

NAY DEVELOPMENT 24A



Suite 1130
140 4th Avenue SW
CALGARY, ALBERTA CANADA
T2P 3N3

1902 - 1910 24A Street SW, Calgary, Alberta,
T3E 1V3

CTZN25-0016

Lot 35 - 40, Block 1, Plan 5661 0

ISSUED FOR: DP RESPONSE 1

2026-02-27

PRELIMINARY - NOT FOR CONSTRUCTION



S1 - SITE PHOTO - VIEW FROM SOUTHWEST



S2 - SITE PHOTO - VIEW FROM WEST



S3 - SITE PHOTO - VIEW FROM WEST



S4 - SITE PHOTO - VIEW FROM NORTHWEST



S5 - SITE PHOTO - VIEW FROM NORTH



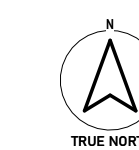
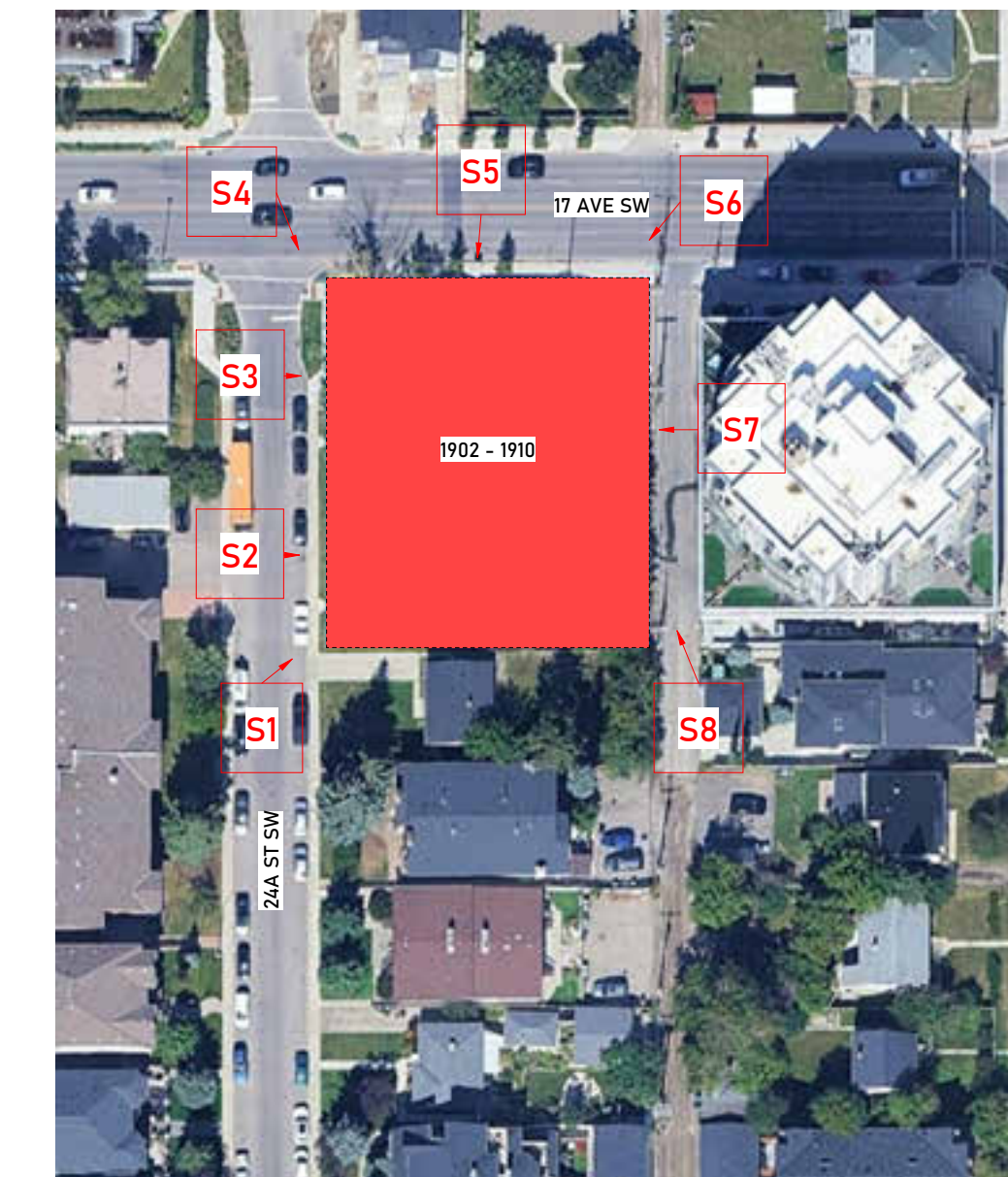
S6 - SITE PHOTO - VIEW FROM NORTHEAST



S7 - SITE PHOTO - VIEW FROM EAST



S8 - SITE PHOTO - VIEW FROM SOUTHEAST



SITE PHOTO - KEY PLAN

NOTES:
 - DIMENSION TO FACE OF STUD (INTERIOR PARTITIONS), CONCRETE, CONCRETE BLOCK, EXTERIOR WALL SHEATHING - UNLESS NOTED OTHERWISE
 - NOTE WHEN REQUIRED MINIMUM CLEAR DIMENSIONS WILL BE IDENTIFIED.
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 - DO NOT SCALE DRAWINGS
 - THIS DRAWING SUPERCEDES PREVIOUS ISSUES.

Project Component

Key Plan

Seal(s)

CTZN Architecture Inc.
 Suite 1130
 140 4th Avenue SW
 CALGARY, AB
 T2P 3N3
 P: 403-861-6730
 www.ctzn.ca
 CTZN

DATE	ISSUED FOR	REV
2025-12-05	DEVELOPMENT PERMIT	A

Client
NAY DEVELOPMENT

Project
NAY DEVELOPMENT 24A

1902 - 1910 24A Street SW, Calgary, Alberta, T2E 1V3
 Lot 25 - 48, Block I, Plan S461 0

Drawing Title
SITE PHOTOS

Project Manager	Drawn
Project Leader	Author
Scale	Checked
	Checker

1 : 10

Project No.
 CTZN25-0016

Drawing No.
DP00.01

PRELIMINARY - NOT FOR CONSTRUCTION



NE VIEW - FROM 17TH AVENUE SW



NW VIEW - INTERSECTION OF 17 AVENUE SW AND 24A STREET SW



SE VIEW - FROM LANE



SW VIEW - 24A STREET SW FRONTAGE

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Project Component
Key Plan

Sheet(s)

CTZN Architecture Inc.
Suite 1130
140 4th Avenue SW
CALGARY, AB
T2P 3N3
P: 403-861-9730
www.ctzn.ca
PROF. REG. ARCHITECT, ALTA. REG. ARCHITECT

DATE	ISSUED FOR	REV
2024-02-27	DP RESPONSE 1	B
2025-12-05	DEVELOPMENT PERMIT	A

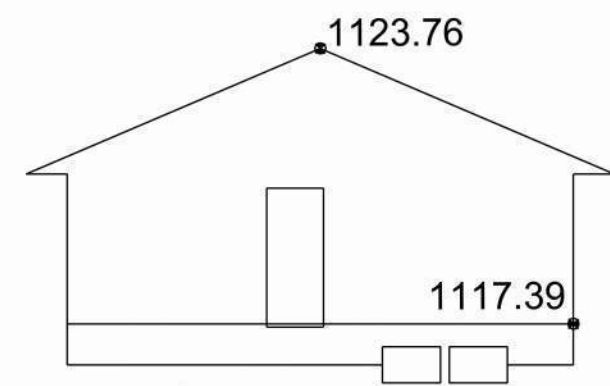
Client
NAY DEVELOPMENT

Project
NAY DEVELOPMENT 24A
1902 - 1910 24A Street SW, Calgary, Alberta, T2E 1V3
Lot 25 - 48, Block I, Plan S441 0
Drawing Title
3D VIEWS

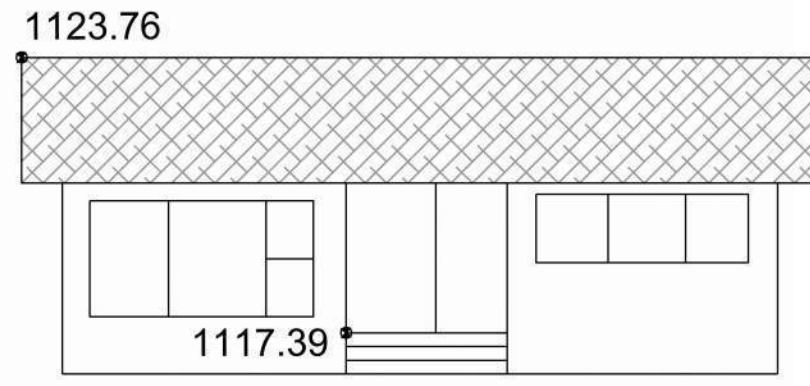
Project Manager	Drawn
Project Leader	Author
Scale	Checked
	Checker

Project No.
CTZN25-0016
Drawing No.
DP00.02

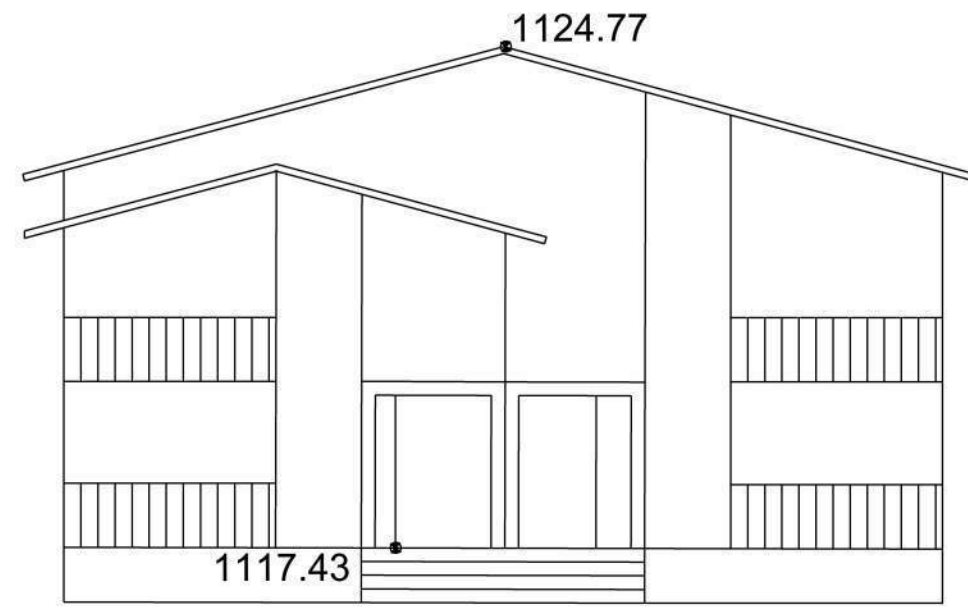
PRELIMINARY - NOT FOR CONSTRUCTION



South View
1914 24A Street S.W.



1914 24A Street S.W.



1918 24A Street S.W.

MH#	Type	Rim Elev	N Inv	S Inv	E Inv	W Inv
210	Sanitary	1116.20		Does not appear on City drawings		
212	Sanitary	1115.04		Does not appear on City drawings		
215	Storm	1115.00		Does not appear on City drawings		
218	Storm	1114.16	1111.69		1111.69	1111.68
229	Unknown	1114.52		Does not appear on City drawings		
237	Sanitary	1115.87	1112.79	1112.86		
242	Sanitary	1116.79	1114.18			
245	Storm	1116.65			1119.44	
248	Sanitary	1116.60		1114.11		
251	Sanitary	1116.60				1114.38
254	Storm	1116.32		1112.07	1114.09	1114.45
257	Storm	1115.95		Does not appear on City drawings		
260	Storm	1113.57	1111.19	1111.75		



PHOTO 1 (1902 24A STREET SW)



PHOTO 2 (1906 24A STREET SW)

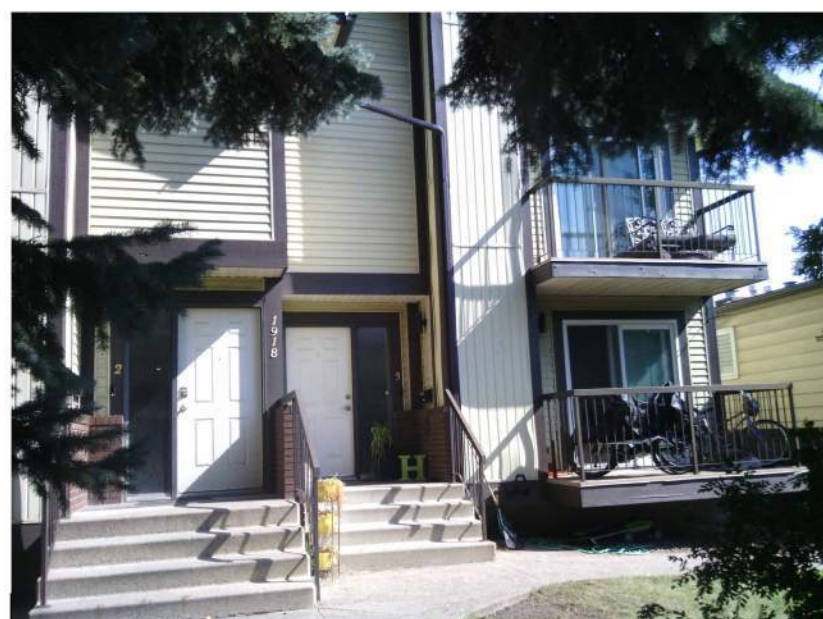


PHOTO 3 (1910 24A STREET SW)



PHOTO 4 (REAR LANE)

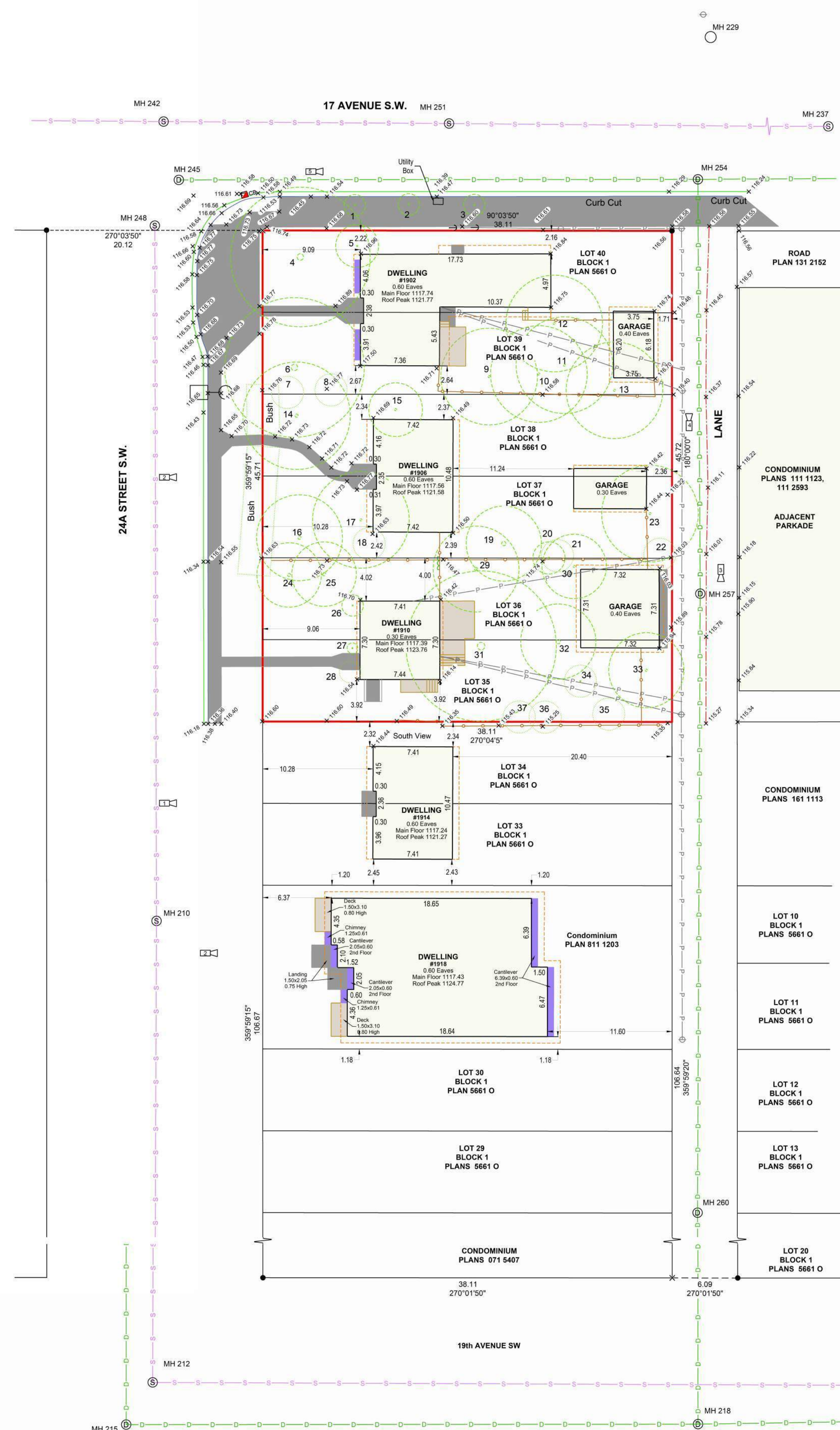


PHOTO 5 (REAR LANE)



PHOTO 6 (17th AVENUE SW)

TREE	TYPE	TRUNK	DRIP LINE	HEIGHT
1	DECIDUOUS	Ø=0.10m	Ø=2.00m	5.00m
2	DECIDUOUS	Ø=0.10m	Ø=2.00m	5.00m
3	DECIDUOUS	Ø=0.10m	Ø=2.00m	5.00m
4	DECIDUOUS	Ø=0.60m	Ø=13.00m	11.00m
5	DECIDUOUS	Ø=0.10m	Ø=4.00m	5.00m
6	DECIDUOUS	Ø=0.60m	Ø=13.00m	11.00m
7	BUSH		Ø=3.00m	3.00m
8	BUSH		Ø=3.00m	3.00m
9	DECIDUOUS	Ø=0.20m	Ø=9.00m	8.00m
10	DECIDUOUS	Ø=0.20m	Ø=9.00m	8.00m
11	DECIDUOUS	Ø=0.20m	Ø=9.00m	8.00m
12	DECIDUOUS	Ø=0.20m	Ø=9.00m	8.00m
13	DECIDUOUS	Ø=0.20m	Ø=9.00m	8.00m
14	DECIDUOUS	Ø=0.30m	Ø=10.00m	7.00m
15	DECIDUOUS	Ø=0.20m	Ø=5.00m	6.00m
16	DECIDUOUS	Ø=0.30m	Ø=8.00m	7.00m
17	DECIDUOUS	Ø=0.20m	Ø=9.00m	8.00m
18	BUSH		Ø=3.00m	3.00m
19	SPRUCE	Ø=0.40m	Ø=7.00m	15.00m
20	DECIDUOUS	Ø=0.15m	Ø=3.00m	10.00m
21	BUSH		Ø=3.00m	3.00m
22	BUSH		Ø=3.00m	3.00m
23	DECIDUOUS	Ø=0.20m	Ø=9.00m	8.00m
24	SPRUCE	Ø=0.30m	Ø=6.00m	18.00m
25	SPRUCE	Ø=0.20m	Ø=6.00m	12.00m
26	SPRUCE	Ø=0.10m	Ø=1.00m	4.00m
27	SPRUCE	Ø=0.10m	Ø=1.00m	4.00m
28	BUSH	Ø=0.10m	Ø=2.00m	2.00m
29	DECIDUOUS	Ø=0.30m	Ø=8.00m	7.00m
30	SPRUCE	Ø=0.10m	Ø=1.00m	4.00m
31	DECIDUOUS	Ø=0.70m	Ø=14.00m	14.00m
32	DECIDUOUS	Ø=0.40m	Ø=9.00m	9.00m
33	DECIDUOUS	Ø=0.20m	Ø=9.00m	8.00m
34	SPRUCE	Ø=0.10m	Ø=3.00m	3.00m
35	BUSH		Ø=3.00m	3.00m
36	BUSH		Ø=3.00m	3.00m
37	BUSH		Ø=3.00m	3.00m



NOTES:
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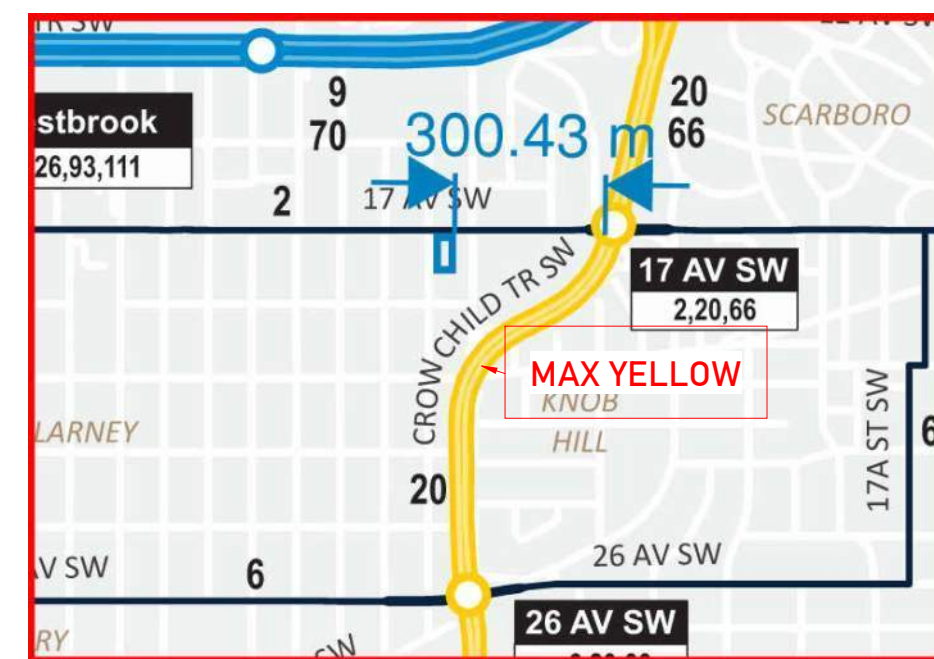
Project Component
 Key Plan
 Seal(s)
 CTZN Architecture Inc.
 Suite 1130
 140 4th Avenue SW
 CALGARY, AB
 T2P 3N3
 P: 403-861-9730
 F: 403-861-9730
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2025-12-05 DEVELOPMENT PERMIT A
 DATE ISSUED FOR REV
 Client
NAY DEVELOPMENT
 Project
NAY DEVELOPMENT 24A
 1902 - 1910 24A Street SW, Calgary, Alberta, T2E 1V3
 Lot 35 - 40, Block 1, Plan 5661 O
 Drawing Title
SITE SURVEY
 Project Manager
 Author
 Project Leader
 Checked
 Scale
 Project No.
 CTZN25-0016
 Drawing No.
DP01.01

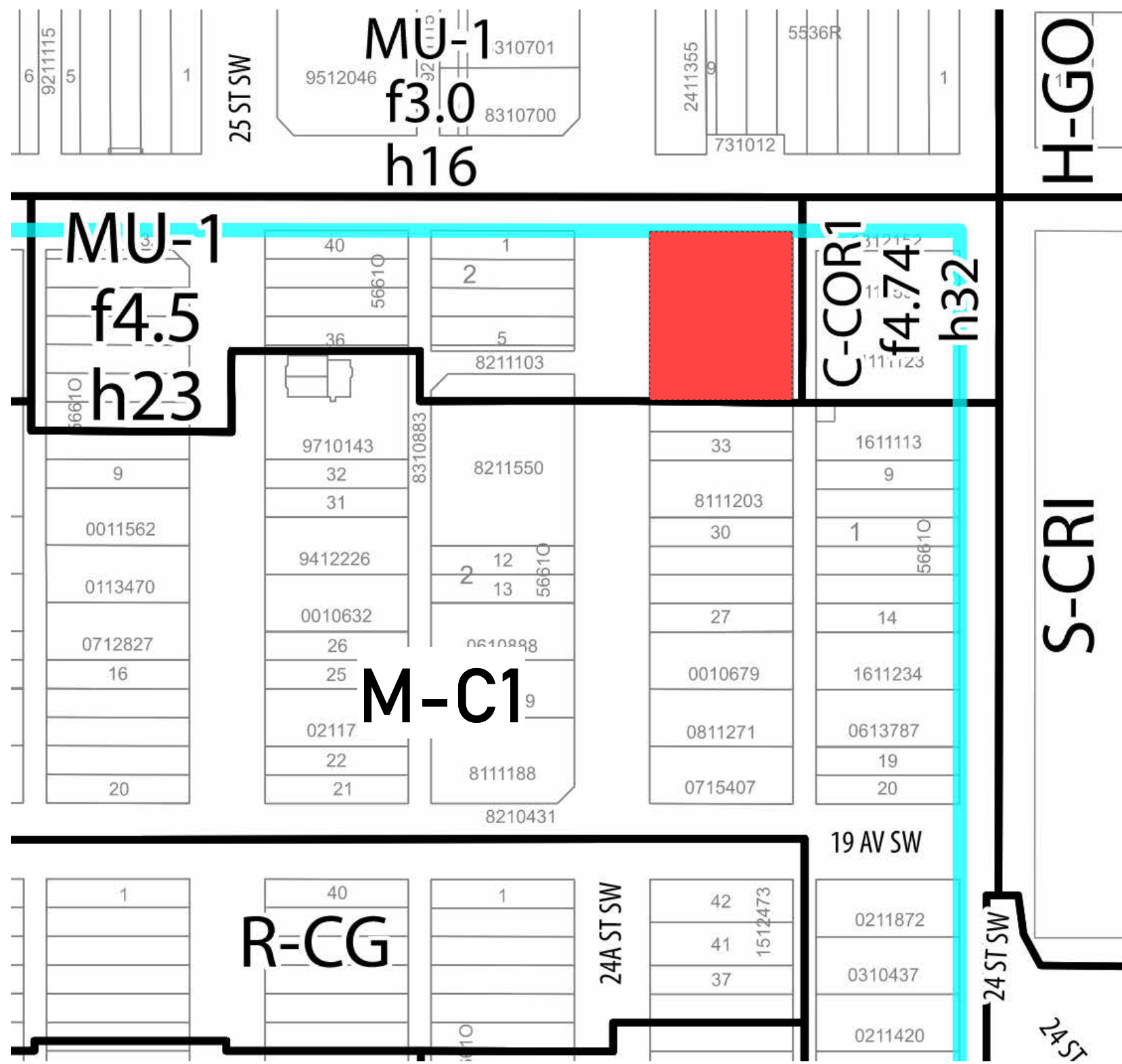
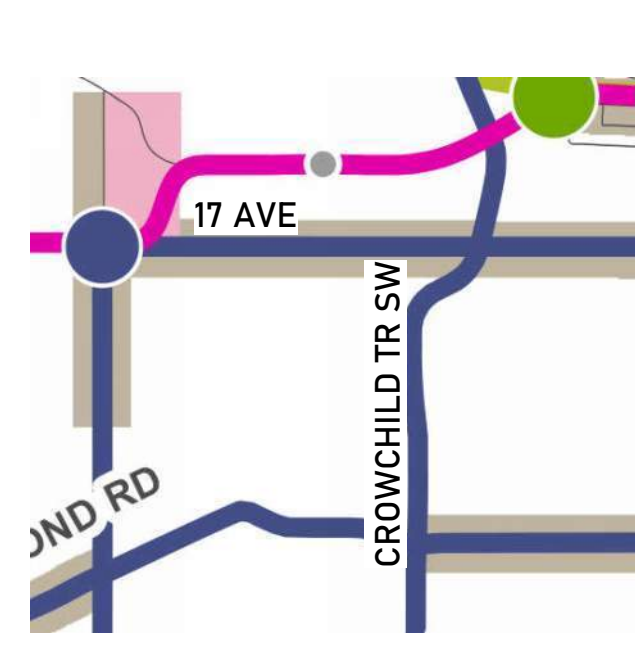
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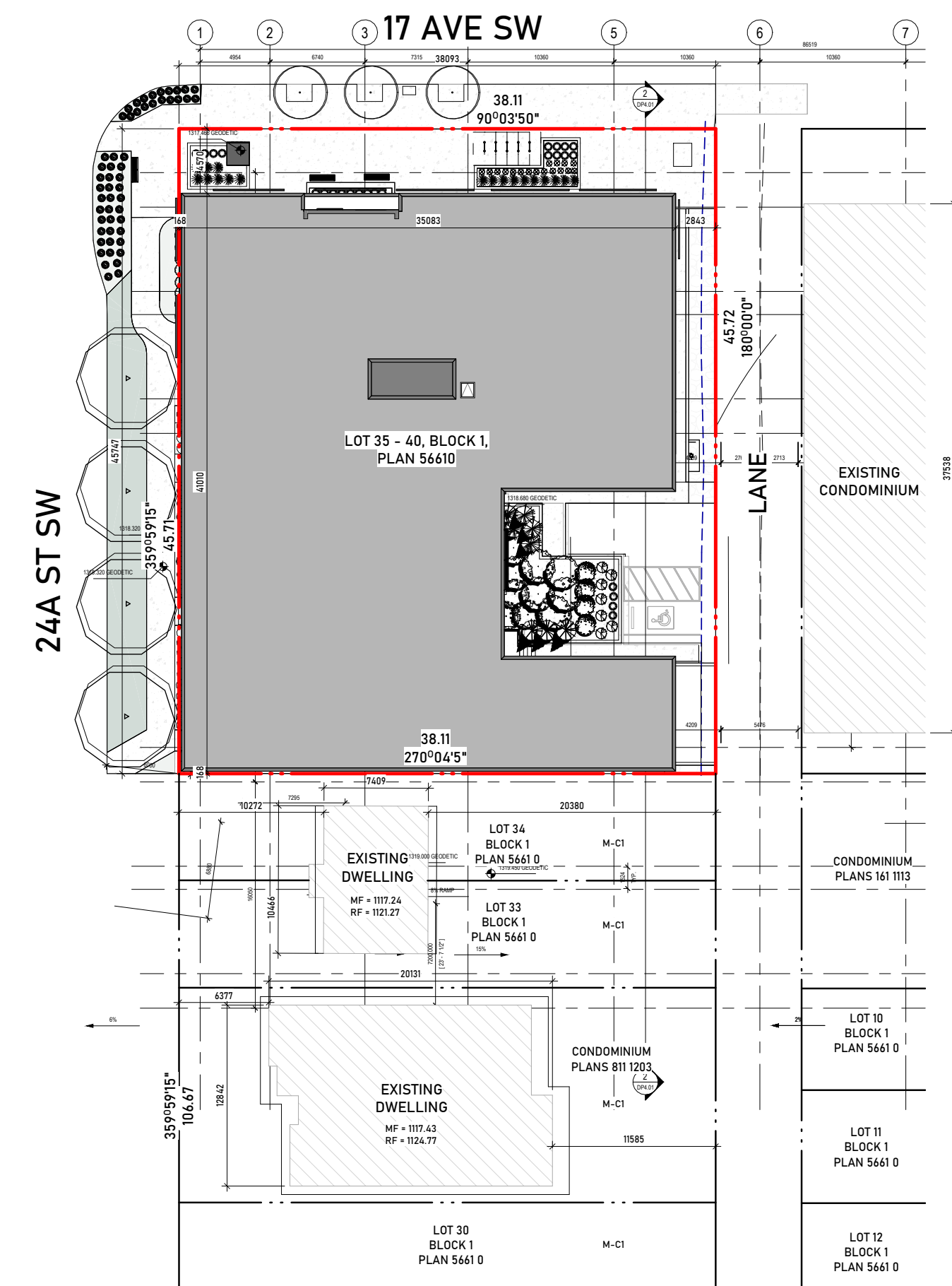
1 CONTEXT PLAN
SCALE: 1:10
TRUE NORTH



3 PUBLIC TRANSIT NETWORK
SCALE: 1:15
TRUE NORTH



2 VICINITY PLAN
SCALE: 1:1-P
TRUE NORTH



4 BLOCK PLAN
SCALE: 1:250
TRUE NORTH

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Project Component

Key Plan

Seal(s)

CTZN Architecture Inc.
Suite 1130
140 4th Avenue SW
CALGARY, AB
T2P 3N3
P: 403-861-4730
www.ctzn.ca

2025-12-05	DEVELOPMENT PERMIT	A
DATE	ISSUED FOR	REV
Client NAY DEVELOPMENT		
Project NAY DEVELOPMENT 24A		
1902 - 1910 24th Street SW, Calgary, Alberta, T2E 1V3		
Lot 35 - 40, Block 1, Plan 5641 0		
Drawing Title BLOCK PLAN, CONTEXT PLAN, LAND USE MAP		
Project Manager	Drawn	
	Author	
Project Leader	Checked	
	Checker	
Scale As indicated		
Project No. CTZN25-0016		
Drawing No. DP01.02		

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT INFORMATION	
MUNICIPAL ADDRESS	1902 to 1910, 24A STREET SW, CALGARY, AB, T2E 1V3
LEGAL ADDRESS	LOTS 35-40, BLOCK 1, PLAN 5441 0
TOTAL PARCEL AREA	1,312.2 m ² 31,227 ft ²
TOTAL PARCEL DIMS	APPROX. 45.7 m x 38.11 m 149' 11" x 125'
LAND USE DISTRICT	MU-1, F.A.3 H23
DISCRETIONARY USE	DWELLING UNIT

BYLAW REQUIREMENTS | PROVISIONS

MOTOR VEHICLE PARKING REQUIREMENT				
TYPE	PER UNIT	PER BUILDING	TOTAL	NOTES
RESIDENT	0.75	75 (44)		
VISITOR	0.10	10 (6)	85 (52)	25% TRANSIT REDUCTION = 18.75 BIKE PARKING REDUCTION (4% ADDITIONAL BIKE) = 12.25 TOTAL REDUCTION = 31
LOADING STALL	-	1	1	1 STALL / 9300 m ² GFA
REQUIRED BARRIER FREE STALLS		4		[4 / (51-100) REQUIRED STALLS]
MOTOR VEHICLE PARKING PROVIDED				
SURFACE	-	1		1 BARRIER FREE STALL PROVIDED @ GRADE 9 BARRIER FREE STALLS PROVIDED FROM PARKADE
UNDERGROUND	-	42	43	
RESIDENT	0.35	35		PARKING STALL DEFICIENCY OF 9 STALLS
VISITOR	0.08	8	43	
LOADING STALL	-	1	1	1 STALLS PROVIDED @ GRADE 17 STALLS PROVIDED IN PARKADE
BICYCLE PARKING REQUIREMENT				
CLASS 1	0.5	50	50	
CLASS 2	0.10	10	10	
BICYCLE PARKING PROVIDED				
CLASS 1	1.0	99	99	SECURED IN BIKE ROOM
CLASS 2	0.10	10	10	EXTERIOR @ GRADE
WASTE PRODUCED				
CUBIC YARDS (CY)		29.7	29.7	29.7 m ³ PROVIDED
FLOOR AREA RATIO REQUIREMENT (FAR)				
ALLOWABLE		ACHIEVED		NOTES
4.5		3.6		

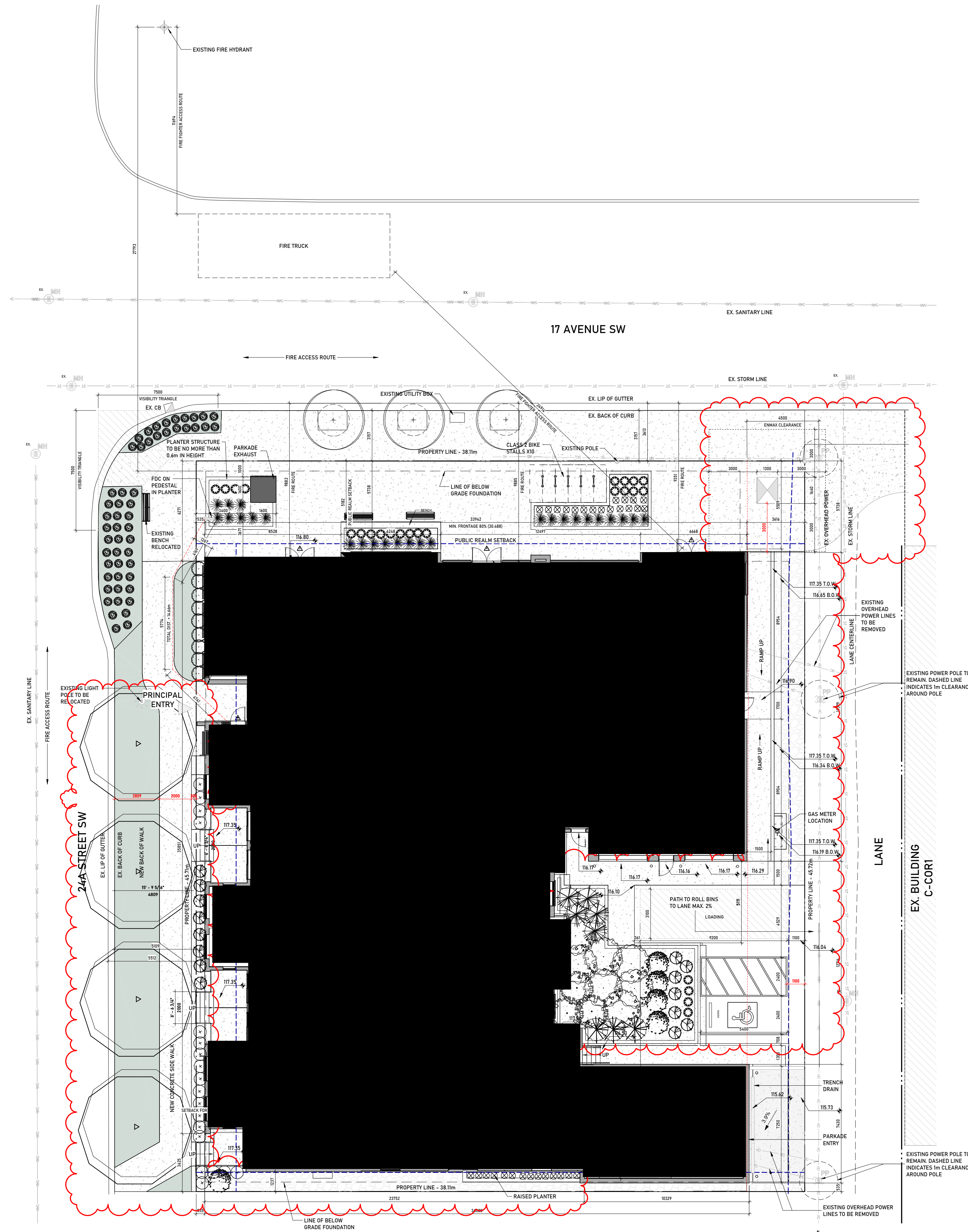
AMENITY SPACE CALCULATIONS

AMENITY AREA REQUIRED (m ²)		NOTES		
LEVEL	PRIVATE AMENITY SPACE (m ²)	COMMON AMENITY SPACE (m ²)	TOTAL AMENITY AREA PROVIDED PER FLOOR (m ²)	
1	413	INDOOR - FITNESS AREA	59.6	100.9
2	89.2	0	0	89.2
3	89.5	0	0	89.5
4	88.8	0	0	88.8
5	88.8	0	0	88.8
6	88.8	0	0	88.8
TOTAL	486.2	59.6		545.8 m ²

*Note: Private Amenity provided by balconies = 437.3m² for the purpose of calculating the minimum require amenity provisions. Deficiency of 55.7m² is provided through common interior amenity space.
**Private Amenity area includes balcony area above the allowed 5m for the purposes of amenity provision.

BUILDING STATISTICS - UNIT COUNT | GROSS FLOOR AREAS (GFA)

LEVEL	UNIT COUNTS		GROSS FLOOR AREAS (GFA)	
	1 BED	2 BED	m ²	ft ²
1	8	1	1,111.7	11,966
2	16	2	1,058.4	11,392
3	16	2	1,048.2	11,282
4	16	2	1,048.2	11,282
5	16	2	1,048.2	11,282
6	16	2	1,048.2	11,282
TOTAL	88	11	6,362.9m ²	11,949 ft ²
UNIT %	89 %	11 %	SUBGRADE AREAS	
TOTAL UNITS	99	P01	1,622.8 m ²	17,467 ft ²
GROSS FLOOR AREA REQUIREMENT (GFA)				
ALLOWABLE		ACHIEVED		NOTES
7,841.7 m ²		6,362.9m ²		DENSITY = 547.11 / Ha



SITE PLAN LEGEND

- CONCRETE, WALKING SURFACE
- CONCRETE, DRIVING SURFACE
- LANDSCAPED AREA, REFER TO LANDSCAPING FOR FURTHER INFORMATION
- EXISTING TREES / BUSHES TO REMAIN
- EXISTING TREES / BUSHES TO BE REMOVED
- PROPOSED PLANTING, REFER TO LANDSCAPING FOR FURTHER INFORMATION
- TRANSFORMER
- PROPERTY LINE
- SETBACK LINE
- LINE OF EXISTING SHORING
- ENMAX CLEARANCES
- PROPOSED FENCELINE
- EXISTING FENCELINE
- PROPOSED BUILDING GRADES
- EXISTING WATER
- EXISTING SANITARY
- EXISTING STORM
- EXISTING GAS
- EXISTING UNDERGROUND POWER
- EXISTING OVERHEAD POWER

GENERAL NOTES

1. SITE CONFIRM ALL DIMENSIONS.
2. ALL EXISTING BOULEVARD TREES TO REMAIN.
3. ALL EXISTING POLES AND GUY WIRES TO REMAIN.
4. ALL ELEMENTS ARE PROPOSED UNLESS NOTED OTHERWISE.

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Project Component
 Key Plan

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2024-02-27	DP RESPONSE 1	B
2025-12-05	DEVELOPMENT PERMIT	A

Client
NAY DEVELOPMENT

Project
NAY DEVELOPMENT 24A

1902 - 1910 24A Street SW, Calgary, Alberta, T2E 1V3
 Lot 35 - 40, Block 1, Plan 5441 0

Drawing Title
PROPOSED SITE PLAN, SITE STATISTICS, BYLAW REVIEW

Project Manager	Drawn
	Author
	Checked
	Checker

Scale
1 : 100

Project No.
CTZN25-0016

Drawing No.
DP01.03

PRELIMINARY - NOT FOR CONSTRUCTION

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Project Component
Key Plan

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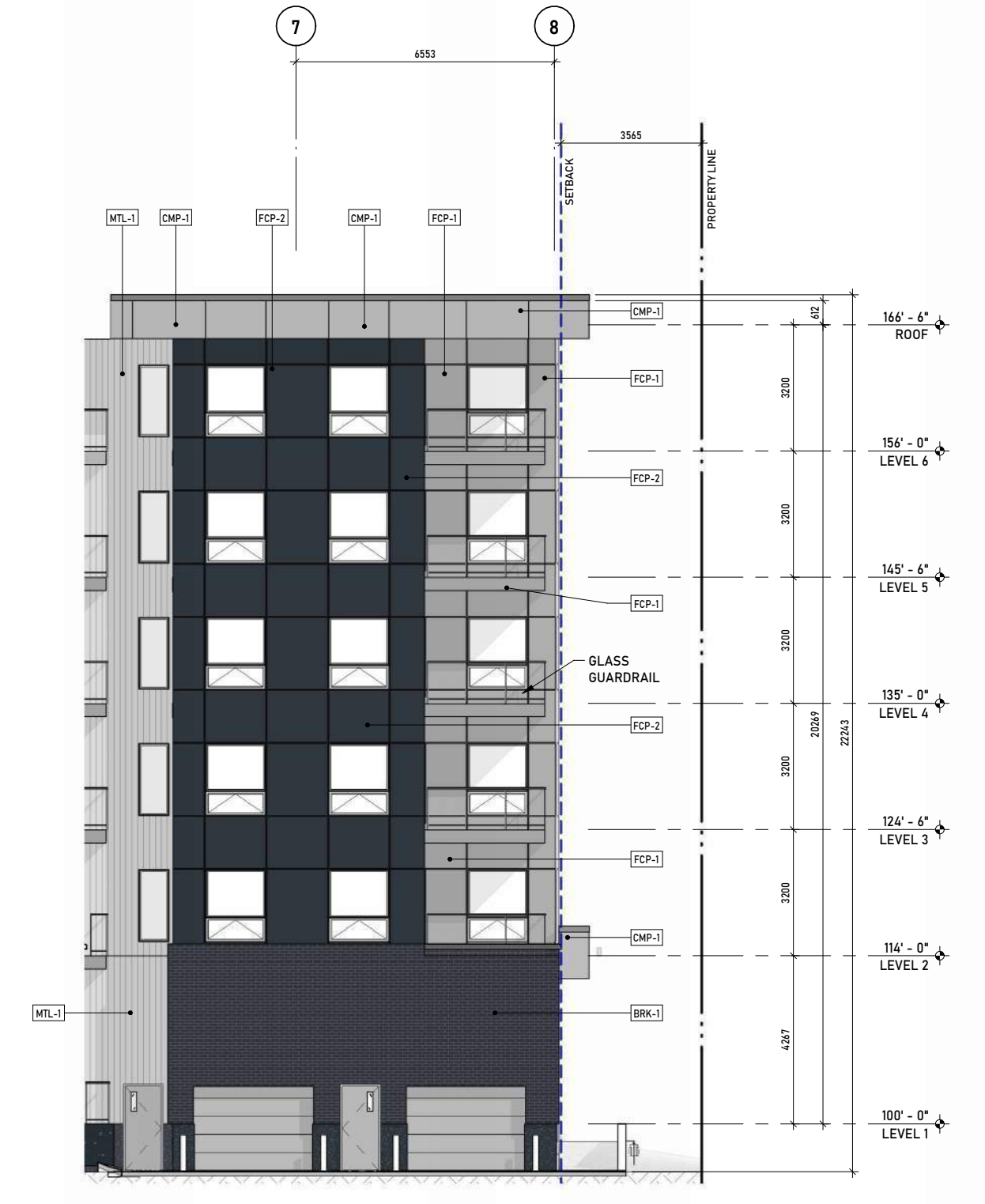
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140 4th Avenue SW
CALGARY, AB
T2P 3N3
P: 403-844-4730
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2 SOUTH ELEVATION
SCALE: 1:100



1 NORTH ELEVATION
SCALE: 1:100



3 SOUTH ELEVATION
SCALE: 1:100



4 NORTH ELEVATION
SCALE: 1:100

MATERIAL LEGEND		
ABBREV.	MATERIAL TYPE	COLOUR
BRK-1	MASONRY CLADDING	DARK GREY
CMP-1	COMPOSITE METAL PANEL	LIGHT GREY
CMP-2	COMPOSITE METAL CLADDING	BLACK
FCP-1	FIBRE CEMENT PANEL	LIGHT GREY
FCP-2	FIBRE CEMENT PANEL	DARK GREY
MTL-1	METAL CLADDING	GREY

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2025-12-05	DEVELOPMENT PERMIT	A

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NAY DEVELOPMENT

Project
NAY DEVELOPMENT 24A

1902 - 1910 24A Street SW, Calgary, Alberta, T2E 1V3
Lot 25 - 60, Block 1, Plan S441 0

Drawing Title
EXTERIOR ELEVATIONS

Project Manager	Author
Project Leader	Checked
Scale	Checker
Project No.	1:100
Drawing No.	CTZN25-0016
	DP04.01

PRELIMINARY - NOT FOR CONSTRUCTION



1 WEST ELEVATION
SCALE: 1:100



2 EAST ELEVATION
SCALE: 1:100

MATERIAL LEGEND		
ABBREV.	MATERIAL TYPE	COLOUR
BRK-1	MASONRY CLADDING	DARK GREY
CMP-1	COMPOSITE METAL PANEL	LIGHT GREY
CMP-2	COMPOSITE METAL CLADDING	BLACK
FCP-1	FIBRE CEMENT PANEL	LIGHT GREY
FCP-2	FIBRE CEMENT PANEL	DARK GREY
MTL-1	METAL CLADDING	GREY

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1902 - 1910 24A Street SW, Calgary, Alberta, T2E 1V2
Lot 25 - 40, Block 1, Plan S441 0

Drawing Title
EXTERIOR ELEVATIONS

Project Manager	Drawn
Project Leader	Author
Scale	Checked
	Checker

Project No.
CTZN25-0016

Drawing No.
DP04.02

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