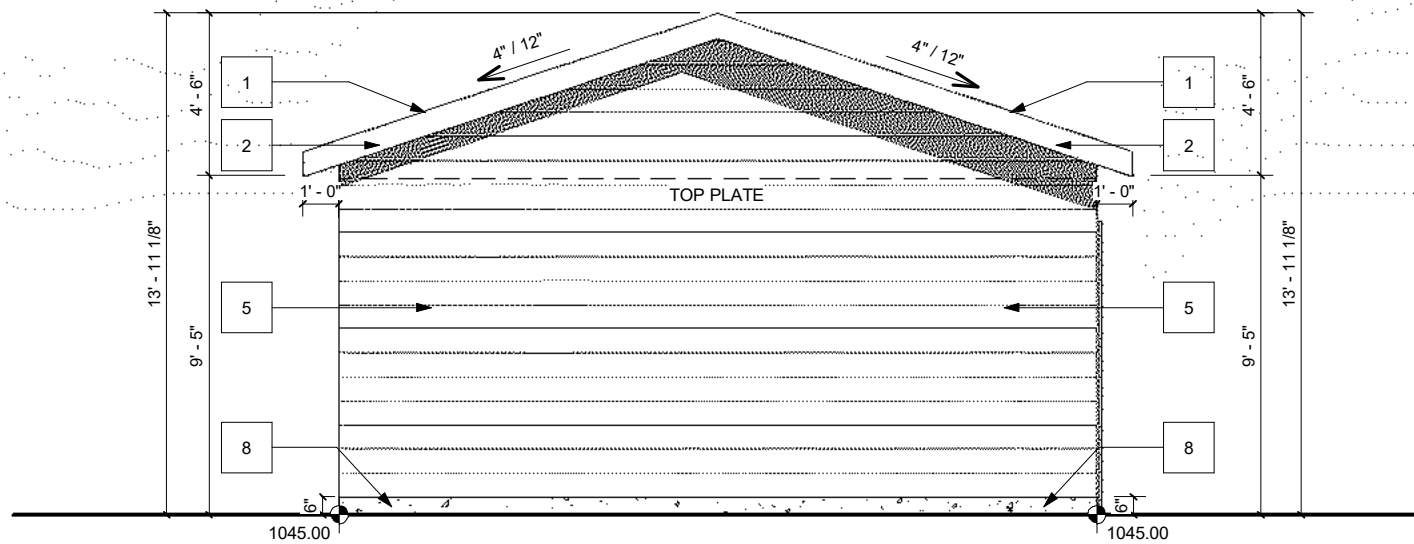
**GARAGE FRONT - BACK LANE**  
SCALE: 3/16" = 1'-0"

**TO BE BUILT USING SPV-003**



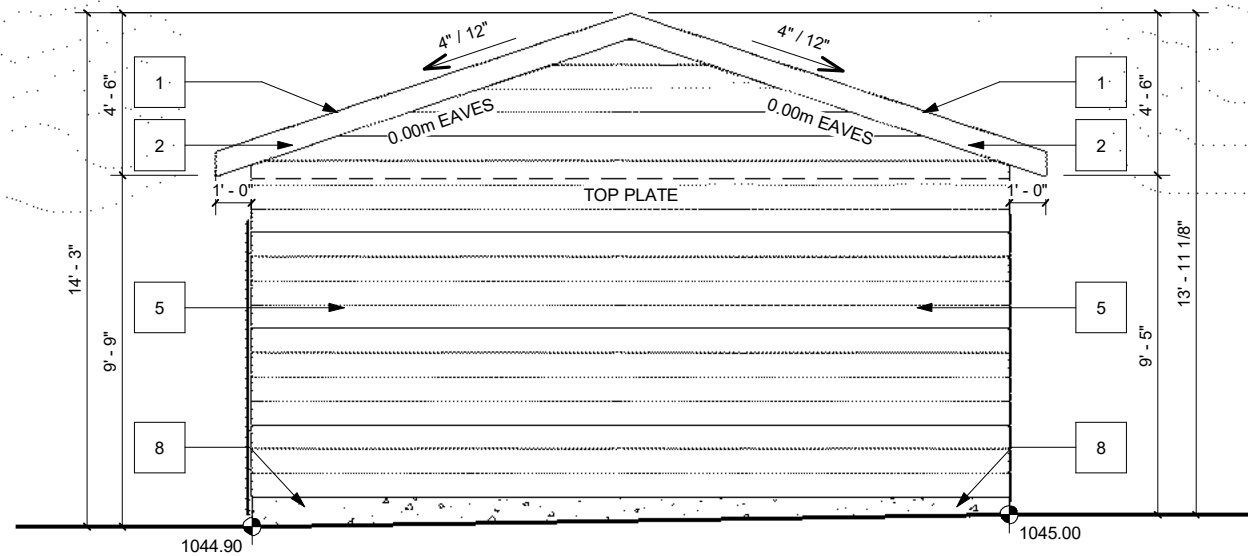
**GARAGE REAR - BACK LANE**  
SCALE: 3/16" = 1'-0"

**TO BE BUILT USING SPV-003**



**GARAGE LEFT**  
SCALE: 3/16" = 1'-0"

**TO BE BUILT USING SPV-003**



**GARAGE RIGHT**  
SCALE: 3/16" = 1'-0"



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Right Elevation
A-2.3	Left Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections



**FLOOR AREA UNIT #3**

BASEMENT	=	649.21 SQ. FT.
MAIN	=	635.21 SQ. FT.
UPPER	=	670.88 SQ. FT.
<b>TOTAL</b>	=	<b>1306.09 SQ. FT.</b>

**FLOOR AREA UNIT #4**

BASEMENT	=	638.12 SQ. FT.
MAIN	=	644.79 SQ. FT.
UPPER	=	673.74 SQ. FT.
<b>TOTAL</b>	=	<b>1318.53 SQ. FT.</b>

**FLOOR AREA UNIT #5**

BASEMENT	=	638.12 SQ. FT.
MAIN	=	644.79 SQ. FT.
UPPER	=	673.74 SQ. FT.
<b>TOTAL</b>	=	<b>1318.53 SQ. FT.</b>

**FLOOR AREA UNIT #6**

BASEMENT	=	643.54 SQ. FT.
MAIN	=	650.21 SQ. FT.
UPPER	=	679.49 SQ. FT.
<b>TOTAL</b>	=	<b>1329.70 SQ. FT.</b>

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/12/2025	DP PLANS	K.G.
02.	--	--	--
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PROJECT:

FOUR UNIT ROWHOUSE

STATUS: DP

SIGNATURES:

X

PRINTED: 12/12/2025 1:54:51 PM



PROJECT NAME:

414 7 Ave NW, Calgary

DESIGNER: JT

JOB #: 21-26

SCALE: AS SHOWN

SHEET: A-0.0

**EXTERIOR FINISHES:**

- |                         |                             |                              |
|-------------------------|-----------------------------|------------------------------|
| 1 ASPHALT SHINGLES      | 4 STUCCO FINISH             | 7 CAST-IN PLACE CONCRETE     |
| 2 8" ALUMINUM FASCIA    | 5 STUCCO FINISH - DARK GREY | 8 CONCRETE PARGING           |
| 3 HARDIE FINISH - WHITE | 6 SMART BOARD FINISH - GREY | 9 SMART BOARD FINISH - WHITE |

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**FRONT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
01.	05/12/2025	DP PLANS	K.G.
02.	--	--	--
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04.	--	--	--
05.	--	--	--

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**PROJECT:**

**FOUR UNIT ROWHOUSE**

STATUS: DP

SIGNATURES: X

PRINTED: 12/12/2025 1:55:00 PM



**PROJECT NAME:**

414 7 Ave NW, Calgary

DESIGNER: JT

SCALE: AS SHOWN

JOB #: 21-26

SHEET: A-2.0

**EXTERIOR FINISHES:**

- |                         |                             |                              |
|-------------------------|-----------------------------|------------------------------|
| 1 ASPHALT SHINGLES      | 4 STUCCO FINISH             | 7 CAST-IN PLACE CONCRETE     |
| 2 8" ALUMINUM FASCIA    | 5 STUCCO FINISH - DARK GREY | 8 CONCRETE PARGING           |
| 3 HARDIE FINISH - WHITE | 6 SMART BOARD FINISH - GREY | 9 SMART BOARD FINISH - WHITE |

**WINDOW CALCULATION**  
 (3.91m LIMITING DISTANCE)  
 WALL AREA = 1814.62 SQ. FT.  
 WINDOW AREA = 189.55 SQ. FT.  
 TOTAL: 189.55 / 1814.62 = 10.45%

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**REAR ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

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**ISSUES:**

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03.	--	--	--
04.	--	--	--
05.	--	--	--

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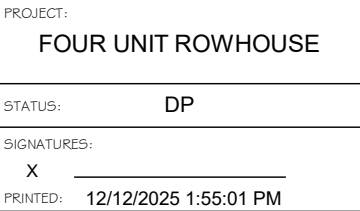
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

**PROJECT:**  
 FOUR UNIT ROWHOUSE

**STATUS:**  
 DP

**SIGNATURES:**  
 X

**PRINTED:**  
 12/12/2025 1:55:01 PM



**PROJECT NAME:**  
 414 7 Ave NW, Calgary

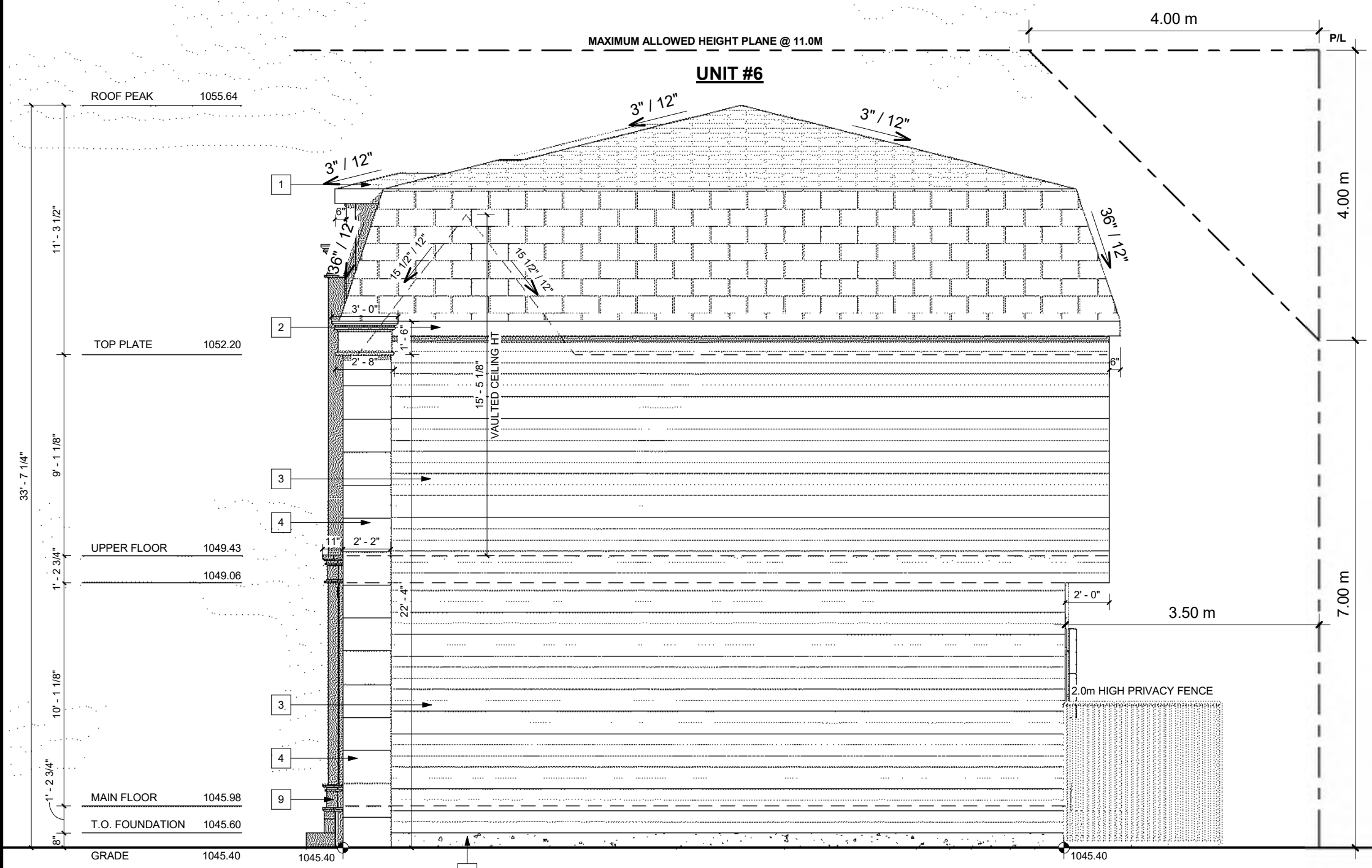
**DESIGNER:**  
 JT

**SCALE:**  
 AS SHOWN

**JOB #:**  
 21-26

**SHEET:**  
 A-2.1

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



Base Warranty Label/Details	12	Base Warranty Parts/Details	12
Bulb Type	Incandescent	Bulbs Included	No
Collection Name	1022	Dark Sky	No
ENERGY STAR Certified	No	UL Certification Number	508
Fixture Color Family	Black	Fixture Depth(s)	17.218
Fixture Depth(s)	6.7	Fixture Depth(s)	170.18
Fixture Finish	N/A	Fixture Height(s)	39.876
Fixture Height(s)	15.7	Fixture Height(s)	398.76
Fixture Width(s)	13.97	Fixture Width(s)	5.5
Fixture Width(s)	139.7	Glass Color	Clear
Glass Style	Flat	Hardware Included	Yes
Light Bulb Base Type	Integrated	Lenses	400
Manufacturer Color Finish	Black	Material	Alum
Maximum Bulb Wattage	60	Maximum Fixture Wattage	60
Motor Sensor	No	Number of Bulbs Required	2
Package Quantity	1	Power Source	Hardwired
Recommended Light Bulb Shape	A75	Safety Listing	UL/ETL safety listing
Size	Medium (3-6 inches)	Style	Modern/contemporary
Type	Outdoor wall-mount light	Warranty	1 year
Wattage	30	Wattage Equivalent	60
Weather Resistant	Yes	Weatherproof	Yes
Weight(lb)	1.8144	Weight(lbs.)	4.0

**ENTRY WAY LIGHT DETAIL**  
 SCALE: NTS

**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"

PROJECT NOTES:

NOTE: RIM JOIST AND EXTERIOR WALL SHEATHING ARE TO BE PRESSURE TREATED AT LOCATIONS WHERE GRADES ARE LESS THAN 8" FROM OF TOP OF FOUNDATION WALL

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:			
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03.	--	--	--
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PROJECT:	FOUR UNIT ROWHOUSE
STATUS:	DP
SIGNATURES:	X
PRINTED:	12/12/2025 1:55:02 PM

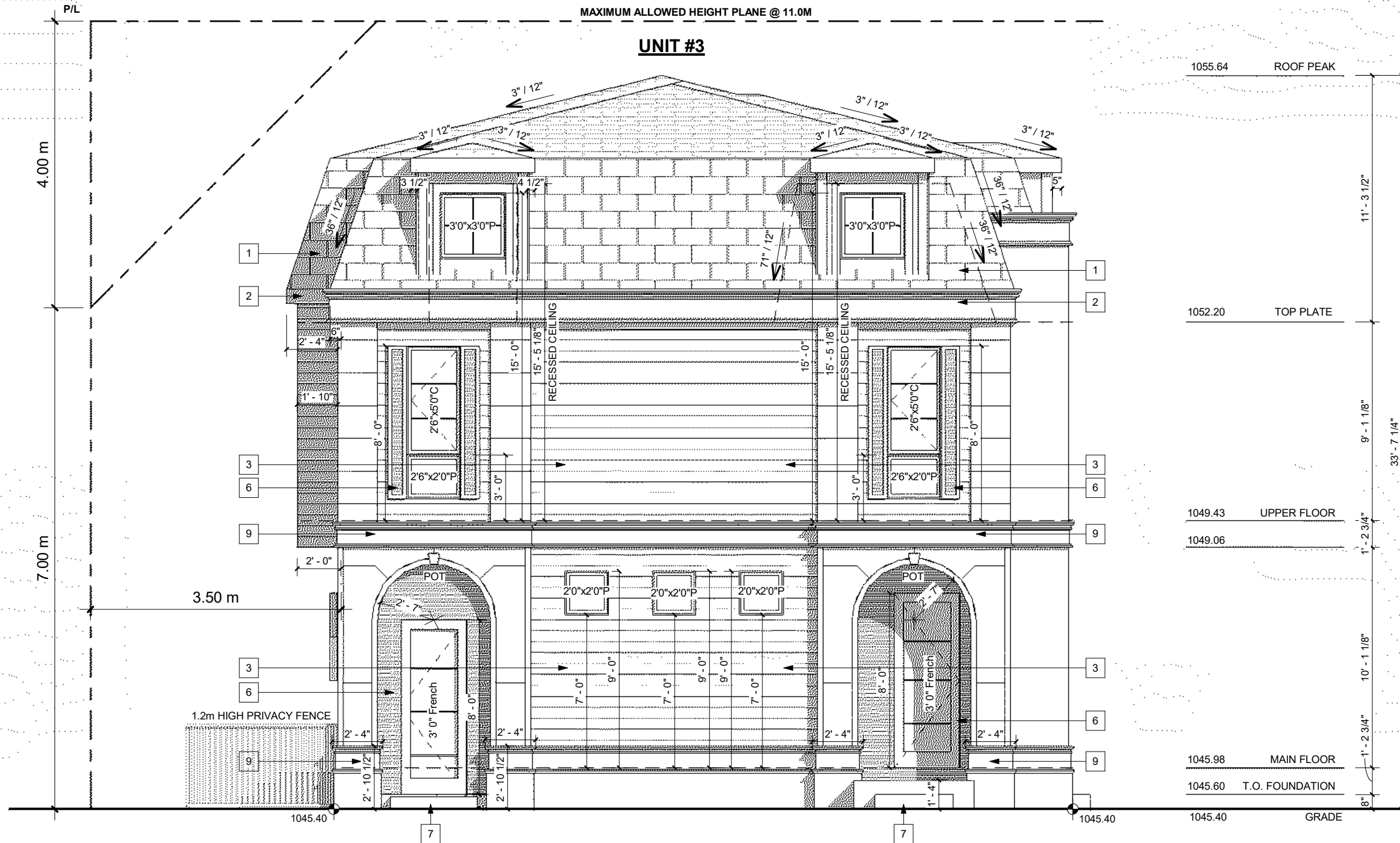


PROJECT NAME:		414 7 Ave NW, Calgary
DESIGNER:	JT	JOB #: 21-26
SCALE:	AS SHOWN	SHEET: A-2.2

**EXTERIOR FINISHES:**

- |                         |                             |                              |
|-------------------------|-----------------------------|------------------------------|
| 1 ASPHALT SHINGLES      | 4 STUCCO FINISH             | 7 CAST-IN PLACE CONCRETE     |
| 2 8" ALUMINUM FASCIA    | 5 STUCCO FINISH - DARK GREY | 8 CONCRETE PARGING           |
| 3 HARDIE FINISH - WHITE | 6 SMART BOARD FINISH - GREY | 9 SMART BOARD FINISH - WHITE |

**VENTED SOFFIT NOTES:**  
 -VENTED SOFFIT (FRONT AND BACK)  
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
 (SOFFIT ARE PRE-FIN ALUM)



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"

**PROJECT NOTES:**

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**ISSUES:**

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02.	--	--	--
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04.	--	--	--
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PROJECT: **FOUR UNIT ROWHOUSE**

STATUS: **DP**

SIGNATURES: **X**

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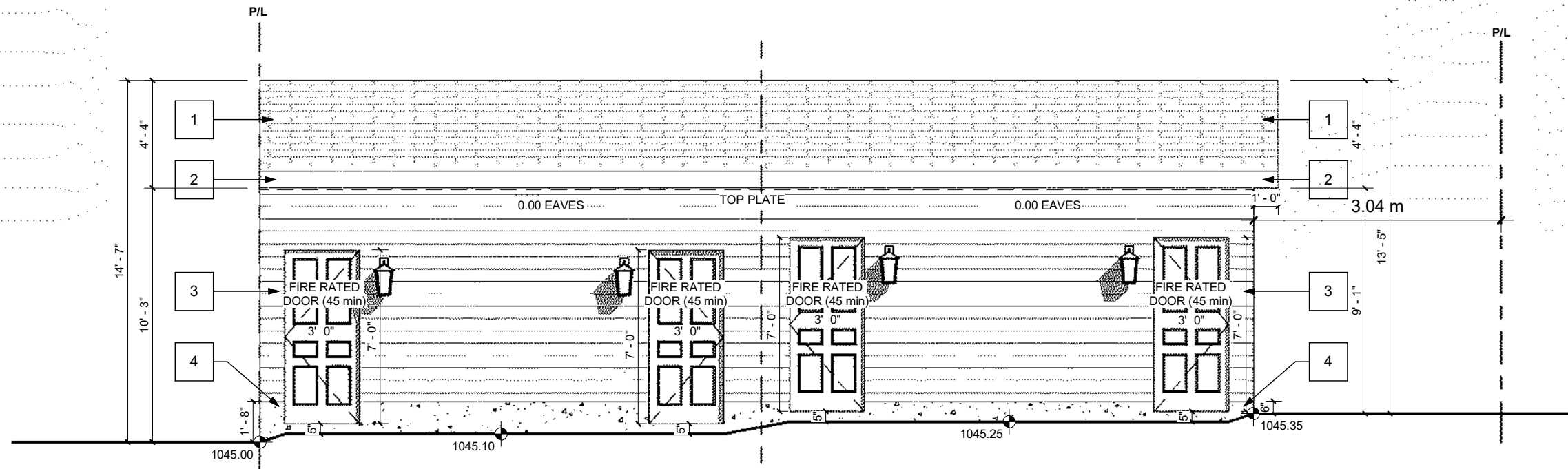
PROJECT NAME:  
**414 7 Ave NW, Calgary**

DESIGNER: **JT**      JOB #: **21-26**

SCALE: **AS SHOWN**      SHEET: **A-2.3**

**EXTERIOR FINISHES:**

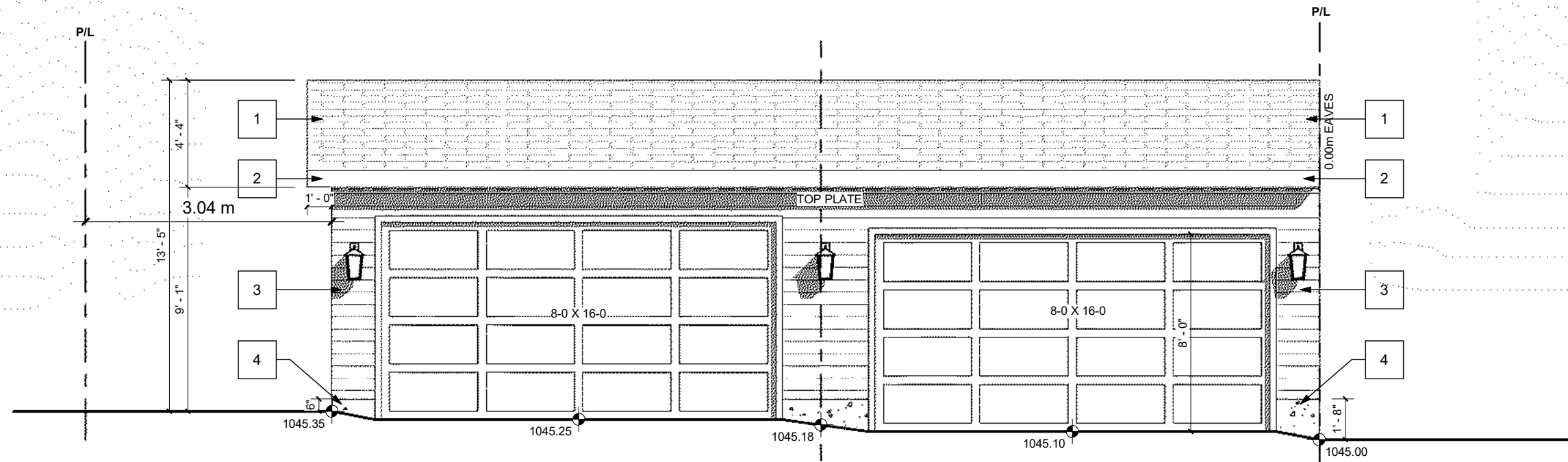
- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 HARDIE FINISH
- 4 CONCRETE PARGING



**GARAGE REAR**  
SCALE: 3/16" = 1'-0"

**EXTERIOR FINISHES:**

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 HARDIE FINISH
- 4 CONCRETE PARGING



**GARAGE FRONT**  
SCALE: 3/16" = 1'-0"

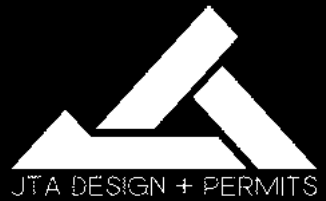
PROJECT NOTES:

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**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
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PROJECT:  
**FOUR UNIT ROWHOUSE**

STATUS: **DP**

SIGNATURES:  
X \_\_\_\_\_

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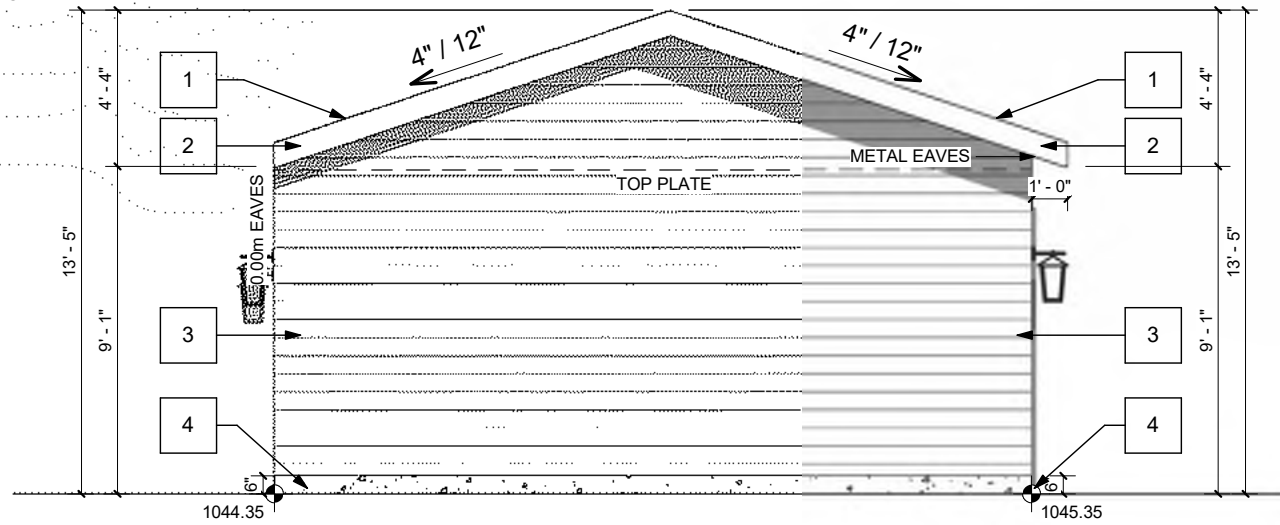
PROJECT NAME:  
414 7 Ave NW, Calgary

DESIGNER: **JT** JOB #: **21-26**

SCALE: **AS SHOWN** SHEET: **A-3.1**

EXTERIOR FINISHES:

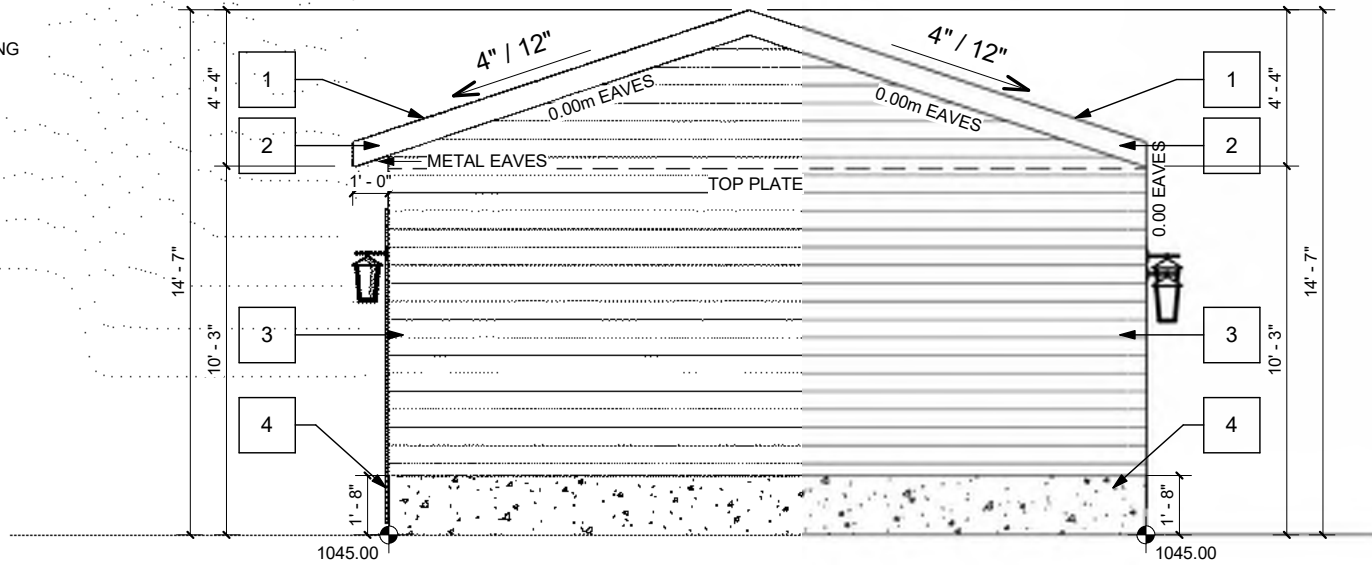
- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 HARDIE FINISH
- 4 CONCRETE PARGING



**GARAGE LEFT**  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 HARDIE FINISH
- 4 CONCRETE PARGING



PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
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PROJECT:  
**FOUR UNIT ROWHOUSE**

STATUS: **DP**

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 12/12/2025 1:55:07 PM

PROJECT NAME:  
414 7 Ave NW, Calgary

DESIGNER: **JT** JOB #: **21-26**

SCALE: **AS SHOWN** SHEET: **A-3.2**