

COLLECTIVE DESIGN

PARKDALE DEVELOPMENT
BUILDING 1 & GARAGE
4 UNIT & 4 SUITE
M-C1 DEVELOPMENT

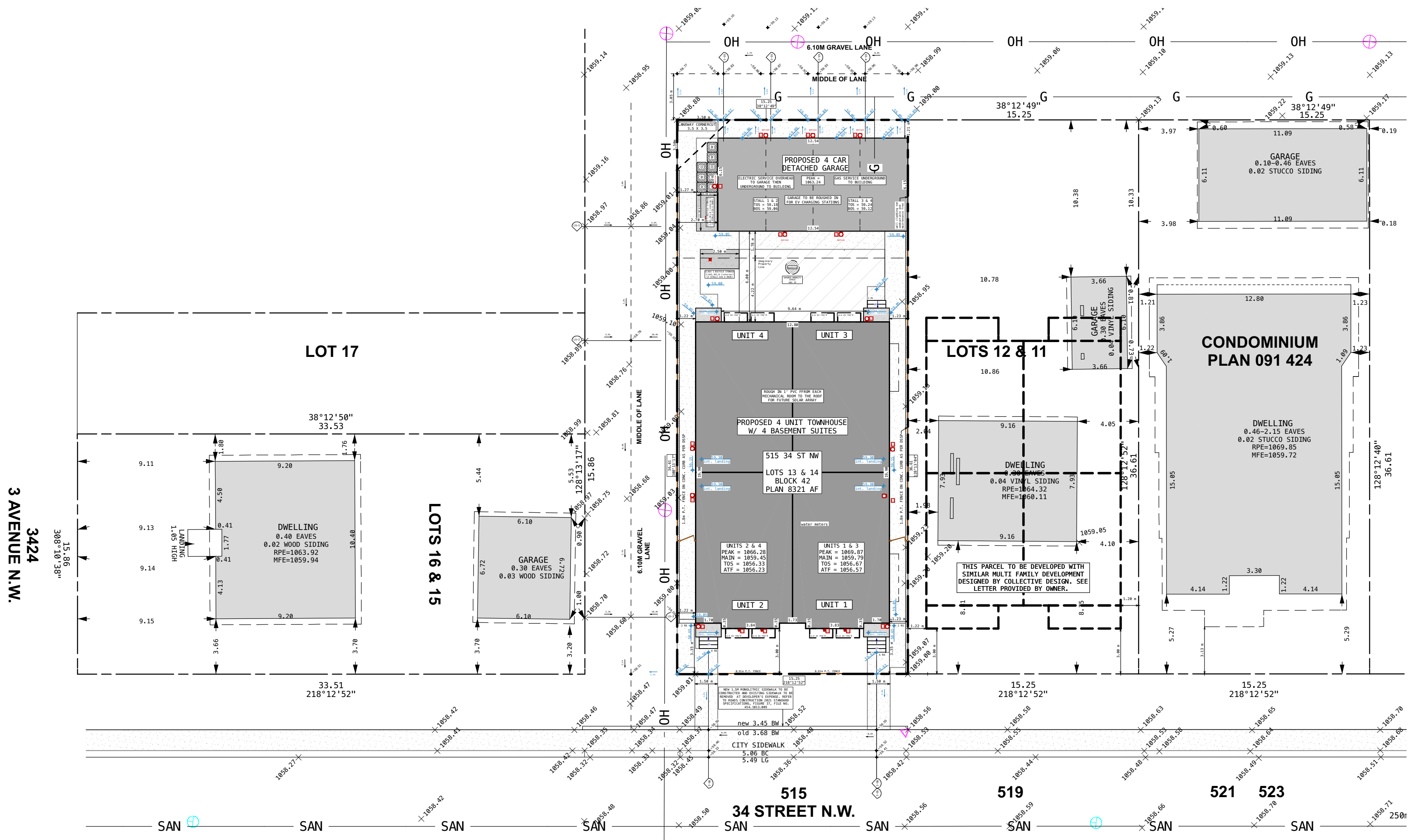
515 34 STREET NW
LOTS 13 & 14, BLOCK 42,
PLAN 8321 AF

CONTENTS

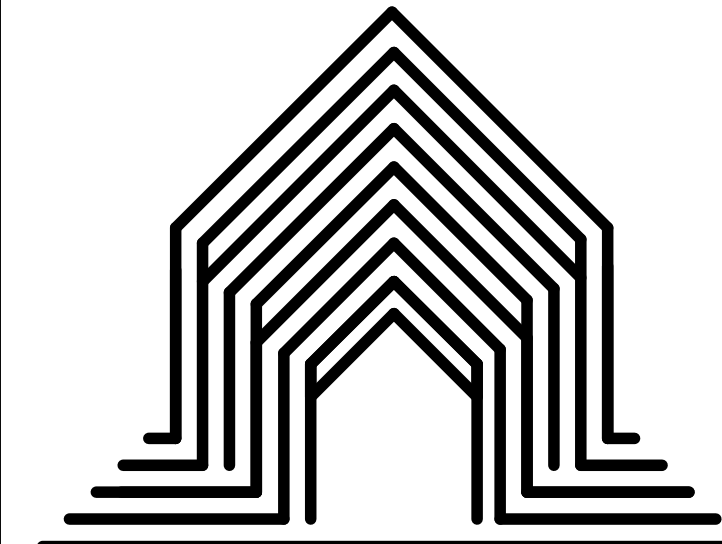
- A1 – COVER PAGE & BLOCK PLAN
- A2 – SITE PLAN
- A3 – LANDSCAPE PLAN
- A4 – BASEMENT DEV. & FOUNDATION PLAN
- A5 – MAIN, UPPER FLOOR & ROOF PLAN
- A6 – ELEVATIONS
- A7 – ELEVATIONS & GARAGE PLANS



EXTERIOR IMAGE
SCALE: NTS



BLOCK PLAN
SCALE: 1=200



COLLECTIVE DESIGN

CONTACT INFO
PHONE: 403-671-2856
EMAIL: clay@collectivedesign.ca

RESPONSIBILITIES

COLLECTIVE DESIGN
It is Collective Design's responsibility to ensure these drawings meet or exceed the current Provincial Building Code and Land Use Bylaws. We will make all revisions, additions, or corrections required due to stated code or bylaws. Changes etc., due to discretionary interpretations by Approving Authorities having jurisdiction will be at the expense of the Homeowner or General Contractor.

HOMEOWNER AND GENERAL CONTRACTOR
A review of final drawings, prior to the start of construction, is the responsibility of the home owner/developer and General Contractor. Any discrepancies between these drawings and the provided consultant drawings are to be provided in writing to Collective Design. Any errors or omissions due to items not specified by the above parties are not the responsibility of Collective Design.

TRADES, SUPPLIERS & CONSULTANTS
The plans provided by Collective Design form only PART of the construction documents. A specification should be provided by the General Contractor (see below). Specific brands, models and trade names where used in these drawings are subject to availability and change orders, and should be confirmed in ALL cases. THE SPECIFICATION OVERRIDES THESE DRAWINGS. Collective Design is not responsible for errors, omissions, or replacement of any materials or supplies when no specification has been provided.

PROJECT NAME:
PARKDALE DEVELOPMENT
ADDRESS:
515 – 34 Street NW
LEGAL ADDRESS:
LOTS 13-14
BLOCK 42
PLAN 8321AF

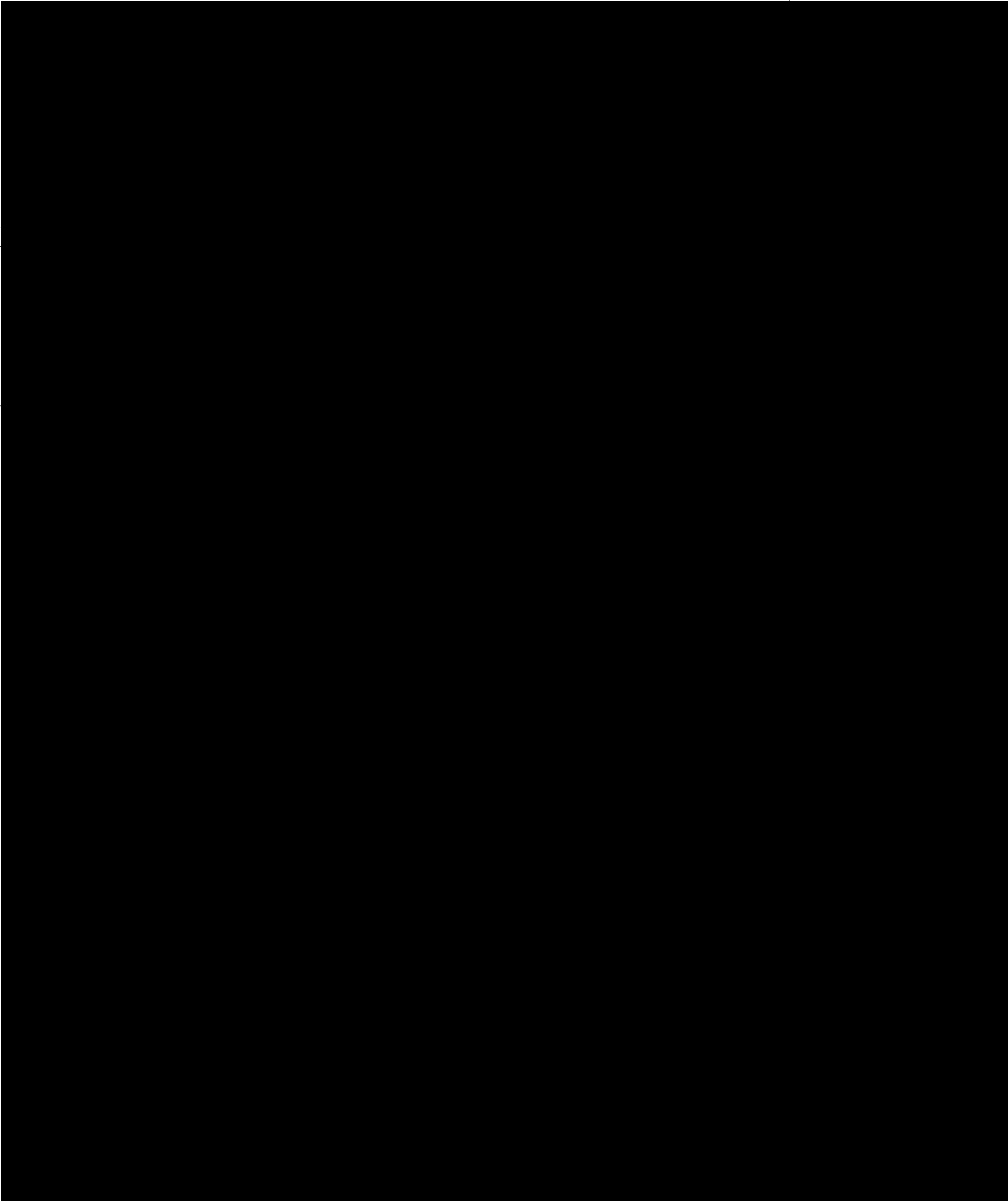
DISTRICT ZONING: M-C1
PROPOSED UNITS: 4
PROPOSED SUITES: 4

UNIT	FLOOR	AREA
1	MAIN	– 701 SF
	SECOND	– 624 SF
	THIRD	– 327 SF
	TOTAL	– 1652 SF
	SUITE (A)	– 606 SF
2	MAIN	– 701 SF
	SECOND	– 624 SF
	TOTAL	– 1325 SF
	SUITE (B)	– 606 SF
	SUITE (C)	– 591 SF
3	MAIN	– 684 SF
	SECOND	– 608 SF
	THIRD	– 310 SF
	TOTAL	– 1603 SF
	SUITE (D)	– 591 SF
4	MAIN	– 685 SF
	SECOND	– 608 SF
	TOTAL	– 1293 SF
	SUITE (D)	– 591 SF

PROJECT STAGE	DATE ISSUED
-Design Draft Review	– 07.11.25
-DP Set	– 12.04.25
-DTR RESUBMISSION	– 02.19.26
-DTR Resub R1	– 07.10.26
-	-
-	-

DESIGN: CI	A1 7
DRAWN: CI/RG	
CHECKED: CI	

COLLECTIVE DESIGN YYC INC. 2025
Any use, in whole or in part, without written consent is prohibited.



COLLECTIVE DESIGN YYC INC. 2025
Any use, in whole or in part, without
written consent is prohibited.



FRONT ELEVATION
SCALE: 3/16"=1'-0"

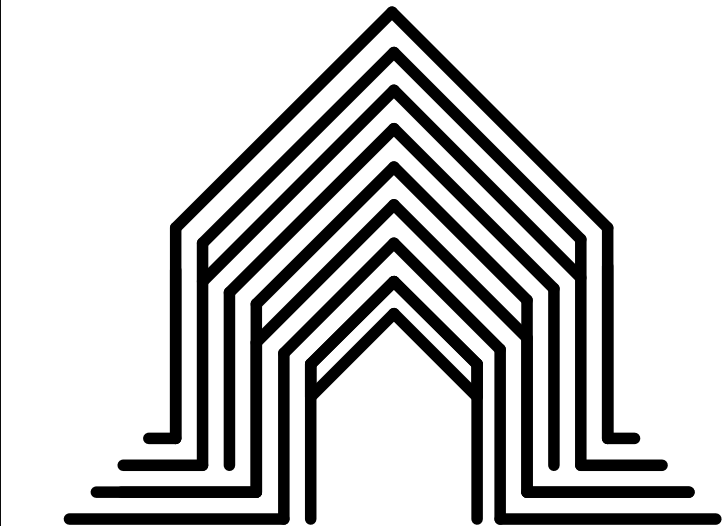


REAR ELEVATION
SCALE: 3/16"=1'-0"



RIGHT ELEVATION
SCALE: 3/16"=1'-0"

EXTERIOR CLADDING SCHEDULE	
①	ASPHALT ROOFING
②	6" ALUMINUM FASCIA black
③	VENTED ALUMINUM SOFFIT black
④	SMOOTH SMARTBOARD charcoal
⑤	SMOOTH SMARTBOARD arctic white
⑥	JAMES HARDIE HORIZONTAL arctic white
⑦	4" CORNER TRIM charcoal
⑧	CROWN MOULDING black
⑨	BRICK VENEER
⑩	VINYL WINDOWS
⑪	FIBRE GLASS DOOR
⑫	RAILING charcoal
⑬	STEEL INSULATED GARAGE DOOR charcoal
⑭	STANDING SEAM ROOF
⑮	METAL BRACKETS



COLLECTIVE DESIGN

CONTACT INFO
PHONE: 403-671-2856
EMAIL: clay@collectivedesign.ca

RESPONSIBILITIES

COLLECTIVE DESIGN
It is Collective Design's responsibility to ensure these drawings meet or exceed the current Provincial Building Code and Land Use Bylaws. We will make all revisions, additions, or corrections required due to stated code or bylaws. Changes etc, due to discretionary interpretations by Approving Authorities having jurisdiction will be at the expense of the Homeowner or General Contractor.

HOMEOWNER AND GENERAL CONTRACTOR
A review of final drawings, prior to the start of construction, is the responsibility of the home owner/ developer and General Contractor. Any discrepancies between these drawings and the provided consultant drawings are to be provided in writing to Collective Design. Any errors or omissions due to items not specified by the above parties are not the responsibility of Collective Design.

TRADES, SUPPLIERS & CONSULTANTS
The plans provided by Collective Design form only PART of the construction documents. A specification should be provided by the General Contractor (see below). Specific brands, models and trade names where used in these drawings are subject to availability and change orders, and should be confirmed in ALL cases.
THE SPECIFICATION OVERRIDES THESE DRAWINGS. Collective Design is not responsible for errors, omissions, or replacement of any materials or supplies when no specification has been provided.

PROJECT NAME:
PARKDALE DEVELOPMENT
ADDRESS:
515 – 34 Street NW
LEGAL ADDRESS:
LOTS 13-14
BLOCK 42
PLAN 8321AF

DISTRICT ZONING: M-C1
PROPOSED UNITS: 4
PROPOSED SUITES: 4

UNIT	FLOOR	AREA
1	MAIN	– 701 SF
	SECOND	– 624 SF
	THIRD	– 327 SF
	TOTAL	– 1652 SF
	SUITE (A)	– 606 SF
2	MAIN	– 701 SF
	SECOND	– 624 SF
	TOTAL	– 1325 SF
	SUITE (B)	– 606 SF
3	MAIN	– 684 SF
	SECOND	– 608 SF
	THIRD	– 310 SF
	TOTAL	– 1603 SF
	SUITE (C)	– 591 SF
4	MAIN	– 685 SF
	SECOND	– 608 SF
	TOTAL	– 1293 SF
	SUITE (D)	– 591 SF

PROJECT STAGE	DATE ISSUED
-Design Draft Review	– 07.11.25
-DP Set	– 12.04.25
-DTR RESUBMISSION	– 02.19.26
-DTR Resub R1	– 07.10.26
-	-
-	-

DESIGN: CI

DRAWN: CI/RG

CHECKED: CI

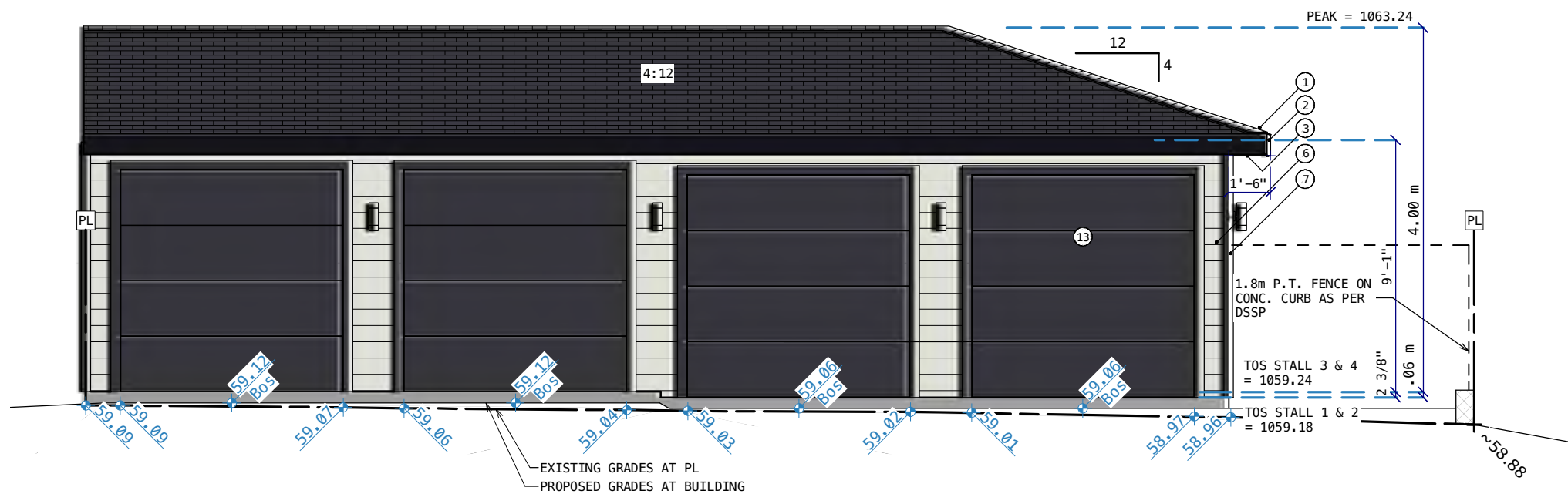
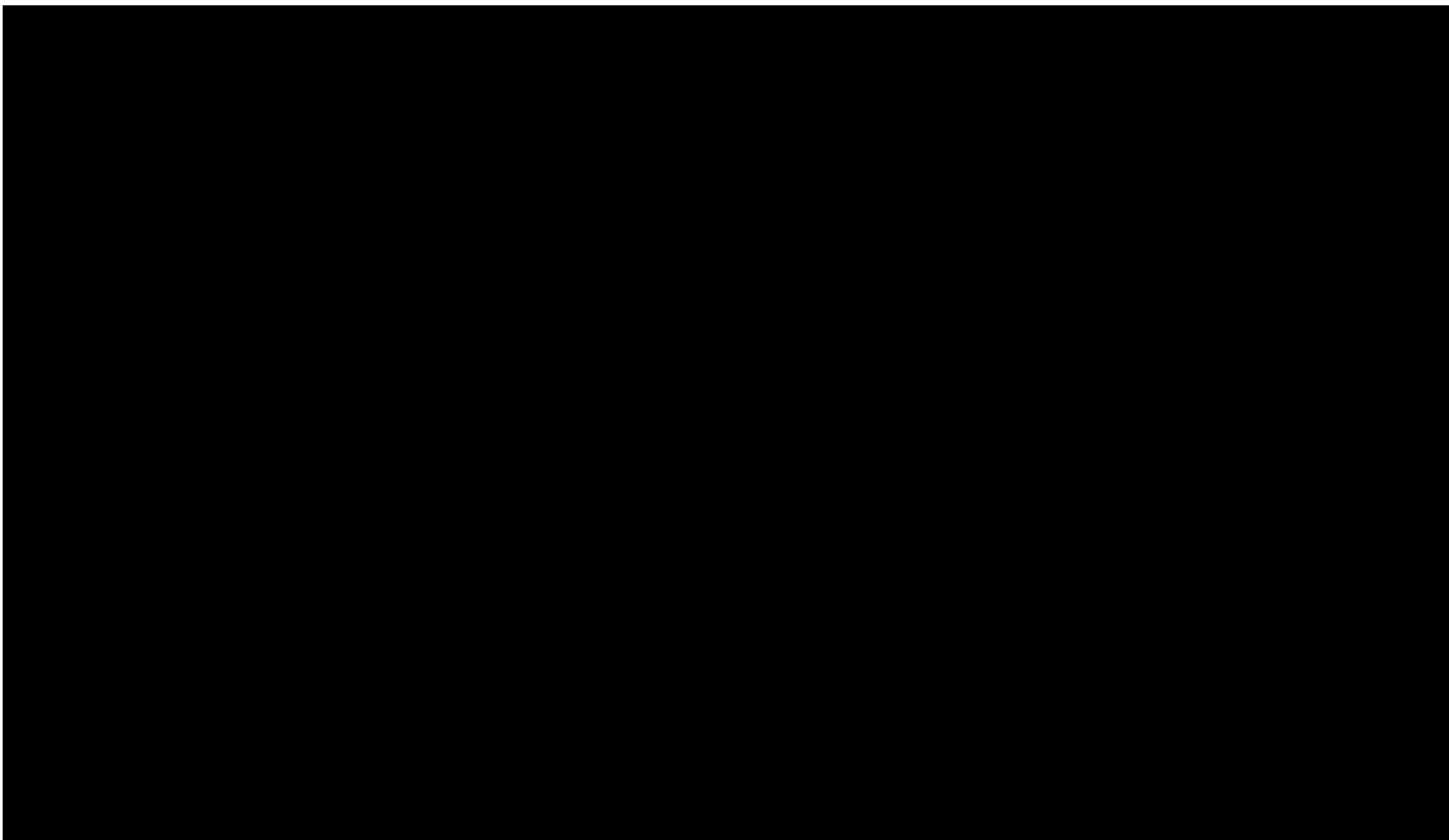
A6

7

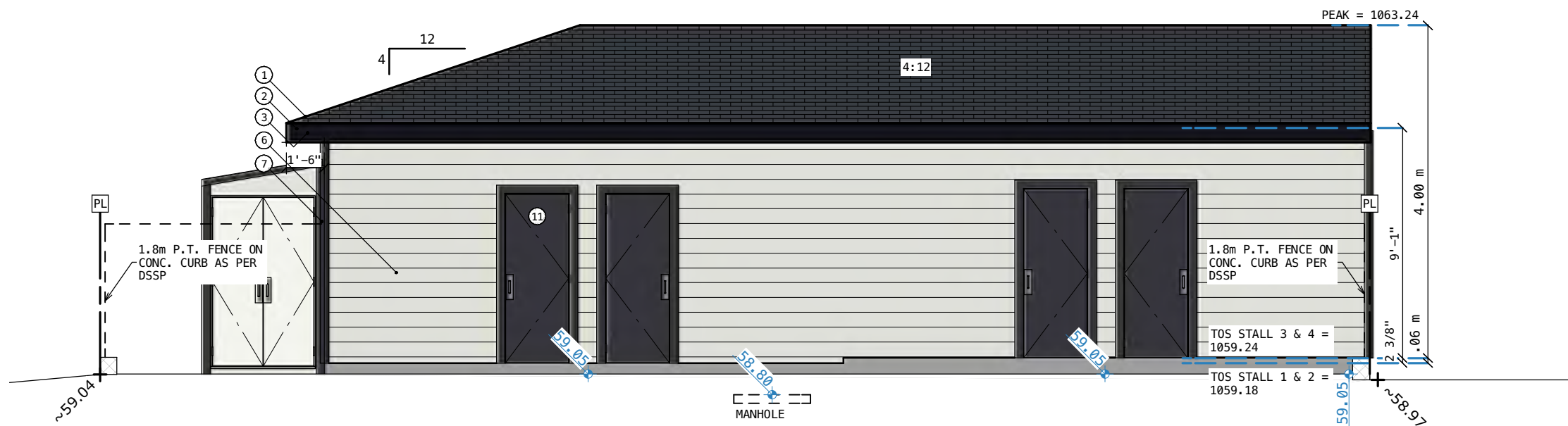
COLLECTIVE DESIGN YYC INC. 2025
Any use, in whole or in part, without written consent is prohibited.



LEFT ELEVATION
SCALE: 3/16"=1'-0"

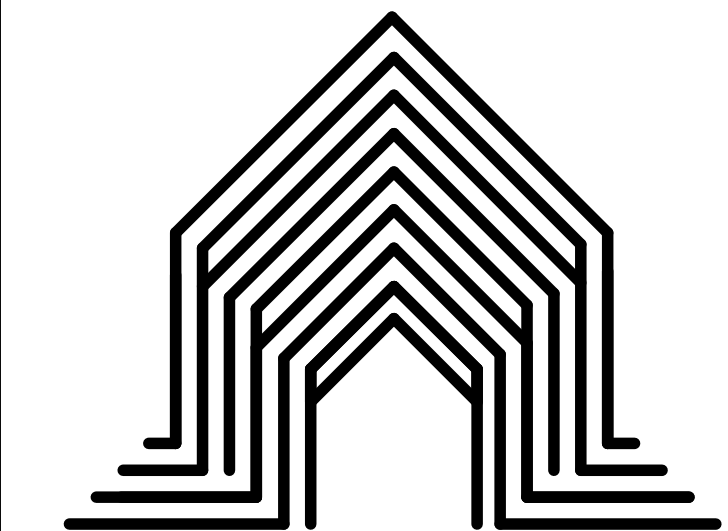


GARAGE ELEVATION - LANEWAY
SCALE: 3/16"=1'-0"



GARAGE ELEVATION - YARD
SCALE: 3/16"=1'-0"

EXTERIOR CLADDING SCHEDULE	
①	ASPHALT ROOFING
②	6" ALUMINUM FASCIA black
③	VENTED ALUMINUM SOFFIT black
④	SMOOTH SMARTBOARD charcoal
⑤	SMOOTH SMARTBOARD arctic white
⑥	JAMES HARDIE HORIZONTAL arctic white
⑦	4" CORNER TICH charcoal
⑧	CROWN MOLDING black
⑨	BRICK VENEER
⑩	VINYL WINDOWS
⑪	FIBRE GLASS DOOR
⑫	RAILING charcoal
⑬	STEEL INSULATED GARAGE DOOR charcoal
⑭	STANDING SEAM ROOF
⑮	METAL BRACKETS



COLLECTIVE DESIGN

CONTACT INFO
PHONE: 403-671-2856
EMAIL: clay@collectivedesign.ca

RESPONSIBILITIES

COLLECTIVE DESIGN
It is Collective Design's responsibility to ensure these drawings meet or exceed the current Provincial Building Code and Land Use Bylaws. We will make all revisions, additions, or corrections required due to stated code or bylaws. Changes etc, due to discretionary interpretations by Approving Authorities having jurisdiction will be at the expense of the Homeowner or General Contractor.

HOMEOWNER AND GENERAL CONTRACTOR
A review of final drawings, prior to the start of construction, is the responsibility of the home owner/ developer and General Contractor. Any discrepancies between these drawings and the provided consultant drawings are to be provided in writing to Collective Design. Any errors or omissions due to items not specified by the above parties are not the responsibility of Collective Design.

TRADES, SUPPLIERS & CONSULTANTS
The plans provided by Collective Design form only PART of the construction documents. A specification should be provided by the General Contractor (see below). Specific brands, models and trade names where used in these drawings are subject to availability and change orders, and should be confirmed in ALL cases.
THE SPECIFICATION OVERRIDES THESE DRAWINGS. Collective Design is not responsible for errors, omissions, or replacement of any materials or supplies when no specification has been provided.

PROJECT NAME:
PARKDALE DEVELOPMENT
ADDRESS:
515 - 34 Street NW
LEGAL ADDRESS:
LOTS 13-14
BLOCK 42
PLAN 8321AF

DISTRICT ZONING: M-C1
PROPOSED UNITS: 4
PROPOSED SUITES: 4

UNIT	FLOOR	AREA
1	MAIN	- 701 SF
	SECOND	- 624 SF
	THIRD	- 327 SF
	TOTAL	- 1652 SF
	SUITE (A)	- 606 SF
2	MAIN	- 701 SF
	SECOND	- 624 SF
	TOTAL	- 1325 SF
	SUITE (B)	- 606 SF
3	MAIN	- 684 SF
	SECOND	- 608 SF
	THIRD	- 310 SF
	TOTAL	- 1603 SF
	SUITE (C)	- 591 SF
4	MAIN	- 685 SF
	SECOND	- 608 SF
	TOTAL	- 1293 SF
	SUITE (D)	- 591 SF

PROJECT STAGE	DATE ISSUED
-Design Draft Review	- 07.11.25
-DP Set	- 12.04.25
-DTR RESUBMISSION	- 02.19.26
-DTR Resub R1	- 07.10.26
-	-
-	-

DESIGN: CI

DRAWN: CI/RG

CHECKED: CI

A7

7

COLLECTIVE DESIGN YYC INC. 2025
Any use, in whole or in part, without written consent is prohibited.