



PETRO-CANADA



PROJECT & LOCATION :

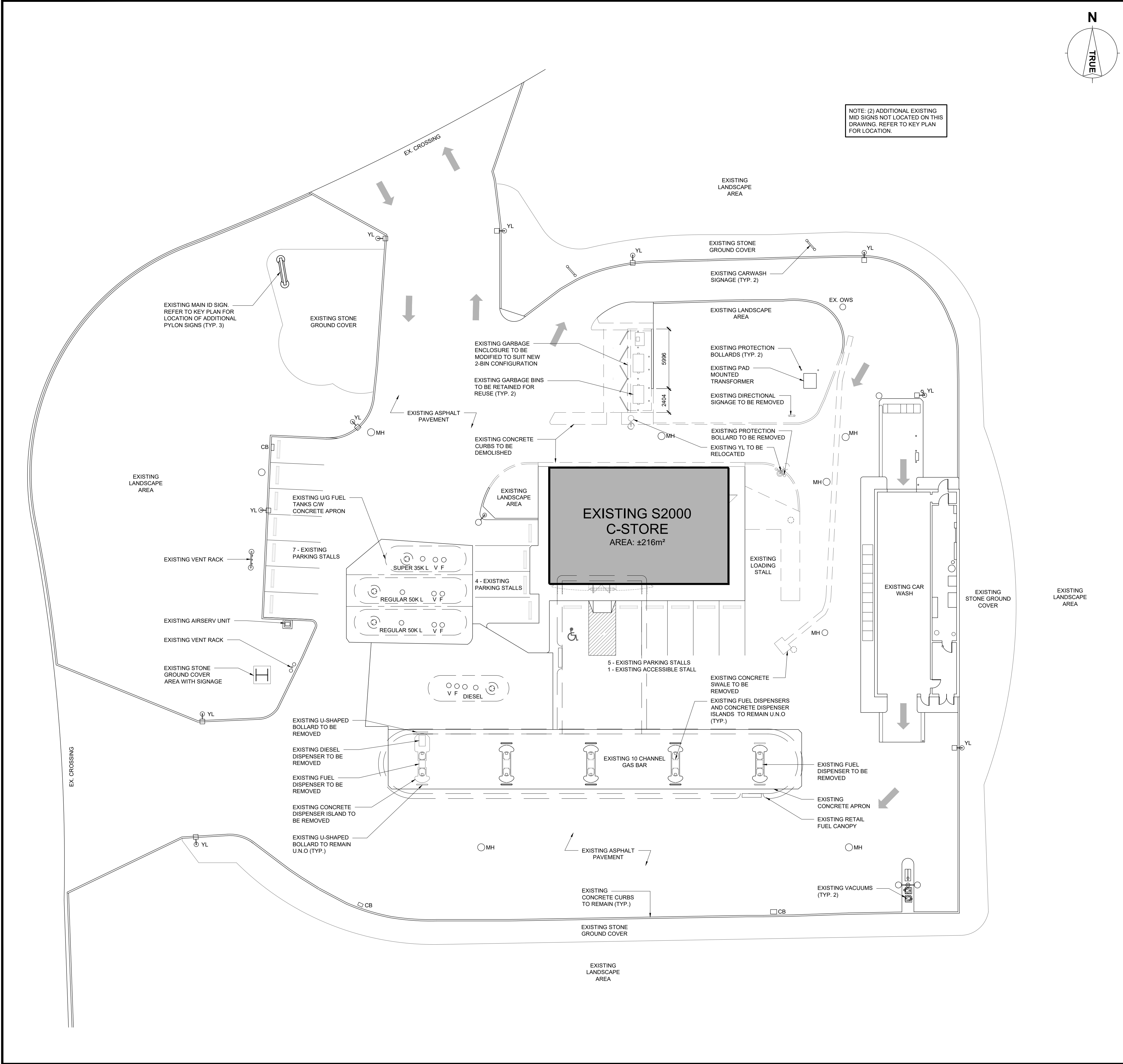
**JIMMY JOHN'S ADD-IN
5505 SIGNAL HILL CENTRE SW
CALGARY, ALBERTA, T3H 3P8**

AMENDED DRAWINGS
DP No Date Received
DP2026-07154 FEB 17 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

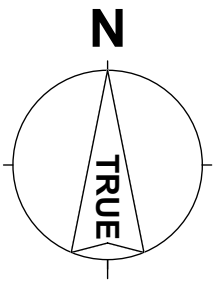
OUTLET NO.:

38862

DRAWING INDEX	
DWG No.	DRAWING TITLE
SP0	<u>SITE DRAWINGS</u>
SP1	EXISTING SITE PLAN
SP3	PROPOSED SITE PLAN
MD1	SITE PHOTOGRAPHS AND KEY PLAN
	MISCELLANEOUS SITE DETAILS
A1	<u>ARCHITECTURAL DRAWINGS</u>
A2	EXISTING FLOOR PLAN
A3	PROPOSED FLOOR PLAN
A4	EXTERIOR ELEVATIONS (EXISTING)
	EXTERIOR ELEVATIONS (PROPOSED)



NOTE: (2) ADDITIONAL EXISTING MID SIGNS NOT LOCATED ON THIS DRAWING. REFER TO KEY PLAN FOR LOCATION.



KEY PLAN



SITE INFORMATION

LEGAL DESCRIPTION PLAN 0012278, AREA A	
MUNICIPAL ADDRESS 5505 SIGNAL HILL CENTRE SW CALGARY, ALBERTA T3H 3P8	
ZONING DC - DIRECT CONTROL DISTRICT 108Z2000	
LOT AREA TOTAL SITE AREA = ±28,571m² / ± 7.06acres / ±2.86ha.	
LOT COVERAGE 2.88%	
SETBACKS FRONT SETBACK = 3.0m MIN. SIDE SETBACK = NO REQUIREMENT REAR SETBACK = NO REQUIREMENT	
BUILDING AREAS: EXISTING BUILDING AREA = 216m² (2325 ft²) EXISTING GAS BAR CANOPY = 426m² (4585 ft²) EXISTING CARWASH AREA = 180.86 (1946.76 ft²)	
PROPOSED C-STORE PROPOSED QSR = 152m² (1636 ft²) PROPOSED QSR = 64.50m² (694 ft²)	
MAX BUILDING FLOOR AREA RATIO = 1.0	
PARKING REQUIRED NO MINIMUM VEHICLE PARKING REQUIRED FOR USE.	
PARKING PROVIDED	
PARKING	SIZE COUNT
REGULAR	2600 x 5500 = 16 STALLS
ACCESSIBLE WITH 1.5m AISLE	4000 x 5500 = 1 STALL
TOTAL	= 17 STALLS
LOADING ZONE	3620 x 9200 = 1

GENERAL NOTES

- OVERALL SITE TO BE STAKED-OUT AND DIMENSIONS VERIFIED PRIOR TO ANY EXCAVATION OR CONCRETE BEING POURED. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER.
- THE CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES PRIOR TO ANY EXCAVATION, GAS, HYDRO, TELEPHONE, OR ANY OTHER UTILITY THAT MAY EXIST ON THE SITE OR WITHIN THE STREET. LINES MUST BE LOCATED BY THE RESPECTIVE UTILITY AND VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD SUBSTANTIAL DISCREPANCIES BECOME APPARENT.

SITE LEGEND

PROPERTY LINE	PLIP
PLACED IRON POST	PLIP
MANHOLE	MH
GRATED TOP MANHOLE	GTMH
CATCH BASIN	CB
FIRE HYDRANT	FH
POWER POLE	PP
TRAFFIC SIGN	TS
SIGN POST	SP
LIGHT STANDARD	SL
TRAFFIC LIGHT	TL
LIGHT STANDARD (SGL)	YL
LIGHT STANDARD (2head)	YL
TELEPHONE PEDESTAL	TP

SIGNAGE TO BE COMPLETED UNDER SEPARATE SIGN PERMIT

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS
DP No DP2026-07154 Date Received FEB 17 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

REVISION TABLE

REV.	DESCRIPTION	DRAWN / APP'D.	DATE
1			
2			
3			
4			
5			
6			
7			

ISSUE TABLE

TO	FOR	DATE
CITY	DEVELOPMENT PERMIT	2025-12-05

METRIC

ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.

SEAL:

CONSULTANT:

ctm
Design Services Ltd

225, 340 Midpark Way SE, Calgary, Alberta, T2X 1P1
Tel. 403.640.0990 • www.ctmdesign.ca

PETRO-CANADA
A Suncor Energy Business

DRAWING TITLE:

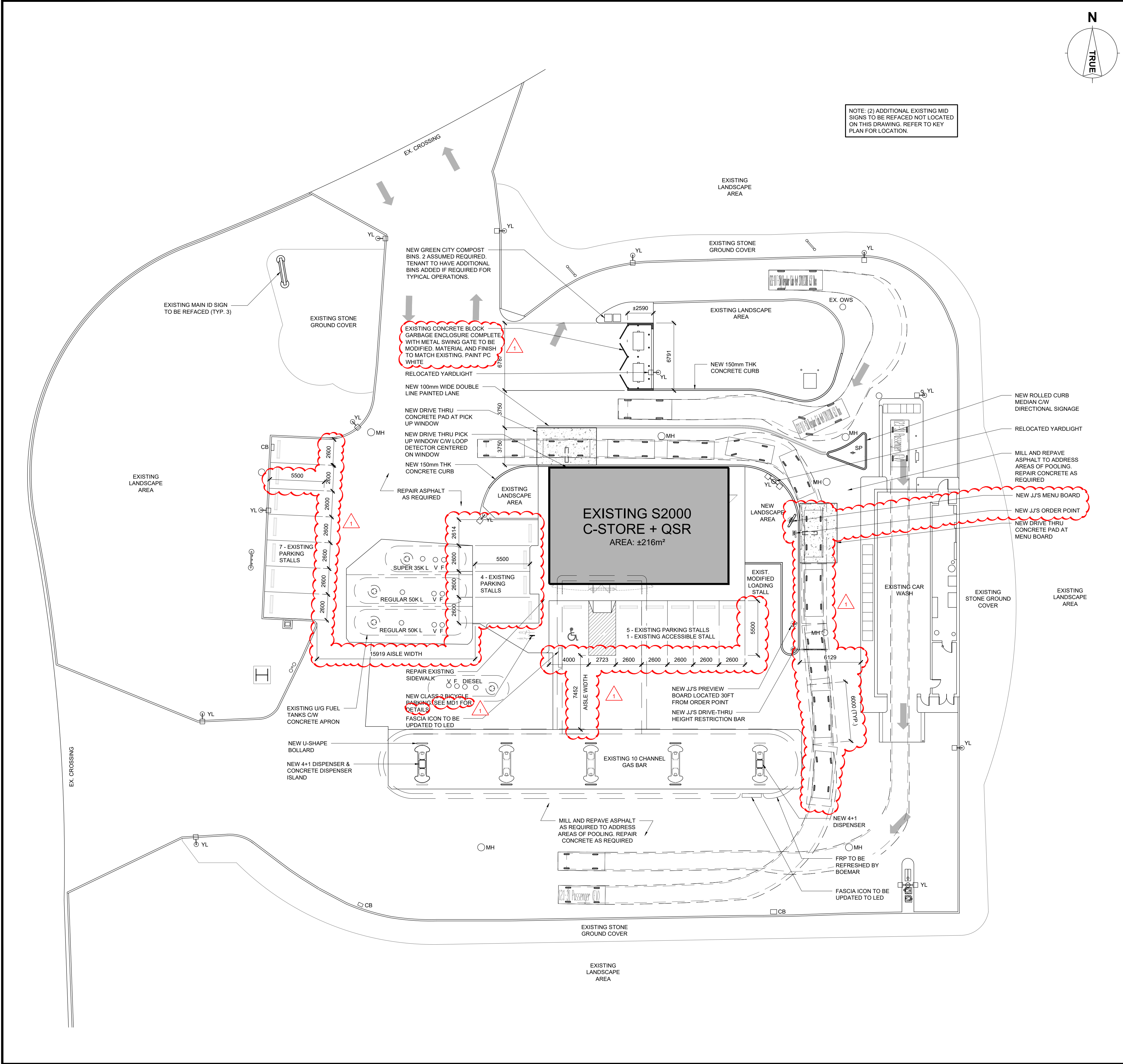
EXISTING/DEMO SITE PLAN

PROJECT:

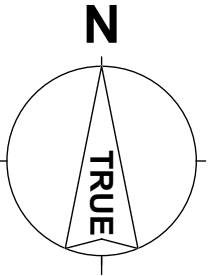
WESTHILLS GAS BAR & C/W
5505 SIGNAL HILL CENTRE S.W.
CALGARY, ALBERTA

DRAWN BY:	DL	CAD INFO: SHEET SIZE D (559 x 864)
DRAWING SCALE:	1:200	PETRO-CANADA CAD FILE No. 38862SP0
DATE DRAWN:	2025-10-31	CONSULTANT CAD FILE No.
CHECKED BY:	DJ	PLOT SCALE
APPROVED BY:		PLOT DATE
		PLOT CONFIGURATION

STD No./OUTLET No.	38862	SP0
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NOTE: (2) ADDITIONAL EXISTING MID SIGNS TO BE REFACED NOT LOCATED ON THIS DRAWING. REFER TO KEY PLAN FOR LOCATION.



KEY PLAN



SITE INFORMATION

LEGAL DESCRIPTION PLAN 0012278, AREA A		
MUNICIPAL ADDRESS 5505 SIGNAL HILL CENTRE SW CALGARY, ALBERTA T3H 3P8		
ZONING DC - DIRECT CONTROL DISTRICT 108Z2000		
LOT AREA TOTAL SITE AREA = ±28,571m² / ± 7.06acres / ±2.86ha.		
LOT COVERAGE 2.88%		
SETBACKS FRONT SETBACK = 3.0m MIN. SIDE SETBACK = NO REQUIREMENT REAR SETBACK = NO REQUIREMENT		
BUILDING AREAS: EXISTING BUILDING AREA = 216m² (2325 ft²) EXISTING GAS BAR CANOPY = 426m² (4585 ft²) EXISTING CARWASH AREA = 180.86 (1946.76 ft²)		
PROPOSED C-STORE = 152m² (1636 ft²) PROPOSED QSR = 64.50m² (694 ft²)		
MAX BUILDING FLOOR AREA RATIO = 1.0		
PROVIDED QUEUING INBOUND DRIVE THRU QUEUING = 8 SPACES OUTBOUND DRIVE THRU QUEUING = 1 SPACE		
PARKING REQUIRED NO MINIMUM VEHICLE PARKING REQUIRED FOR USE.		
BICYCLE PARKING - CLASS 2 5% OF THE NUMBER OF MOTOR VEHICLE PARKING STALLS = 1		
PARKING PROVIDED		
PARKING	SIZE	COUNT
REGULAR	2600 x 5500	= 16 STALLS
ACCESSIBLE WITH 2.72m AISLE	4000 x 5500	= 1 STALL
TOTAL		= 17 STALLS
BICYCLE STALL (CLASS 2) = 2		
LOADING ZONE	3620 x 9200	= 1

GENERAL NOTES

- OVERALL SITE TO BE STAKED-OUT AND DIMENSIONS VERIFIED PRIOR TO ANY EXCAVATION OR CONCRETE BEING POURED. ANY DISCREPANCIES ARE TO BE REPORTED TO THE DESIGNER.
- THE CONTRACTOR SHALL LOCATE AND PROTECT ALL UTILITIES PRIOR TO ANY EXCAVATION. GAS, HYDRO, TELEPHONE, OR ANY OTHER UTILITY THAT MAY EXIST ON THE SITE OR WITHIN THE STREET LINES MUST BE LOCATED BY THE RESPECTIVE UTILITY AND VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD SUBSTANTIAL DISCREPANCIES BECOME APPARENT.

SITE LEGEND

PROPERTY LINE	PLIP
PLACED IRON POST	MH
MANHOLE	GTMH
GRATED TOP MANHOLE	CB
CATCH BASIN	FH
FIRE HYDRANT	PP
POWER POLE	TS
TRAFFIC SIGN	SL
SIGN POST	TL
LIGHT STANDARD	YL
TRAFFIC LIGHT	YL (SGL)
LIGHT STANDARD (SGL)	YL (2head)
LIGHT STANDARD (2head)	TP
TELEPHONE PEDESTAL	

SIGNAGE TO BE COMPLETED UNDER SEPARATE SIGN PERMIT

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

AMENDED DRAWINGS
DP No DP2026-07154 Date Received FEB 17 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

REVISION TABLE

REV.	DESCRIPTION	DRAWN	APP'D.	DATE
1	REVISED PER DP COMMENTS	DL	JM	2026-01-26

ISSUE TABLE

TO	FOR	DATE
CITY	DEVELOPMENT PERMIT	2025-12-05
CITY	RE-ISSUE DEVELOPMENT PERMIT	2026-01-26

METRIC

ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.

SEAL:

CONSULTANT:

ctm
Design Services Ltd

225, 340 Midpark Way SE, Calgary, Alberta, T2X 1P1
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DRAWING TITLE:

PROPOSED SITE PLAN

PROJECT:

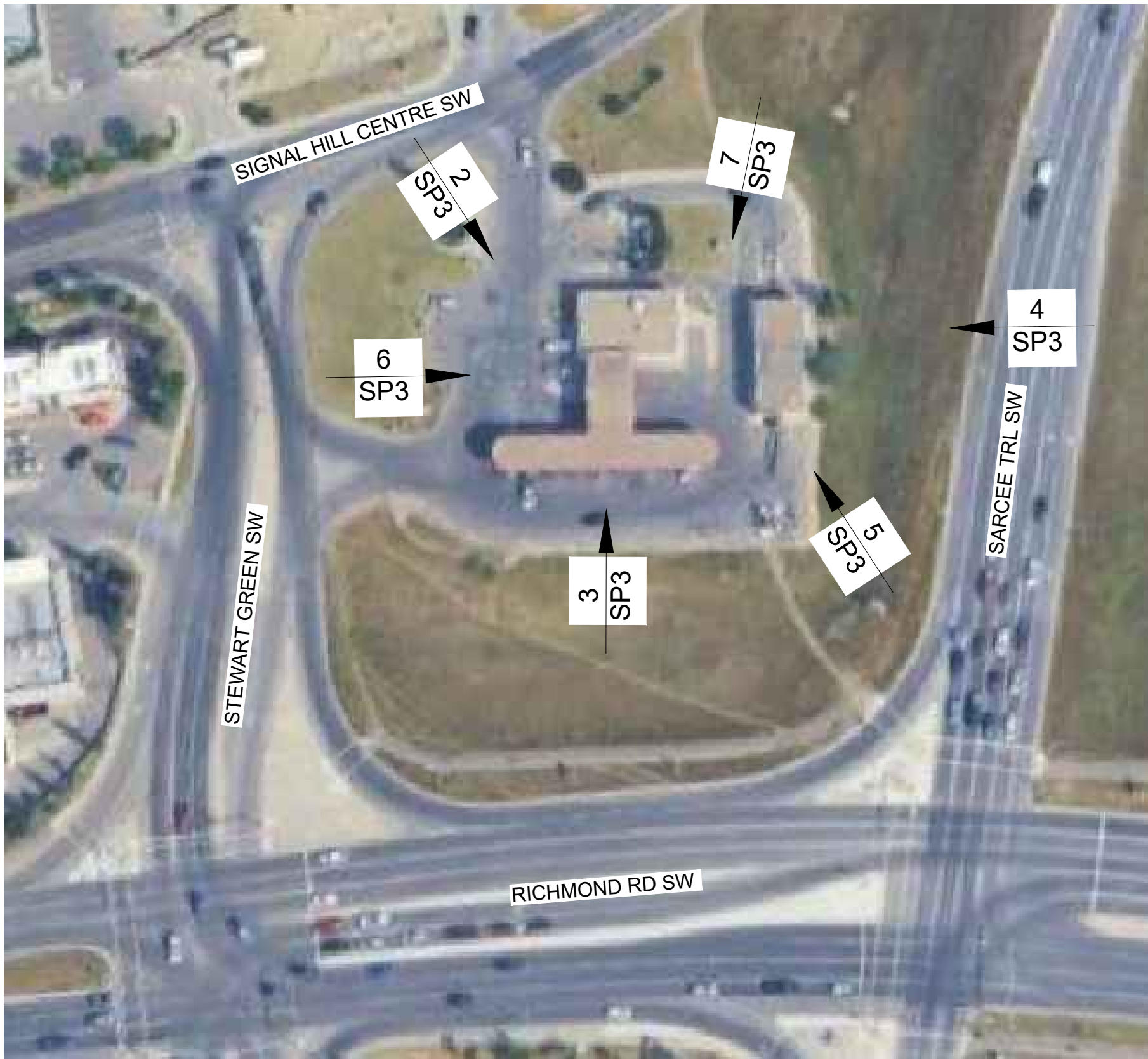
WESTHILLS GAS BAR & C/W
5505 SIGNAL HILL CENTRE S.W.
CALGARY, ALBERTA

DRAWN BY:	DL	CAD INFO:	SHEET SIZE D (559 x 864)
DRAWING SCALE:	1:200	PETRO-CANADA	CAD FILE No. 38862SP1
DATE DRAWN:	2025-10-31	CONSULTANT	CAD FILE No.
CHECKED BY:	DJ	PLOT SCALE	
APPROVED BY:		PLOT DATE	
		PLOT CONFIGURATION	

STD No./OUTLET No.

38862

SP1



1 KEY PLAN
SP3 SCALE: N.T.S.



2 NORTH WEST ELEVATION
SP3 SCALE: N.T.S.



3 SOUTH ELEVATION
SP3 SCALE: N.T.S.



4 EAST ELEVATION
SP3 SCALE: N.T.S.



5 SOUTH EAST ELEVATION
SP3 SCALE: N.T.S.



6 WEST ELEVATION
SP3 SCALE: N.T.S.



7 NOTH EAST ELEVATION
SP3 SCALE: N.T.S.

SITE INFORMATION

LEGAL DESCRIPTION

PLAN 0012278, AREA A

MUNICIPAL ADDRESS

5505 SIGNAL HILL CENTRE SW
CALGARY, ALBERTA T3H 3P8

ZONING

DC - DIRECT CONTROL DISTRICT 108Z2000

SIGNAGE TO BE COMPLETED
UNDER SEPARATE SIGN PERMIT

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS

DP No Date Received
DP2026-07154 FEB 17 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

REVISION TABLE

REV.	DESCRIPTION	DRAWN / APP'D. DATE
△		
△		
△		
△		
△		

ISSUE TABLE

TO	FOR	DATE
CITY	DEVELOPMENT PERMIT	2025-12-05

METRIC

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SEAL:

CONSULTANT:



225, 340 Midpark Way SE, Calgary, Alberta, T2X 1P1
Tel. 403.640.0990 • www.ctmdesign.ca



DRAWING TITLE:

SITE PHOTOGRAPHS
AND KEY PLAN

PROJECT:

WESTHILLS GAS BAR & C/W
5505 SIGNAL HILL CENTRE S.W.
CALGARY, ALBERTA

DRAWN BY: ZK

DRAWING SCALE: N.T.S.

DATE DRAWN: 2025-12-04

CHECKED BY: DL

APPROVED BY:

STD No./OUTLET No.

38862

CAD INFO:
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D (559 x 864)

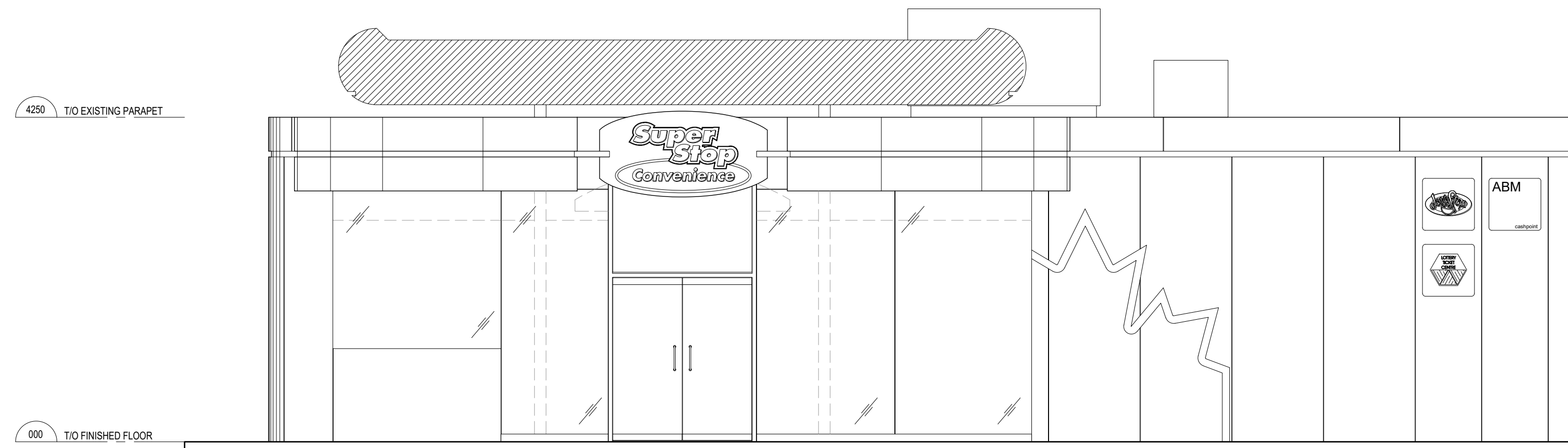
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CAD FILE No. 38862SP3
CONSULTANT
CAD FILE No.

PLOT SCALE

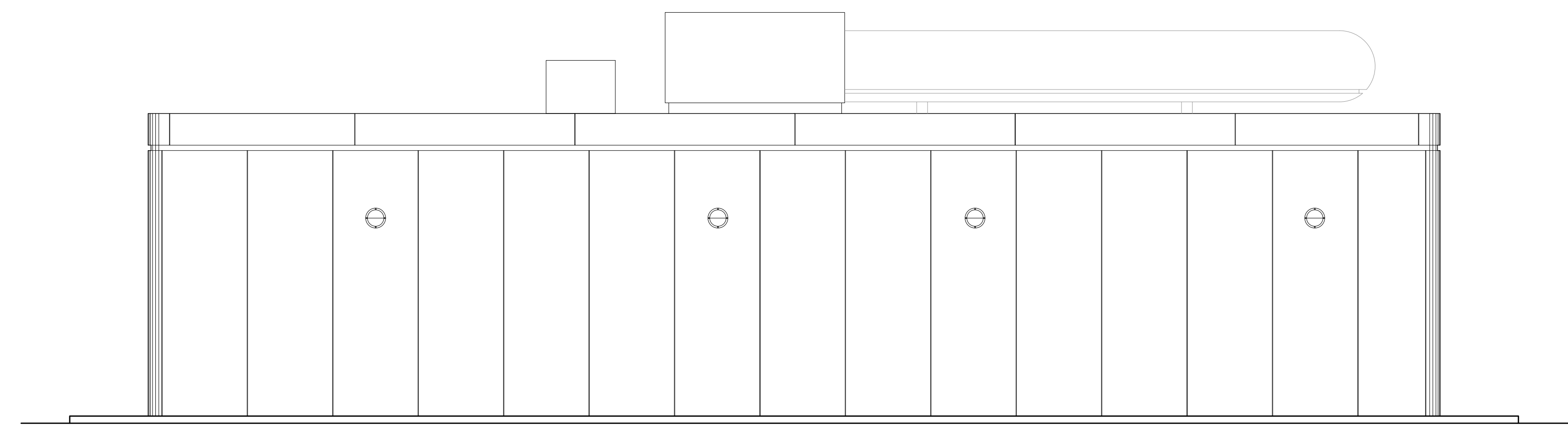
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PLOT CONFIGURATION

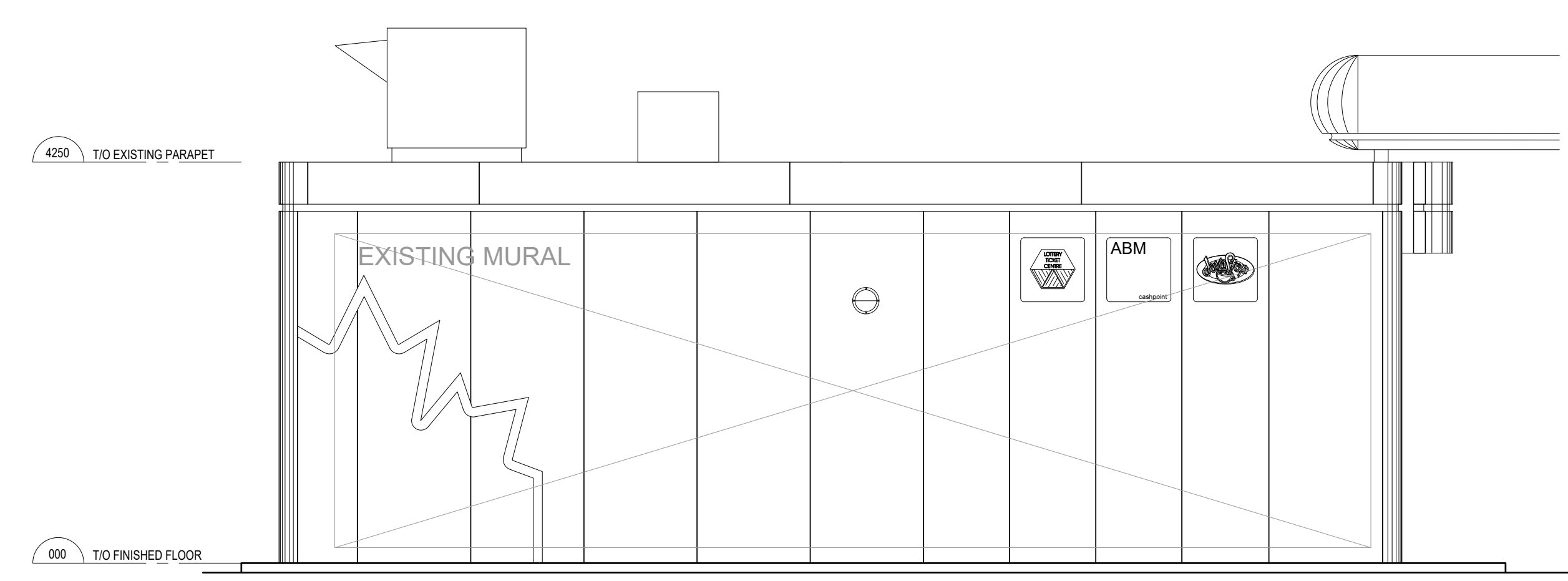
SP3



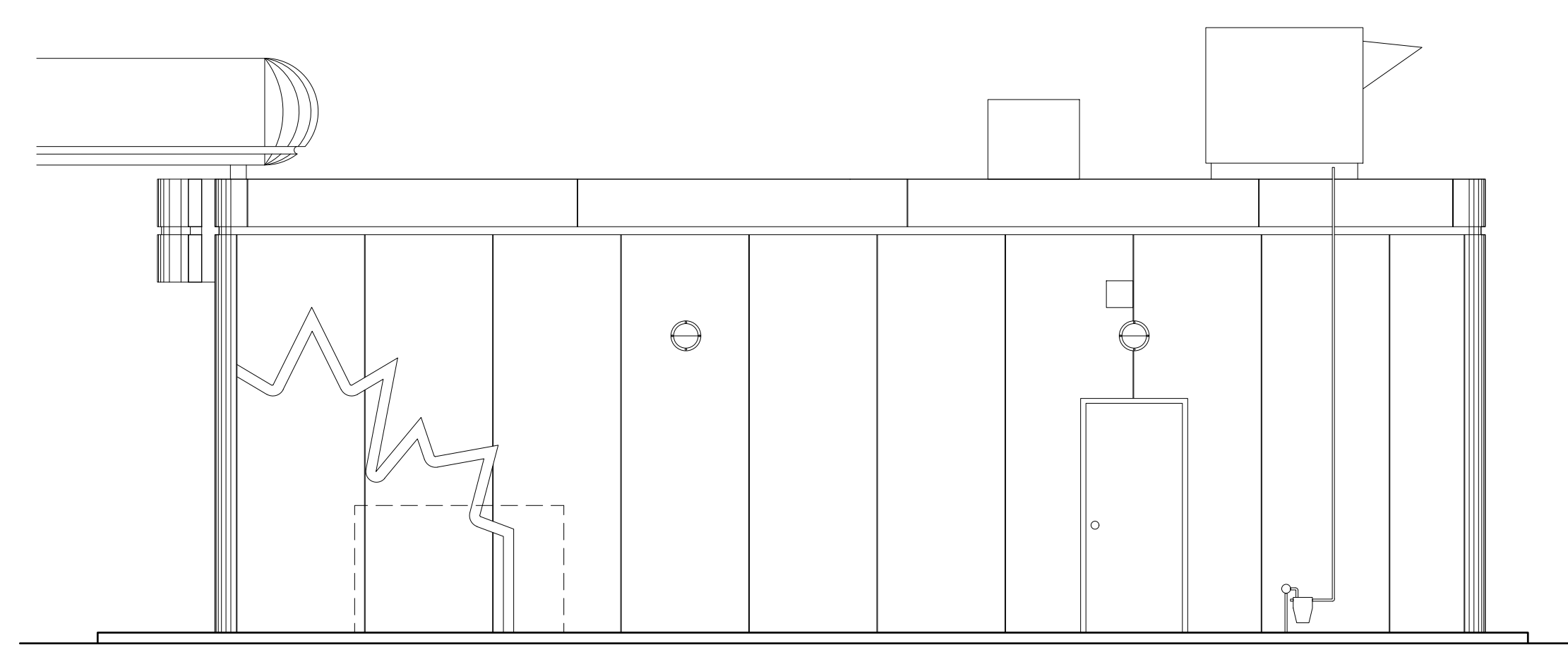
1 SOUTH ELEVATION (EXISTING)



2 NORTH ELEVATION (EXISTING)



3 WEST ELEVATION (EXISTING)



4 EAST ELEVATION (EXISTING)

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No DP2026-07154 Date Received FEB 17 2026
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ABOVE DEVELOPMENT PERMIT NO.

REVISION TABLE		
REV.	DESCRIPTION	DRAWN APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
CITY	ISSUED FOR DP	02 DEC 2025

METRIC
ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. CONTRACTOR TO
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DO NOT SCALE DRAWINGS.

SEAL:

CONSULTANT:

K PAUL ARCHITECT
TORONTO · VANCOUVER · CALGARY · ORLANDO
2860 SHERWOOD HEIGHTS DRIVE, SUITE #200, OAKVILLE, ON L6J 7Y8

PETRO-CANADA
A Suncor business

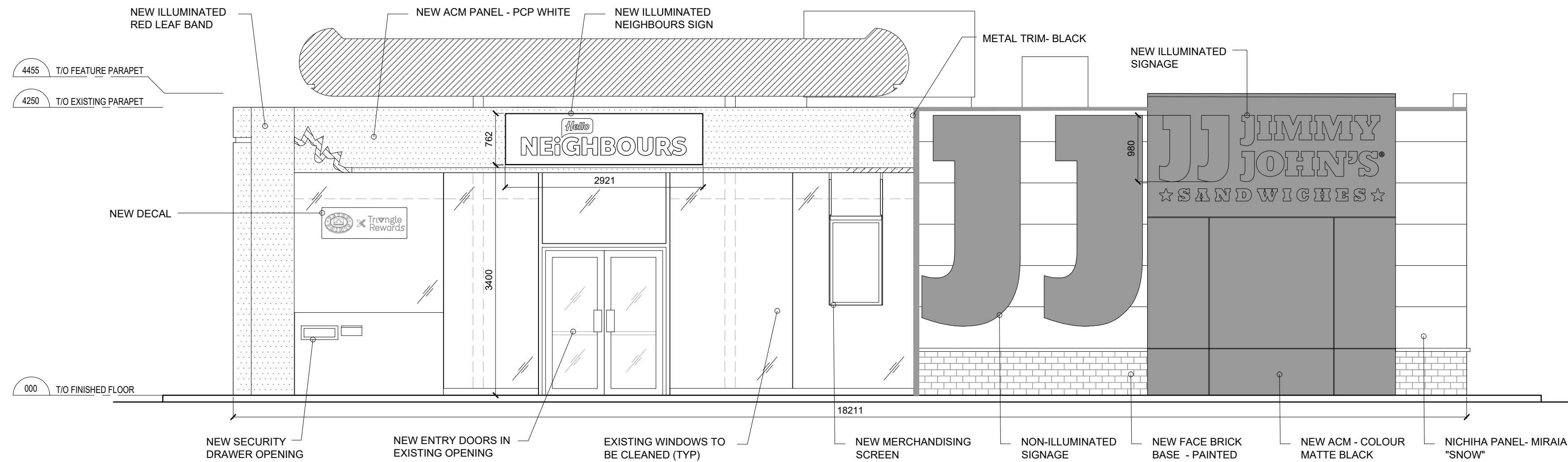
DRAWING TITLE:

**EXTERIOR
ELEVATIONS
(EXISTING)**

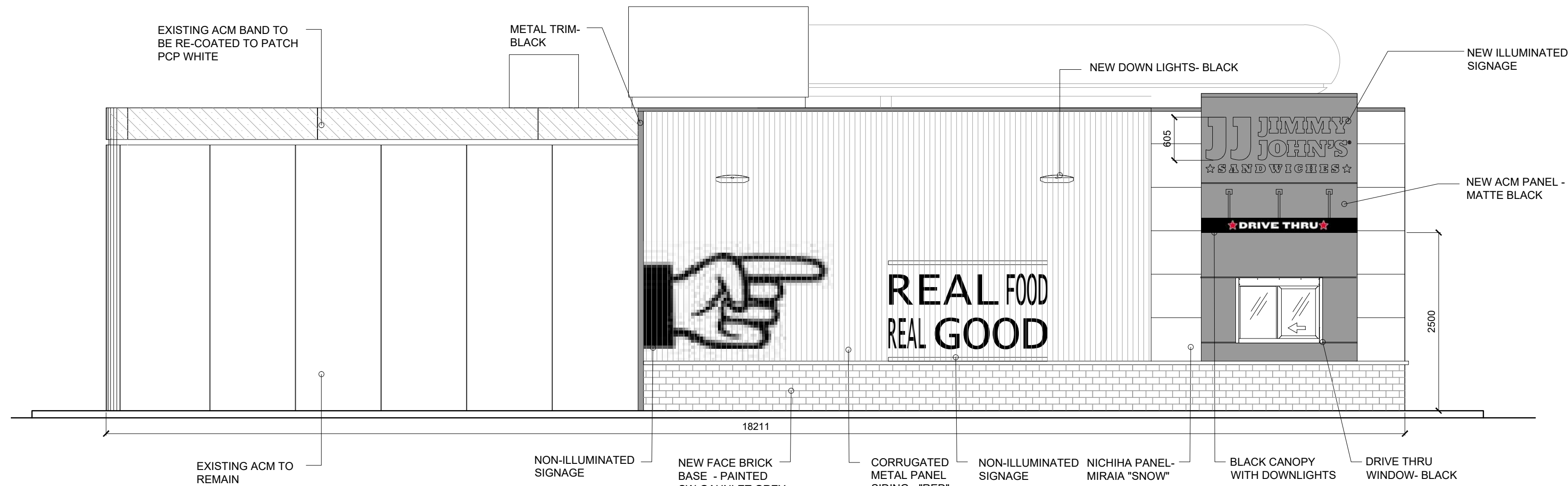
PROJECT: PETRO-CANADA REFRESH +
JIMMY JOHNS ADDITION
**5505 SIGNAL HILL
CENTRE SW,
CALGARY, ALBERTA**

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DATE DRAWN:	OCT 2025	CONSULTANT CAD FILE No.
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APPROVED BY:		PLOT DATE
		PLOT CONFIGURATION

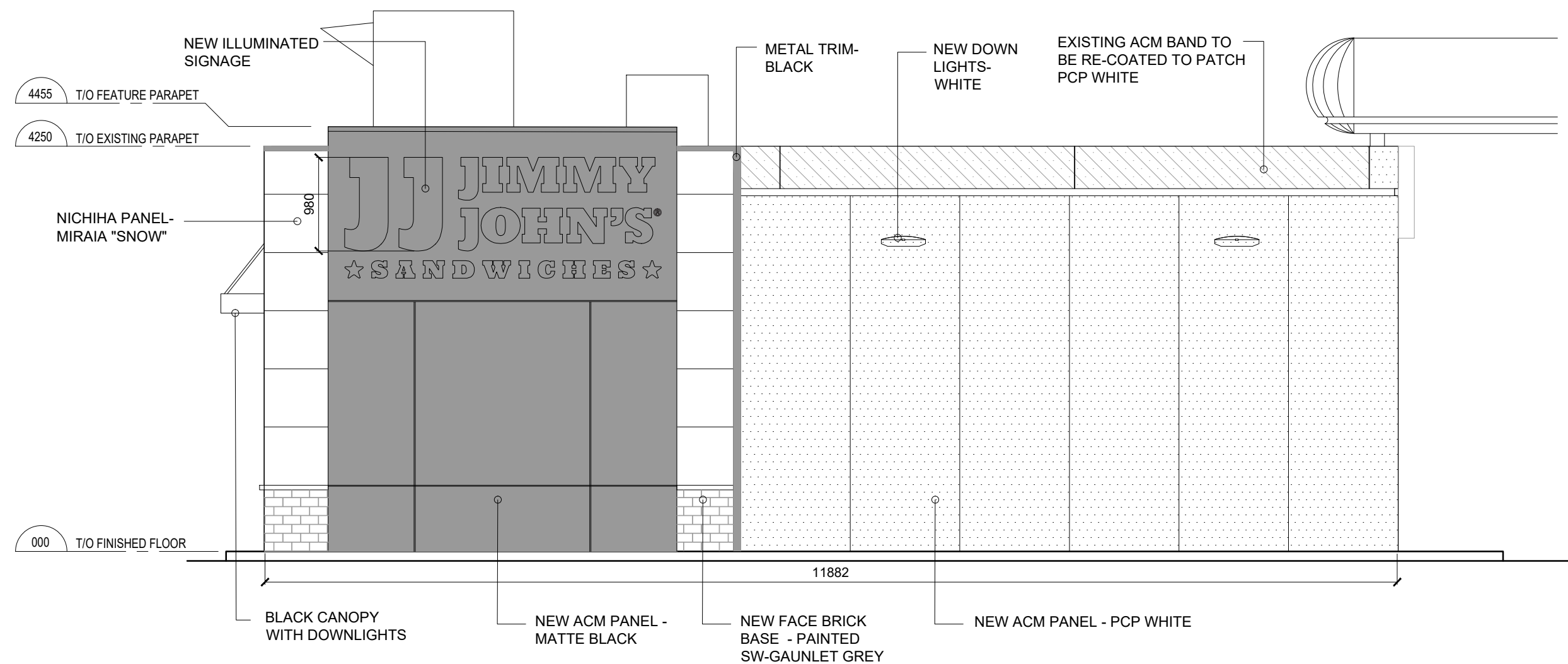
STD No./OUTLET No.	38862	A3
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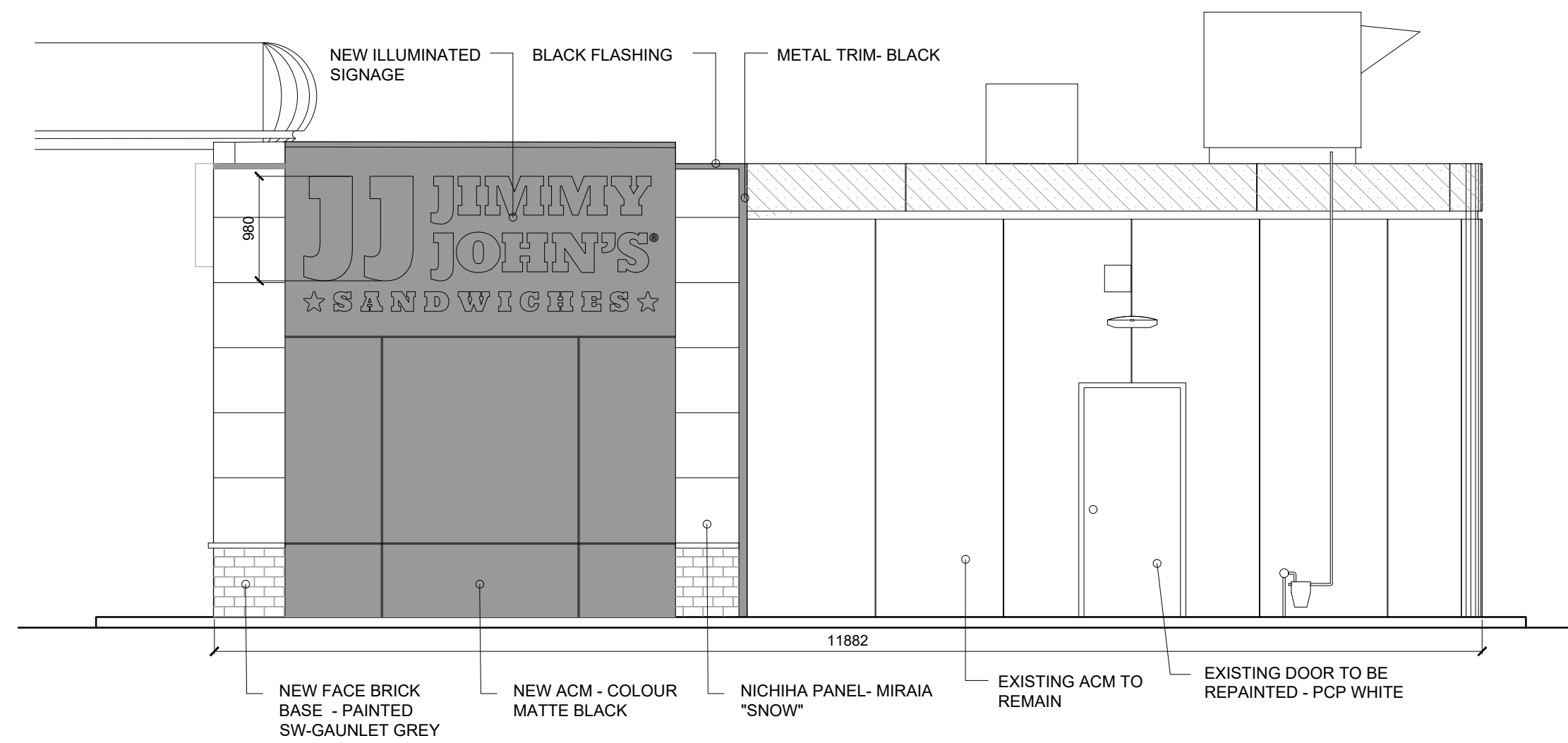
1 SOUTH ELEVATION (PROPOSED)



2 NORTH ELEVATION (PROPOSED)



3 WEST ELEVATION (PROPOSED)



4 EAST ELEVATION (PROPOSED)

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

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REVISION TABLE		
REV.	DESCRIPTION	DRAWN APP'D. DATE

ISSUE TABLE		
TO	FOR	DATE
CITY	ISSUED FOR DP	02 DEC 2025

METRIC
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SEAL:

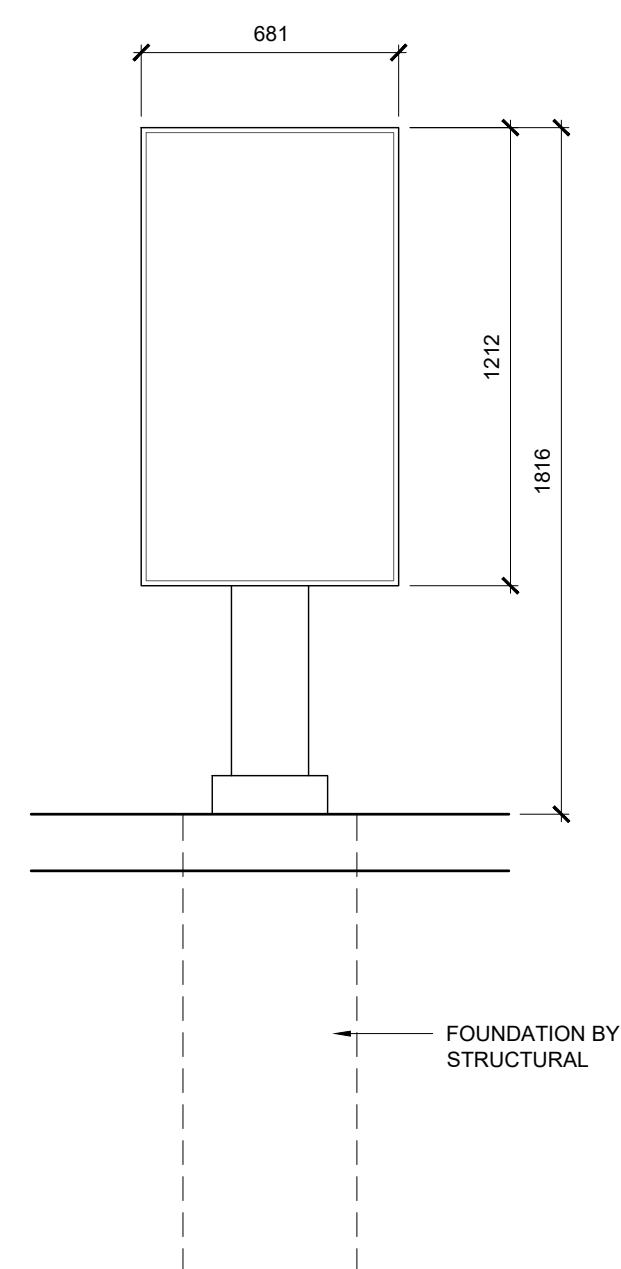
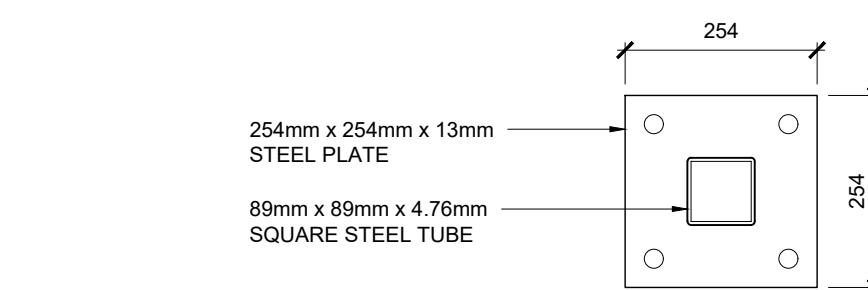
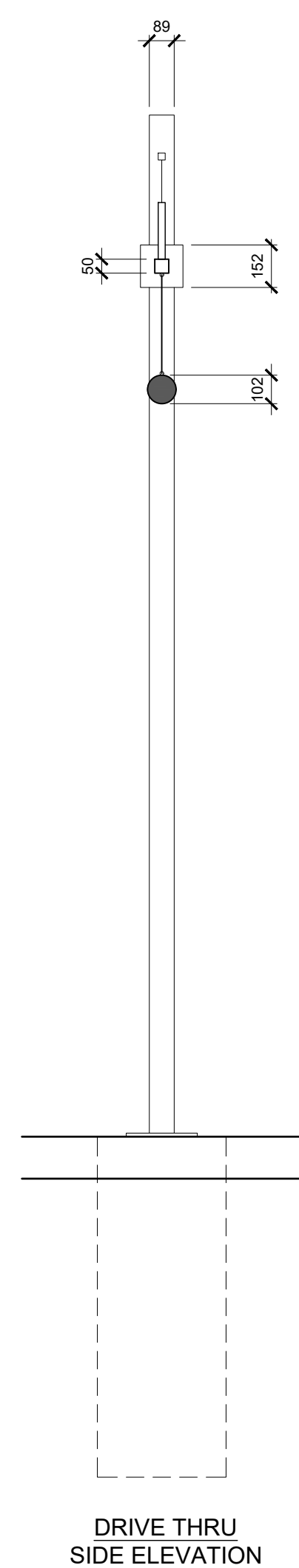
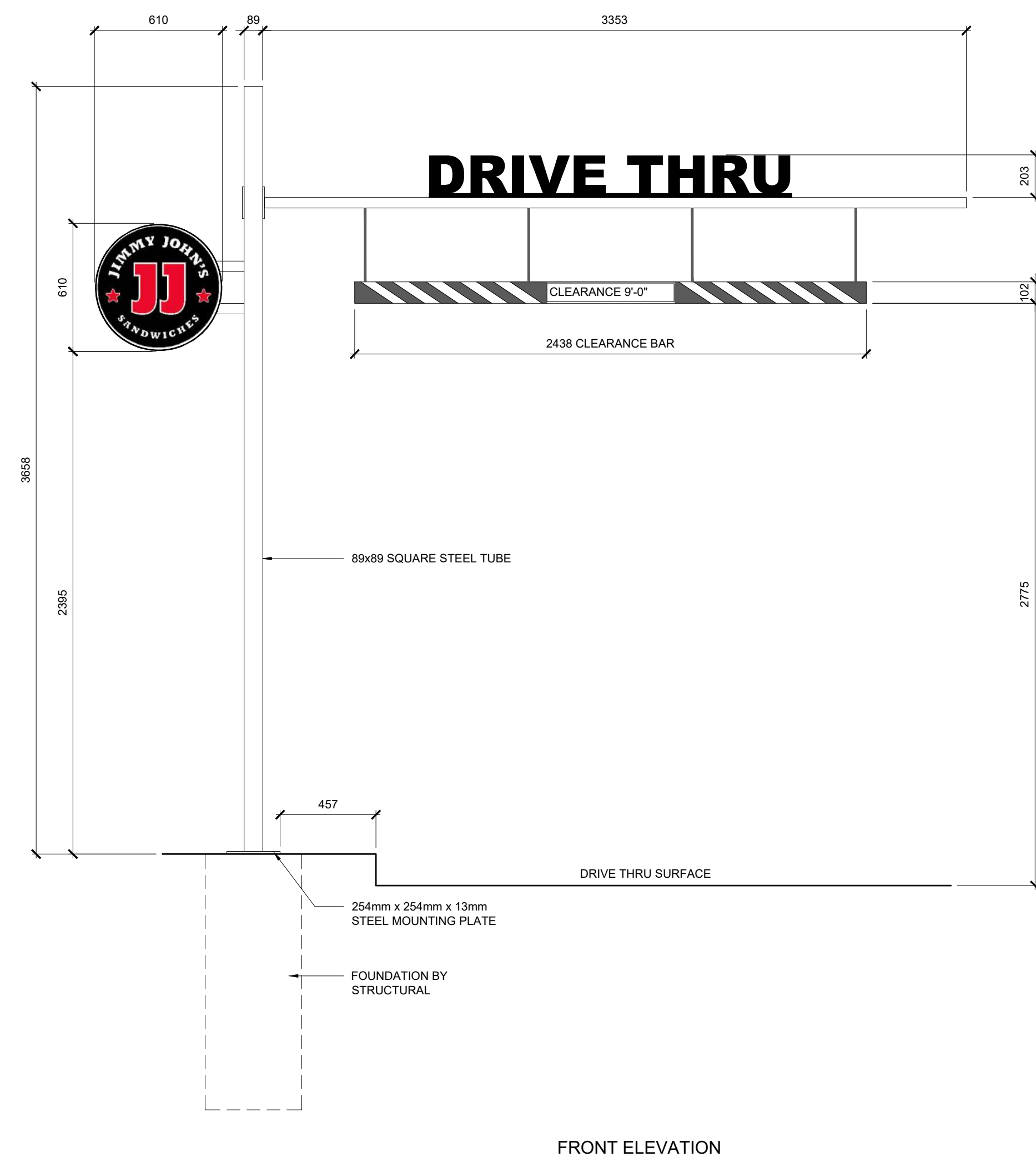
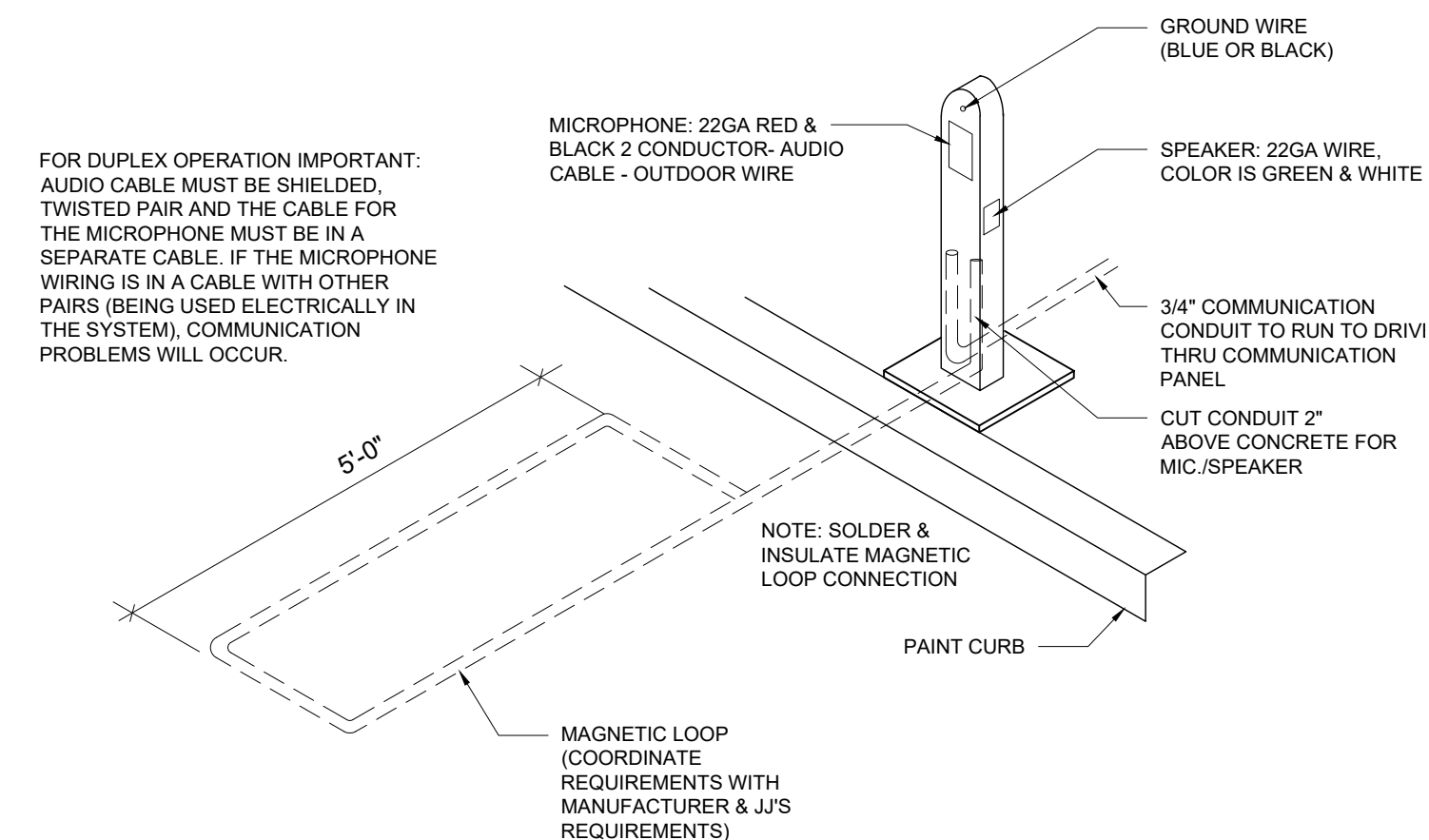
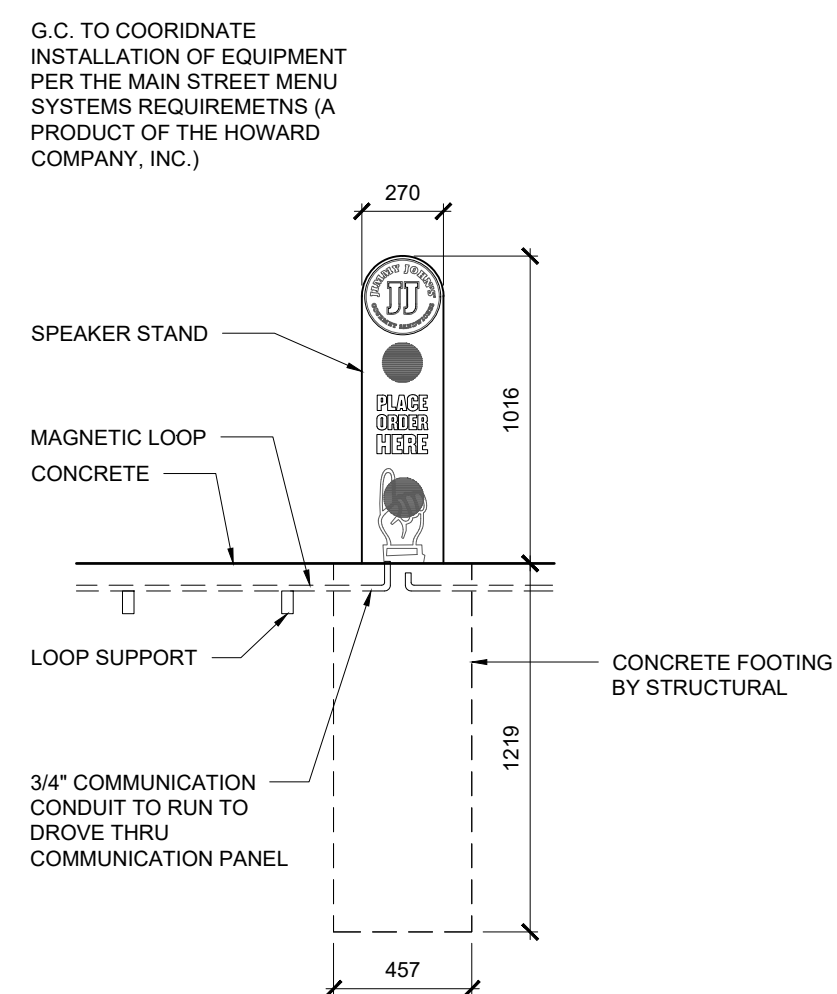
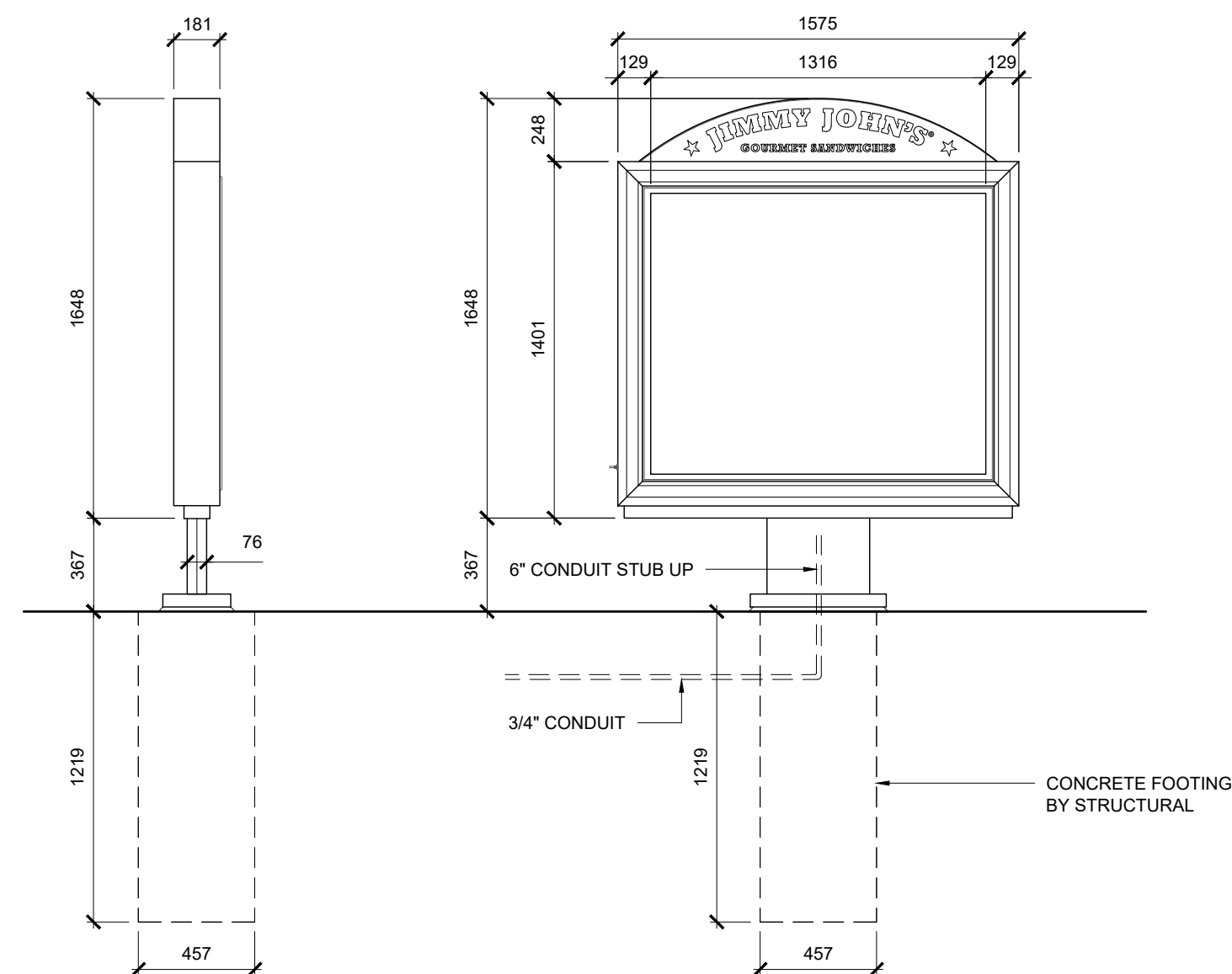
CONSULTANT:
K PAUL ARCHITECT
TORONTO-VANCOUVER-CALGARY-ORLANDO
2660 SHERWOOD HEIGHTS DRIVE, SUITE #200, OAKVILLE, ON L6J 7Y8

PETRO-CANADA
A Suncor business

DRAWING TITLE:
**EXTERIOR
ELEVATIONS
(PROPOSED)**

PROJECT:
**PETRO-CANADA REFRESH +
JIMMY JOHN'S ADDITION
5505 SIGNAL HILL
CENTRE SW,
CALGARY, ALBERTA**

DRAWN BY:	CT	CAD INFO: SHEET SIZE D (559 x 864)
DRAWING SCALE:	1:50	PETRO-CANADA CAD FILE No.
DATE DRAWN:	OCT 2025	CONSULTANT CAD FILE No.
CHECKED BY:		PLOT SCALE
APPROVED BY:		PLOT DATE
STD No./OUTLET No.	38862	PLOT CONFIGURATION



SIGNAGE TO BE COMPLETED
UNDER SEPARATE SIGN PERMIT

DEVELOPMENT
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DP No Date Received
DP2026-07154 FEB 17 2026
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[illegible]

ISSUE TABLE		
TO	FOR	DATE
CITY	RE-ISSUE DEVELOPMENT PERMIT	2026-01-26

METRIC

ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.. CONTRACTOR TO CHECK/VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED TO THE PROJECT DESIGNER. DO NOT SCALE DRAWINGS.

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CONSULTANT:

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225, 340 Midpark Way SE, Calgary, Alberta, T2X 1P1
Tel. 403.640.0990 • www.ctmdesign.ca



DRAWING TITLE:

SITE SIGNAGE
DETAILS

PROJECT:

WESTHILLS GAS BAR & C/W
5505 SIGNAL HILL CENTRE S.W.
CALGARY, ALBERTA

DRAWN BY: _____ DL	CAD INFO: SHEET SIZE D (559 x 864)
DRAWING SCALE: _____ AS NOTED	PETRO-CANADA CAD FILE No. 38862SN1
DATE DRAWN: _____ 2026-01-28	CONSULTANT CAD FILE No. _____
CHECKED BY: _____	PLOT SCALE
APPROVED BY: _____	PLOT DATE
	PLOT CONFIGURATION

STD No./OUTLET No.	
38862	SN1