



PROPOSED CLUSTER HOUSING

2704 43 STREET S.W.

CALGARY, ALBERTA

RE-ISSUED FOR DEVELOPMENT PERMIT
DECEMBER , 2025

Sheet List	
Sheet Number	Sheet Name
A0.0	COVER
A0.1	3D VIEWS
A0.2	3D VIEWS
A1.1	SITE PLAN
A1.2	LANDSCAPING PLAN
A1.3	EXISTING BLOCK PLAN
A1.4	PROPOSED BLOCK PLAN
A2.1	MAIN FLOOR PLAN AND BASEMENT- BLDG A
A2.2	SECOND FLOOR PLAN - BLDG A
A2.3	BUILDING A - ROOF PLAN
A2.4	BASEMENT PLAN - BLDG B
A2.5	MAIN FLOOR PLAN - BLDG B.
A2.6	SECOND FLOOR PLAN - BLDG B.
A2.7	THIRD FLOOR PLAN - BLDG B
A2.8	BUILDING B - ROOF PLAN
A3.1	BLDG A - NORTH ELEVATION
A3.2	BLDG A - SOUTH ELEVATION
A3.3	BLDG A - EAST & WEST ELEVATION
A3.4	BLDG B - NORTH ELEVATION
A3.5	BLDG B - SOUTH ELEVATION
A3.6	BLDG B - EAST ELEVATION
A3.7	BLDG B - WEST ELEVATION
A4.1	BUILDING A - SECTION 1
A4.2	BUILDING A - SECTION 2
A4.3	BUILDING B - SECTION 1
A4.4	BUILDING B - SECTION 2
A5.0	GARAGE DRAWINGS
A6.0	SITE PHOTOS



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CONSULTANT

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PROPOSED CLUSTER HOUSING

PROJECT NO. R25050

REVISIONS

No.	Description	YY-MM-DD
1	IFDP	05/12/2025

COVER

SCALE:

A0.0

DATE: 2024-09-09

DRAWN BY: MR



1 3D View 2



2 3D View 5

PROPOSED CLUSTER HOUSING
 2704 43 STREET S.W.
 CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS

No.	Description	YY-MM-DD
1	IFDP	05/12/2025

3D VIEWS

SCALE:

A0.1

DATE: 2025-12-05

DRAWN BY: MR



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REVISIONS

No.	Description	YY-MM-DD
1	IFDP	05/12/2025

3D VIEWS

SCALE:

A0.2

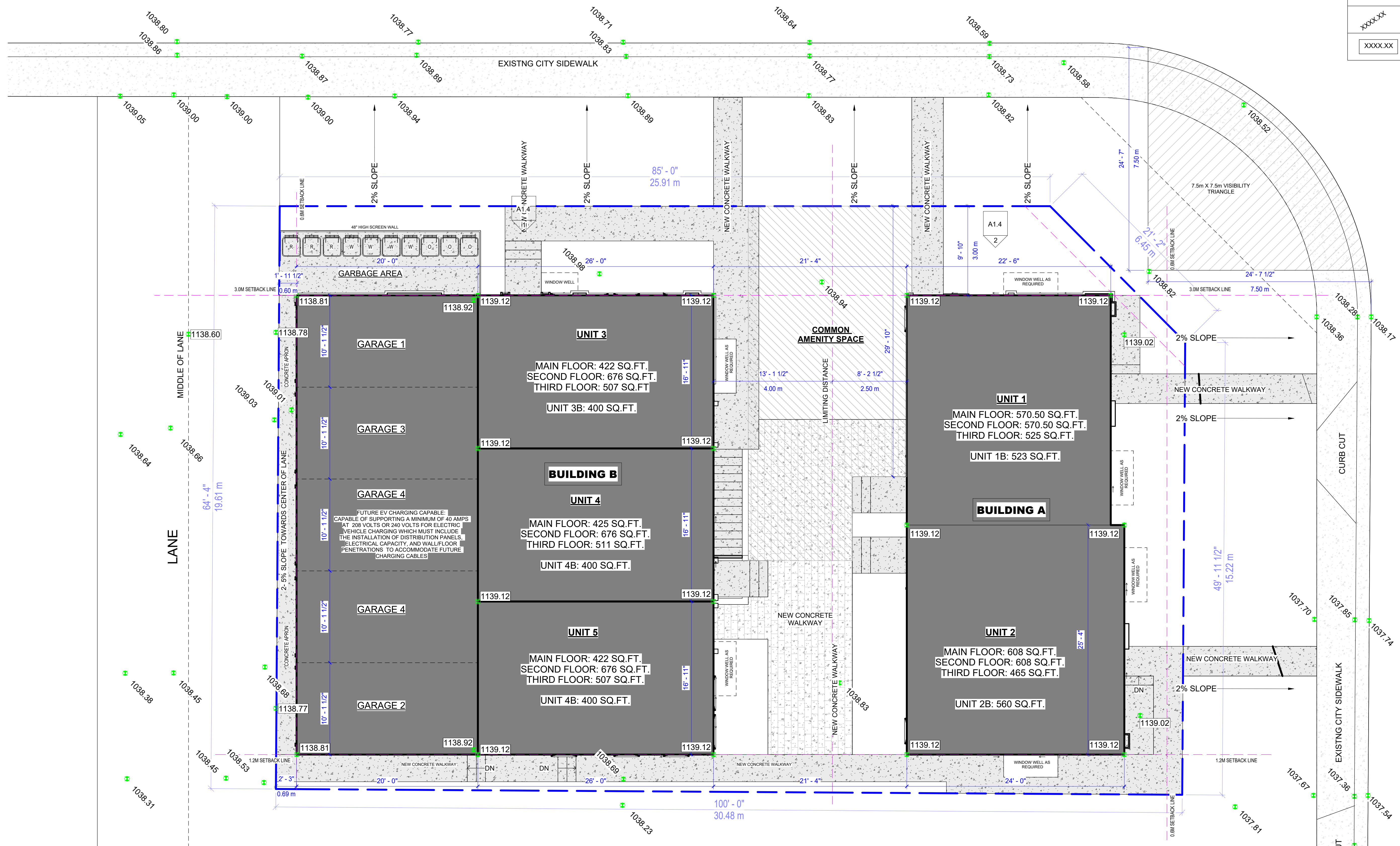
DATE: 2025-12-05

DRAWN BY: MR

1 3D View 4

43 ST S.W.

GRADE LEGEND	
XXXX.XX	EXISTING GRADE
XXXX.XX	PROPOSED GRADE



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REVISIONS	No.	Description	YY-MM-DD
1	IFDP		05/12/2025

SITE PLAN

SCALE: 3/16" = 1'-0"

A1.1

DATE: 2025-12-05
DRAWN BY: MR

NOTE: BUILDER TO ENSURE MINIMUM OF 2% POSITIVE SLOPE IS PROVIDED AWAY FROM THE DWELLING UNIT & TOWARDS STREETS/LANES.

AMENITY SPACE
625.21 ft² (58.08 m²)

LOT COVERAGE	
SITE AREA	6334.35 SF or 588.48 SQ.M (0.0588Ha)
NO OF UNITS	5
DENSITY	85 units/Hectare
LOT COVERAGE	3562.85 ft ² (331.00 m ²)
MAX. LOT COVERAGE ALLOWED:	60%
LOT COVERAGE %	56.00%
MAX. HT :	12M

H-GO DISTRICT

1 SITE PLAN
A1.1 3/16" = 1'-0"

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PROJECT NO. R25050

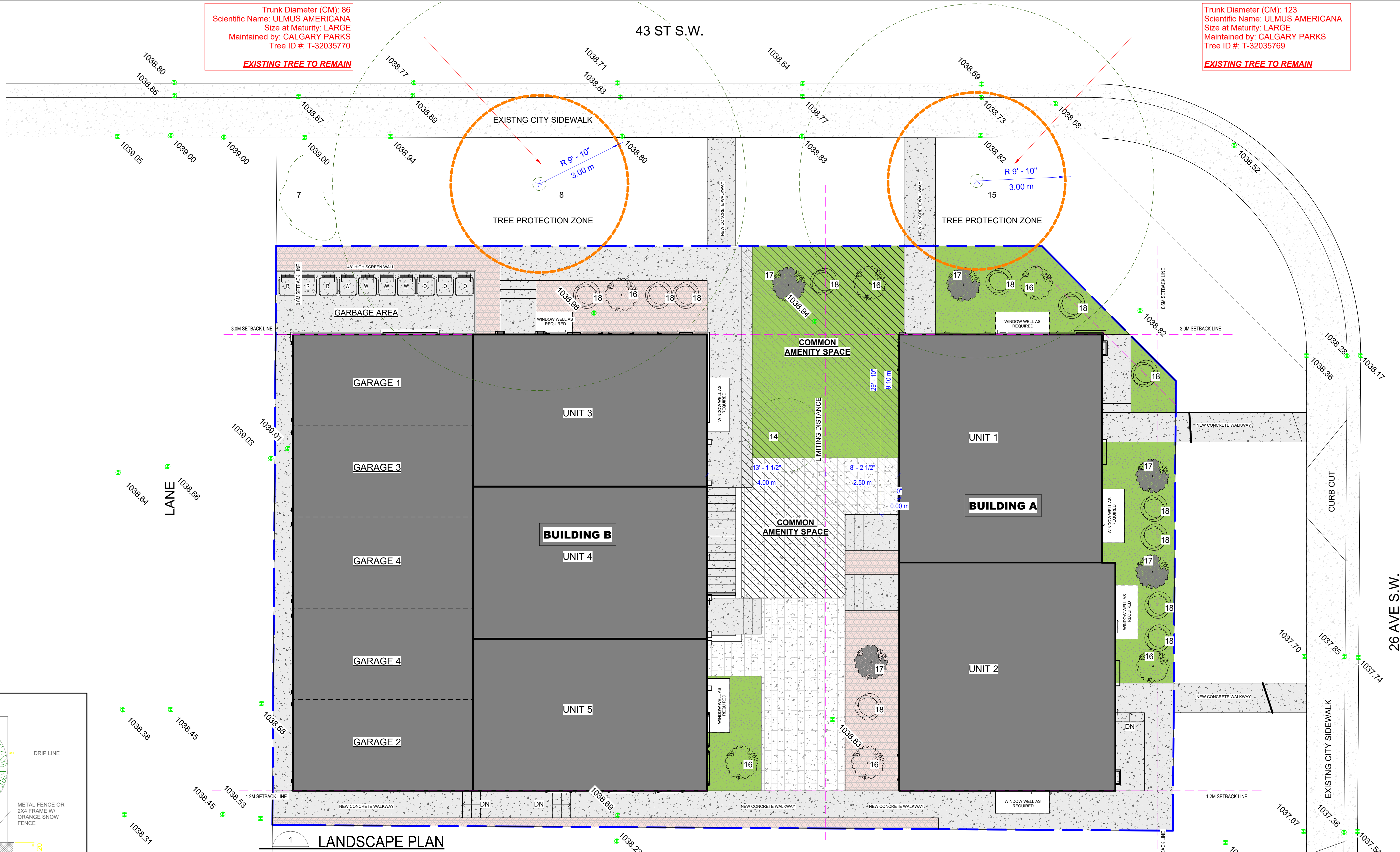
REVISIONS	No.	Description	YY-MM-DD
1	IFDP		05/12/2025

LANDSCAPING PLAN

SCALE: As indicated

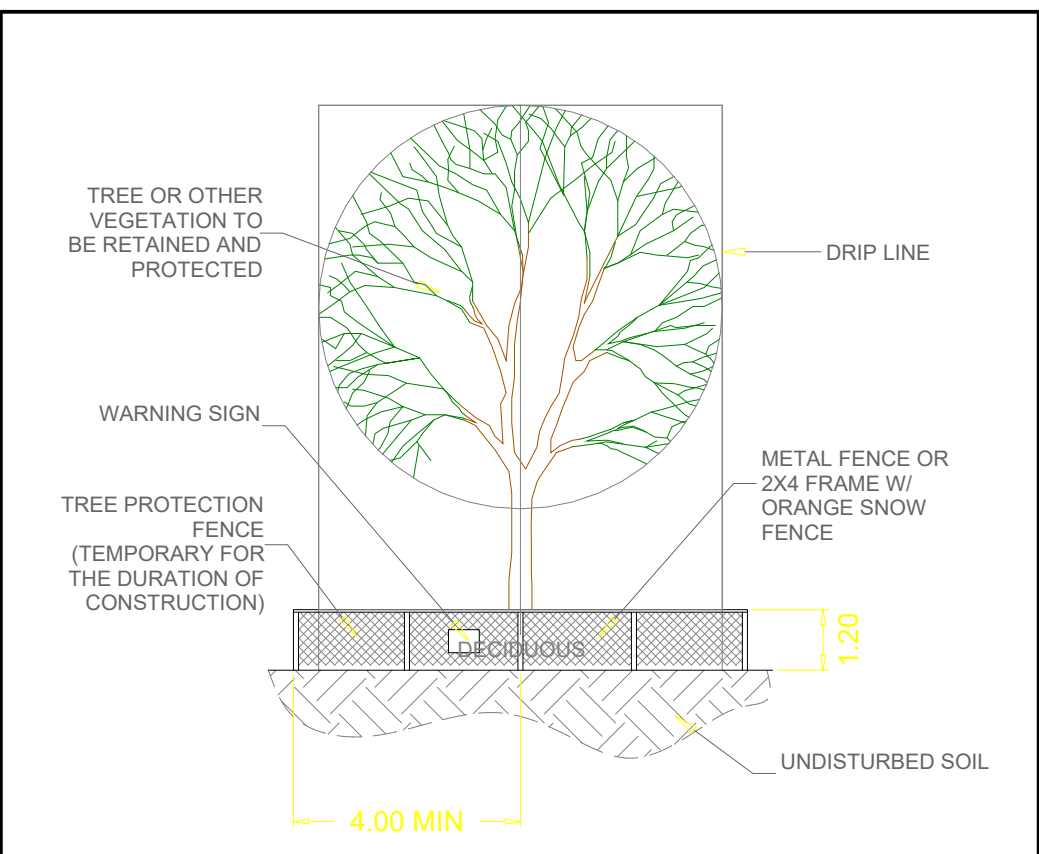
A1.2

DATE: 2025-12-05
DRAWN BY: MR



Trunk Diameter (CM): 86
Scientific Name: ULMUS AMERICANA
Size at Maturity: LARGE
Maintained by: CALGARY PARKS
Tree ID #: T-32035770
EXISTING TREE TO REMAIN

Trunk Diameter (CM): 123
Scientific Name: ULMUS AMERICANA
Size at Maturity: LARGE
Maintained by: CALGARY PARKS
Tree ID #: T-32035769
EXISTING TREE TO REMAIN



TREE PROTECTION ZONE DETAIL
SCALE: N.T.S.

- EXISTING TREES TO BE PROTECTED FROM CONSTRUCTION WITH THE INSULATION OF A 1200mm (4'-0") HIGH SNOW FENCE HELD IN PLACE WITH 1800mm (6'-0") T-BARS.
- THE BARRIER IS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION & MUST REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED.
- ALL SUPPORT & BRACING SHOULD BE INSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS IN THE TREE PROTECTION ZONE.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EXCAVATION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- NO MOVEMENT OF EQUIPMENT, STORAGE OF SUPPLIES, CLEANING OF EQUIPMENT, OR DUMPING OF SOLVENTS, GASOLINE, ETC. MAY OCCUR WITHIN THE FENCE LINE.
- WHERE HIGH QUALITY SPECIMENS OCCUR ADJACENT TO AREA SUBJECTED TO INTENSIVE CONSTRUCTION ACTIVITY, WOODEN CRIBBING SHOULD BE INSTALLED TO PROTECT TRUNKS FROM DAMAGE IN THE EVENT THAT HEAVY EQUIPMENT BREAKS DOWN THE SNOW FENCING. FENCE TO BE INSPECTED BY ENVIRONMENTAL CONSULTANT ON A REGULAR BASIS AND BE MAINTAINED BY THE BUILDER.

TREE PROTECTION ZONE DETAIL
1" = 10'-0"

LANDSCAPE PLAN
A3.1 3/16" = 1'-0"

TREE SCHEDULE						
Tree No	Tree Type	Trunk Diameter	Spread	Height	Location	
1	Coniferous	0.10	2.00	4.00	In City Boulevard	Retain
2	Bush	-----	2.00	2.00	In City Boulevard	Trim
3	Bush	-----	1.50	2.00	In Subject Property	Trim
4	Coniferous	0.10	2.00	2.50	In Subject Property	Remove
5	Deciduous	0.30	6.00	10.00	In Subject Property	Remove
6	Deciduous	0.10	2.00	3.00	In Subject Property	Remove
7	Bush	-----	2.00	2.50	In City Boulevard	Trim
8	Deciduous	0.45	8.00	14.00	In City Boulevard	Trim
9	Bush	-----	2.00	2.00	In City Boulevard	Trim
10	Coniferous	0.05	2.00	2.50	In Subject Property	Remove
11	Bush	-----	1.00	1.50	In Subject Property	Remove
12	Coniferous	0.05	1.00	2.50	In Subject Property	Remove
13	Bush	-----	1.00	1.50	In Subject Property	Remove
14	Coniferous	0.05	1.00	2.50	In Subject Property	Retain
15	Deciduous	0.45	14.00	8.00	In City Boulevard	Retain

PLANTING LEGEND			
	NEW LOW WATER CONIFEROUS TREE 85MM CALIPER 1M CANOPY 4M HEIGHT	COLUMNAR BLUE SPRUCE	6
	NEW LOW WATER DECIDUOUS TREE 85MM CALIPER 1M CANOPY 1M HEIGHT	PRUNUS VIRGINIANA VAR. MELANOCARPA CHOCHECHERRY	5
	NEW LOW WATER SHRUB 0.8M CALIPER 0.8M HEIGHT	AMELANCHIER ALNIFOLIA SASKATOON BERRY	12

LOT COVERAGE	
SITE AREA	6334.35 SF or 588.48 SQ.M (0.0568Ha)
NO OF UNITS	5
DENSITY	85 units/Hectare
LOT COVERAGE	3562.85 SF (331.00 m ²)
MAX. LOT COVERAGE ALLOWED:	60%
LOT COVERAGE %	56.00%
TOTAL LANDSCAPED AREA	
SOD	-796.42 SF
MULCH	-402.88 SF
SOFT LANDSCAPING	=1199.3 SF
CONCRETE AT GRADE	-1,203.41 SF
BELOW GRADE	-16.00 SF
HARD LANDSCAPING	=1,289.41 SF
TOTAL LANDSCAPED AREA	= 2,498.71 SF (40%)
TOTAL LANDSCAPED AREA - 232.20 SQM	
11 TREES AND 12 SHRUBS PROVIDED	

3% REDUCTION FOR LOW WATER IRRIGATION SYSTEM
LOW WATER IRRIGATION SYSTEM IS PROVIDED
IRRIGATION IS CONFINED TO TREES AND SHRUBS
TREES AND SHRUBS ARE LOW WATER

NOTE:
SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS.

SOD
 MULCH
 NEW CONCRETE WALKWAY

PROJECT NO. R25050

REVISIONS

No.	Description	YY-MM-DD
1	IFDP	05/12/2025

EXISTING BLOCK PLAN

SCALE: 1:250

A1.3

DATE: 2025-12-05

DRAWN BY: MR

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 8
Block 1
Plan 4216HE

MUNICIPAL ADDRESS: 2704 43 Street S.W.
Calgary, Alberta

DATE OF SURVEY: August 18th, 2025.

SCALE: 1:200

NOTES:

Elevations are shown thus: = 1000.00 metres. (Geodetic)

Elevations are geodetic and derived from ASCM: 232399 ELEV: 1136.494

All dimensions are ground in metres and decimals thereof unless otherwise shown.

All distances on curves are arc distances.

Bearings are grid (3TM, CM1147) and derived from GNSS Observations.

All fences are within 0.2 metres of the property lines unless otherwise shown.

All trees are measured to fascia unless otherwise shown.

Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

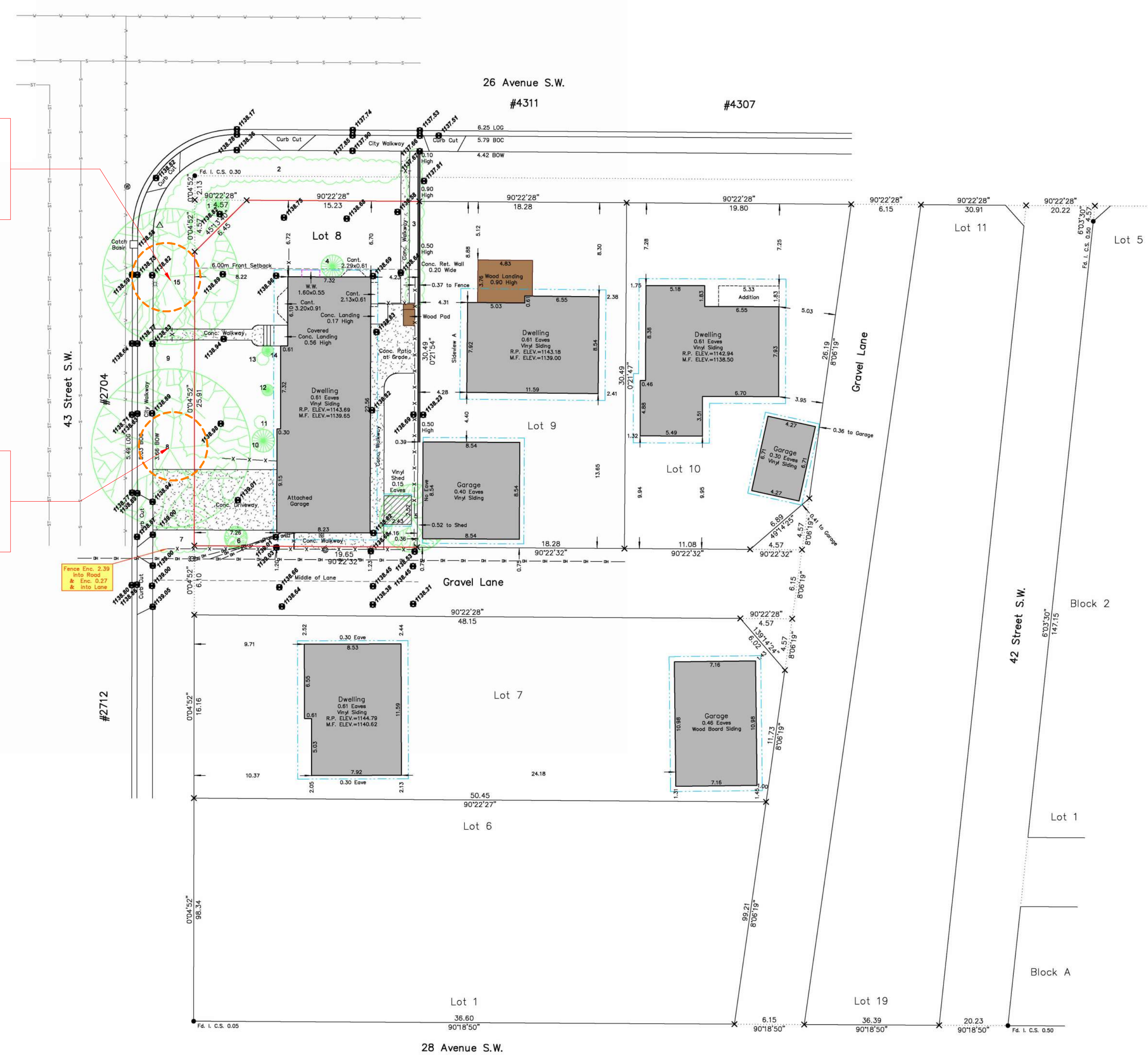
Acc. - Accessory	Calculation points shown thus:	
A/C - Air Conditioner	Elevations shown thus:	
Bldg - Building	Found Iron Posts shown thus:	
BOC - Back of Curb	Fire Hydrants shown thus:	
BOW - Back of Walk	Lamp Standards shown thus:	
Calc. - Calculated	Manholes shown thus:	
CanL - Cantilever	Power Poles shown thus:	
Conc. - Concrete	Street Signs shown thus:	
DH - Drill Hole	Countersunk	
Enc. - Encroaches	Gas Meter shown thus:	
ELEV. - Elevation	Water Valve shown thus:	
Fd. - Found	Gas Valve shown thus:	
L - Lip of Gutter	Right of Ways shown thus:	
LOG - Lip of Gutter	Covers shown thus:	
M.A. - Maintenance Access	Fences shown thus:	
M.F. - Main Floor	Overhead Lines shown thus:	
Mk. - Mark	Gasline shown thus:	
O.D. - Overland Drainage	Sanitaryline shown thus:	
Ret. - Retaining	Stormline shown thus:	
R.P. - Roof Peak	Waterline shown thus:	
R/W - Right of Way		
W/O - Walkout Basement		
W.W. - Window Well		

Coniferous Tree Deciduous Tree

This plan represents the best information at the time of survey
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All underground installations should be located by the respective authorities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

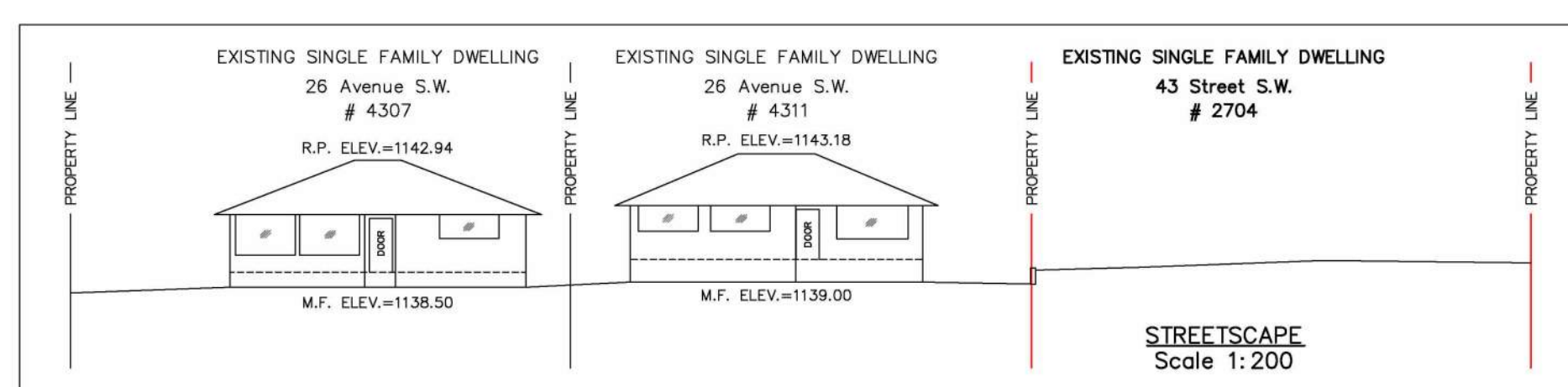
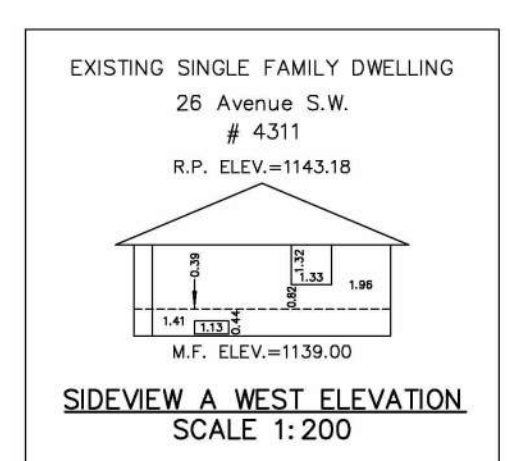
Tree Schedule

Tree	Type	Ø	Spread	Height
1	Coniferous	0.10	2.00	4.00
2	Bush	---	2.00	2.00
3	Bush	---	1.50	2.00
4	Coniferous	0.10	2.00	2.50
5	Deciduous	0.30	6.00	10.00
6	Deciduous	0.10	2.00	3.00
7	Bush	---	2.00	2.50
8	Deciduous	0.45	8.00	14.00
9	Bush	---	2.00	2.00
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11	Bush	---	1.00	1.50
12	Coniferous	0.05	1.00	2.50
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Size at Maturity: LARGE
Maintained by: CALGARY PARKS
Tree ID #: T-32035770
EXISTING TREE TO REMAIN



EXISTING BLOCK PLAN
1:250

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SURVEYS LTD.
2819A Centre Street N.W.
Calgary, Alberta T2E 2V7
Phone: 403-837-8599
E-mail: office@zoomsurveys.ca
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DEVELOPMENT PERMIT PLAN

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MUNICIPAL ADDRESS: 2704 43 Street S.W.
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DATE OF SURVEY: August 18th, 2025.

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All eaves are measured to fascia unless otherwise shown.
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LEGEND:

Acc. - Accessory	Calculation points shown thus:	X
A/C - Air Conditioner	Elevations shown thus:	⊙
Bldg - Building	Found Iron Posts shown thus:	⊙
B/C - Back of Curb	Fire Hydrants shown thus:	⊙
B/W - Back of Walk	Lamp Standards shown thus:	⊙
Calc. - Calculated	Manholes shown thus:	⊙
Can't. - Cantilever	Power Poles shown thus:	⊙
Conc. - Concrete	Street Signs shown thus:	⊙
C.S. - Countersunk	Electrical Meter shown thus:	⊙
DH - Drill Hole	Gas Meter shown thus:	⊙
Exc. - Excavations	Water Valve shown thus:	⊙
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W.W. - Window Well		

Coniferous Tree Deciduous Tree

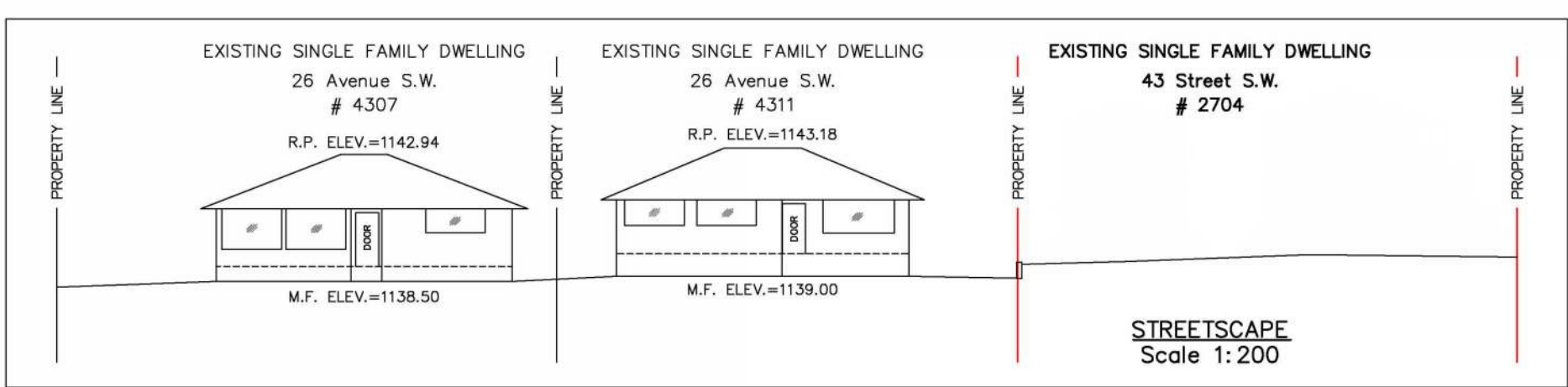
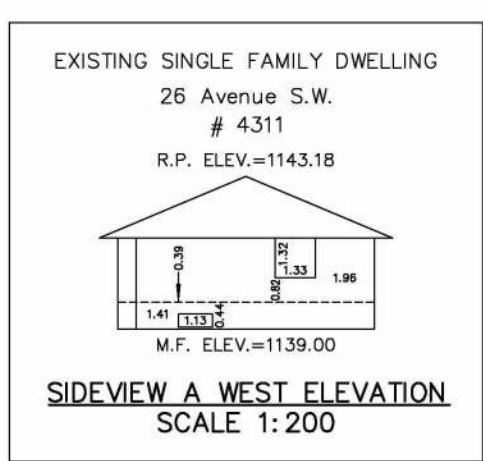
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CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

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3	Bush	---	1.50	2.00
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5	Deciduous	0.30	6.00	10.00
6	Deciduous	0.10	2.00	3.00
7	Bush	---	2.00	2.50
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PROPOSED BLOCK PLAN
1:250

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Job: 25-0603 | Surveyed: DN | Drawn: WH | Checked by: AB

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REVISIONS

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1	IFDP	05/12/2025

PROPOSED BLOCK PLAN

SCALE: As indicated

A1.4

DATE: 2025-12-05
DRAWN BY: MR

ELEVATION TAG	
TAG	NOTE
1	DECORATIVE WINDOW MOLDING
2	EXTERIOR LIGHT
3	DECORATIVE SMARTBOARD TRIM. COLOR: BEIGE
4	ASPHALT SHINGLES. COLOR: DARK GRAY
5	RAILING
6	LAMINATE VENEER



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 720 28 ST. N.E. UNIT #128 CALGARY, AB
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REVISIONS

No. Description YY-MM-DD

1 IFDP 05/12/2025

BLDG A - NORTH ELEVATION

SCALE: 3/8" = 1'-0"

A3.1

DATE: 2025-12-05

DRAWN BY: MR

MAXIMUM HEIGHT = 12m



1 BLDG A - NORTH ELEVATION
 3/8" = 1'-0"

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TAG	NOTE
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3	DECORATIVE SMARTBOARD TRIM. COLOR: BEIGE
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5	RAILING
6	LAMINATE VENEER



1 BLDG A - SOUTH ELEVATION
3/8" = 1'-0"

TABLE 9.10.15.4
(GLAZED OPENINGS IN EXPOSING BUILDING FACE)

LIMITING DISTANCE	2.5m
BUILDING FACE	1357.00 SF (126.06 sq.m)
TOTAL GLAZING AREA	113.80 SF (10.6 sq. m)
GLAZING %	8%
MAX AGG. AREA OF GLAZED OPENING	8%

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BLDG A - EAST & WEST ELEVATION

SCALE: 3/8" = 1'-0"

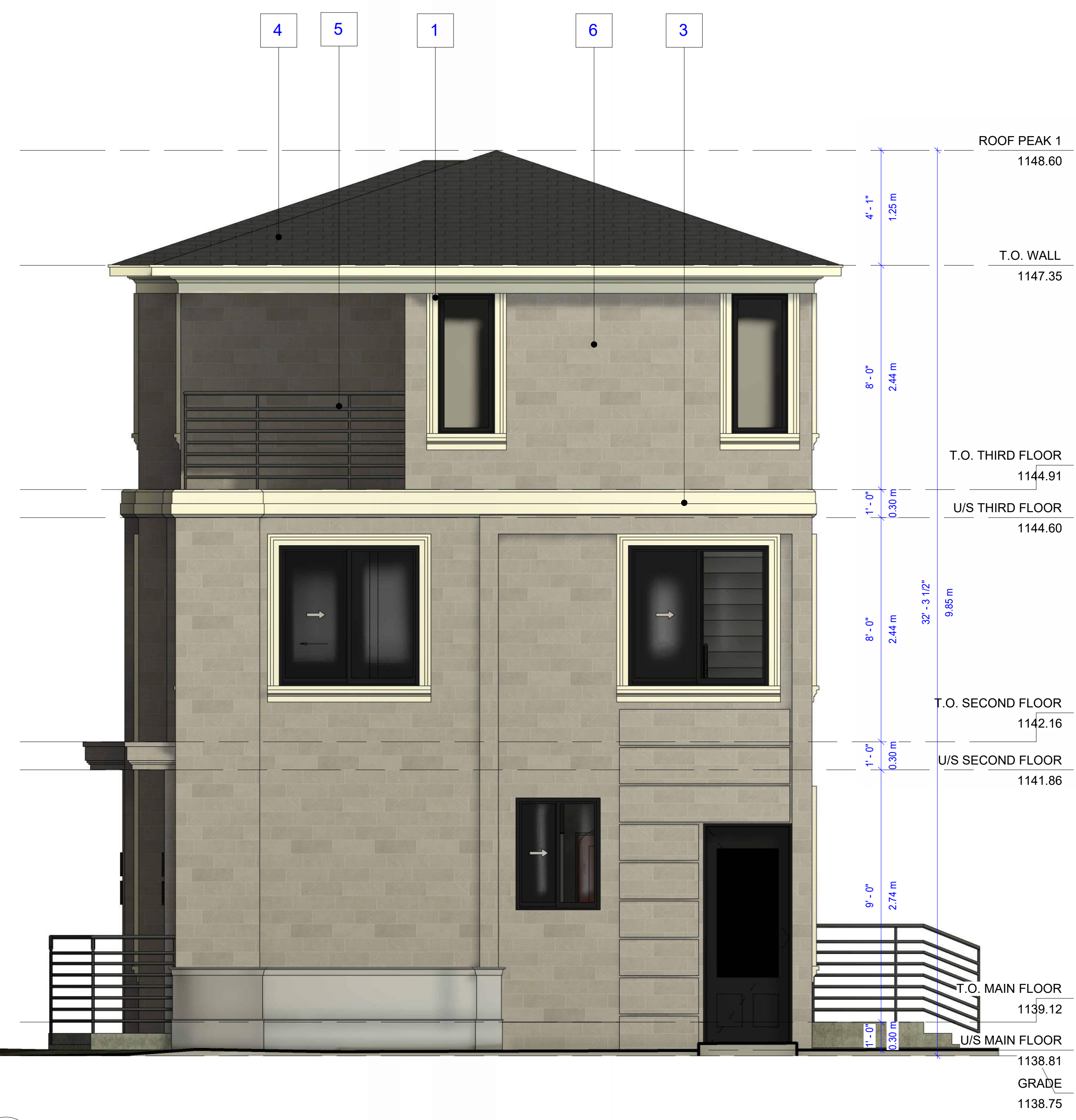
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TAG	NOTE
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3	DECORATIVE SMARTBOARD TRIM. COLOR: BEIGE
4	ASPHALT SHINGLES. COLOR: DARK GRAY
5	RAILING
6	LAMINATE VENEER

MAXIMUM HEIGHT = 12m



1 BLDG A - EAST ELEVATION
 3/8" = 1'-0"

MAXIMUM HEIGHT = 12m



2 BLDG A - WEST ELEVATION
 3/8" = 1'-0"

TABLE 9.10.15.4
 (GLAZED OPENINGS IN EXPOSING BUILDING FACE)

LIMITING DISTANCE	1.2m
BUILDING FACE 'A'	480.88 SF (44.67 sq.m)
TOTAL GLAZING AREA	32.00 SF (2.97 sq. m)
GLAZING %	6.7%
MAX AGG. AREA OF GLAZED OPENING	7%
LIMITING DISTANCE	2.86m
BUILDING FACE 'B'	177.00 SF (16.44 sq.m)
TOTAL GLAZING AREA	21.05 SF (1.96 sq. m)
GLAZING %	11.8%
MAX AGG. AREA OF GLAZED OPENING	12%

ELEVATION TAG	
TAG	NOTE
1	DECORATIVE WINDOW MOLDING
2	EXTERIOR LIGHT
3	DECORATIVE SMARTBOARD TRIM. COLOR: BEIGE
4	ASPHALT SHINGLES. COLOR: DARK GRAY
5	RAILING
6	LAMINATE VENEER



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PROPOSED CLUSTER HOUSING
 2704 43 STREET S.W.
 CALGARY, ALBERTA

REVISIONS	
No.	Description
1	IFDP

BLDG B - NORTH ELEVATION

SCALE: 3/8" = 1'-0"

A3.4

DATE: 2025-12-05

DRAWN BY: MR



1 BLDG B - NORTH ELEVATION
 3/8" = 1'-0"

TABLE 9.10.15.4
 (GLAZED OPENINGS IN EXPOSING BUILDING FACE)

LIMITING DISTANCE	4.0m
BUILDING FACE	1417.60 SF (131.70 sq.m)
TOTAL GLAZING AREA	170.00 SF (15.9 sq. m)
GLAZING %	12%
MAX AGG. AREA OF GLAZED OPENING	12%

ELEVATION TAG	
TAG	NOTE
1	DECORATIVE WINDOW MOLDING
2	EXTERIOR LIGHT
3	DECORATIVE SMARTBOARD TRIM. COLOR: BEIGE
4	ASPHALT SHINGLES. COLOR: DARK GRAY
5	RAILING
6	LAMINATE VENEER



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PROPOSED CLUSTER HOUSING
 2704 43 STREET S.W.
 CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS

No.	Description	YY-MM-DD
1	IFDP	05/12/2025

BLDG B - SOUTH ELEVATION

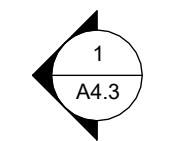
SCALE: 3/8" = 1'-0"

A3.5

DATE: 2025-12-05

DRAWN BY: MR

MAXIMUM HEIGHT = 12m



ROOF PEAK 2
1149.38

T.O. WALL
1147.35

T.O. THIRD FLOOR
1144.91

U/S THIRD FLOOR
1144.60

T.O. SECOND FLOOR
1142.16

U/S SECOND FLOOR
1141.86

T.O. MAIN FLOOR
1139.12

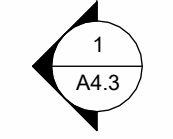
U/S MAIN FLOOR
1138.81

GRADE
1138.75

6'-8" 2.04 m
8'-0" 2.44 m
1'-0" 0.30 m
34'-10 1/2" 10.63 m
8'-0" 2.44 m
1'-0" 0.30 m
26'-3" 8.00 m
10'-0" 3.05 m

45.00°

1 BLDG B - SOUTH ELEVATION
3/8" = 1'-0"



ELEVATION TAG	
TAG	NOTE
1	DECORATIVE WINDOW MOLDING
2	EXTERIOR LIGHT
3	DECORATIVE SMARTBOARD TRIM. COLOR: BEIGE
4	ASPHALT SHINGLES. COLOR: DARK GRAY
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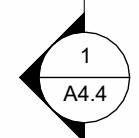
PROJECT NO.		R25050
REVISIONS		
No.	Description	YY-MM-DD
1	IFDP	05/12/2025

BLDG B -EAST
 ELEVATION
 SCALE: 3/8" = 1'-0"

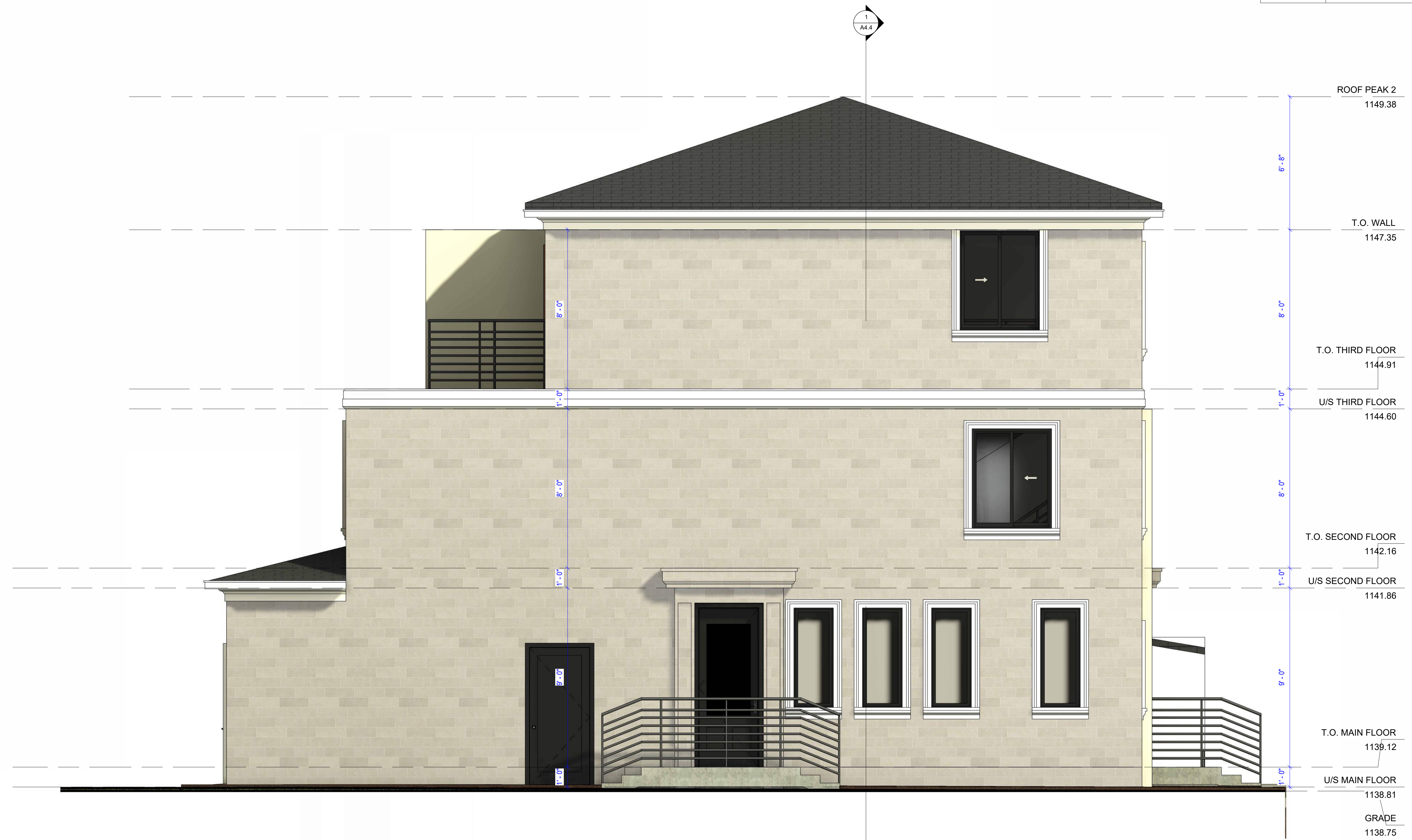
A3.6
 DATE: 2025-12-05
 DRAWN BY: MR



1 BLDG B -EAST ELEVATION
 3/8" = 1'-0"



ELEVATION TAG	
TAG	NOTE
1	DECORATIVE WINDOW MOLDING
2	EXTERIOR LIGHT
3	DECORATIVE SMARTBOARD TRIM. COLOR: BEIGE
4	ASPHALT SHINGLES. COLOR: DARK GRAY
5	RAILING
6	LAMINATE VENEER



1 BLDG B- WEST ELEVATION
3/8" = 1'-0"

TABLE 9.10.15.4
(GLAZED OPENINGS IN EXPOSING BUILDING FACE)

LIMITING DISTANCE	1.2m
BUILDING FACE	1117.00 SF (103.77 sq.m)
TOTAL GLAZING AREA	80.00 SF (7.43 sq. m)
GLAZING %	7%
MAX AGG. AREA OF GLAZED OPENING	7%

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PROPOSED CLUSTER HOUSING
2704 43 STREET S.W.
CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS	No.	Description	YY-MM-DD
	1	IFDP	05/12/2025

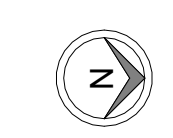
BLDG B - WEST ELEVATION

SCALE: 3/8" = 1'-0"

A3.7

DATE: 2025-12-05

DRAWN BY: MR



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2704 43 STREET S.W.
CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS
No. Description YY-MM-DD

1	IFDP	05/12/2025

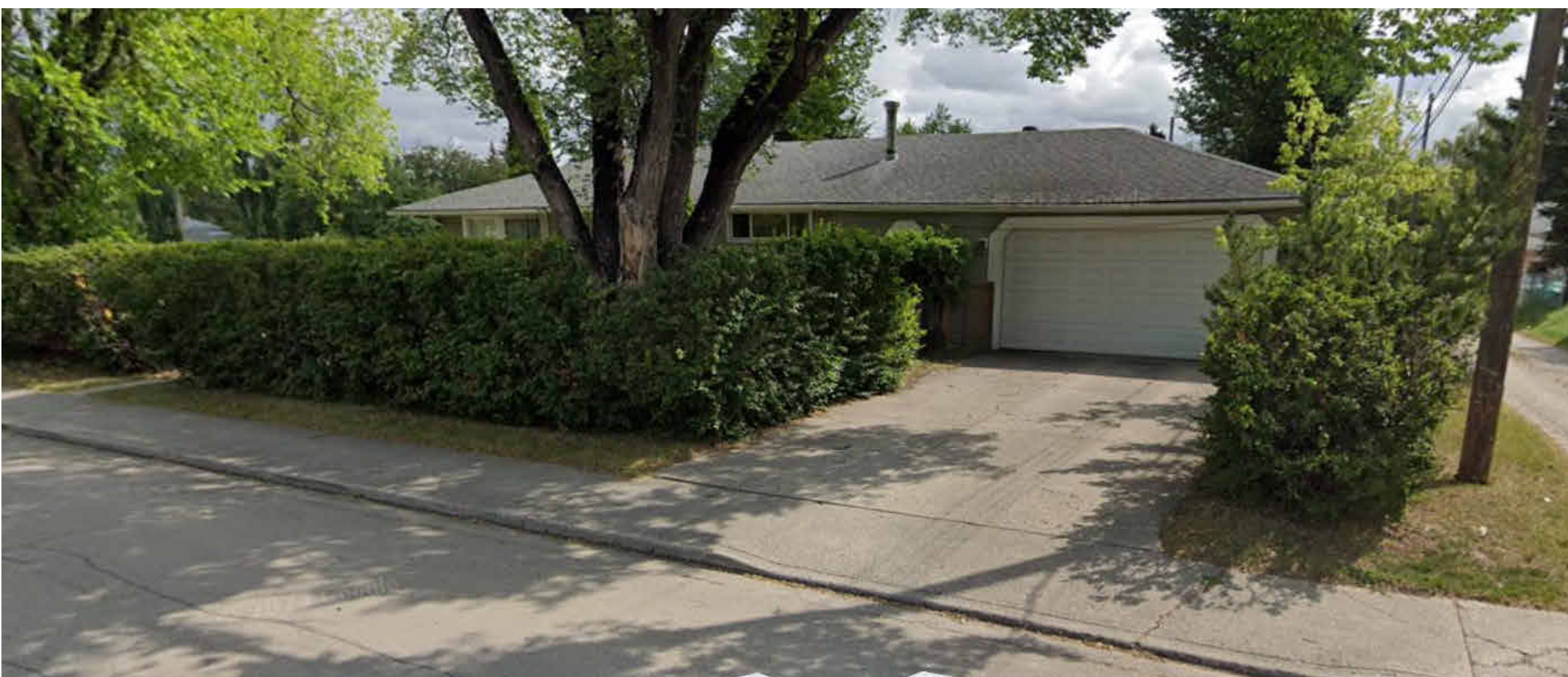
SITE PHOTOS

SCALE:

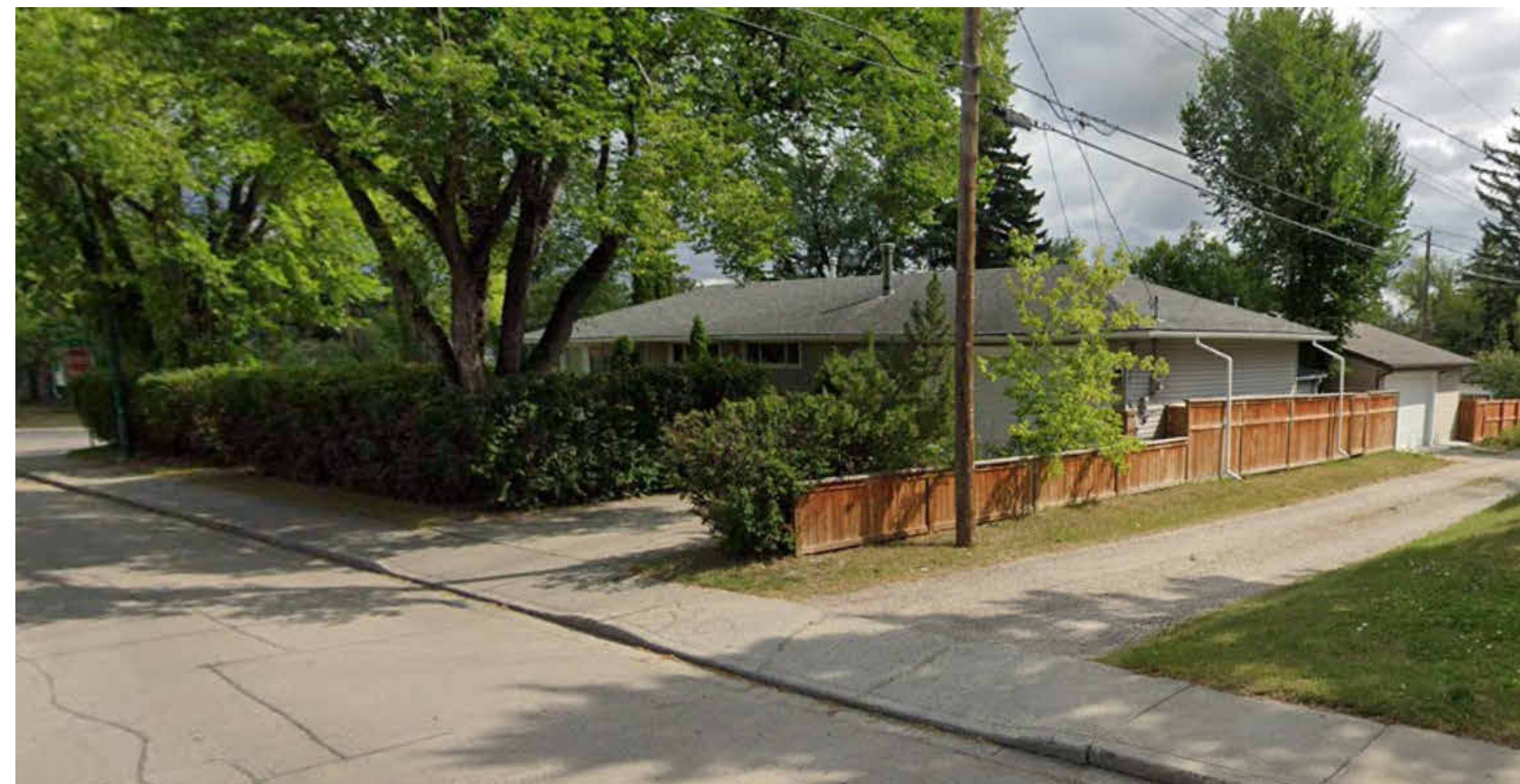
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DATE: 2025-12-05

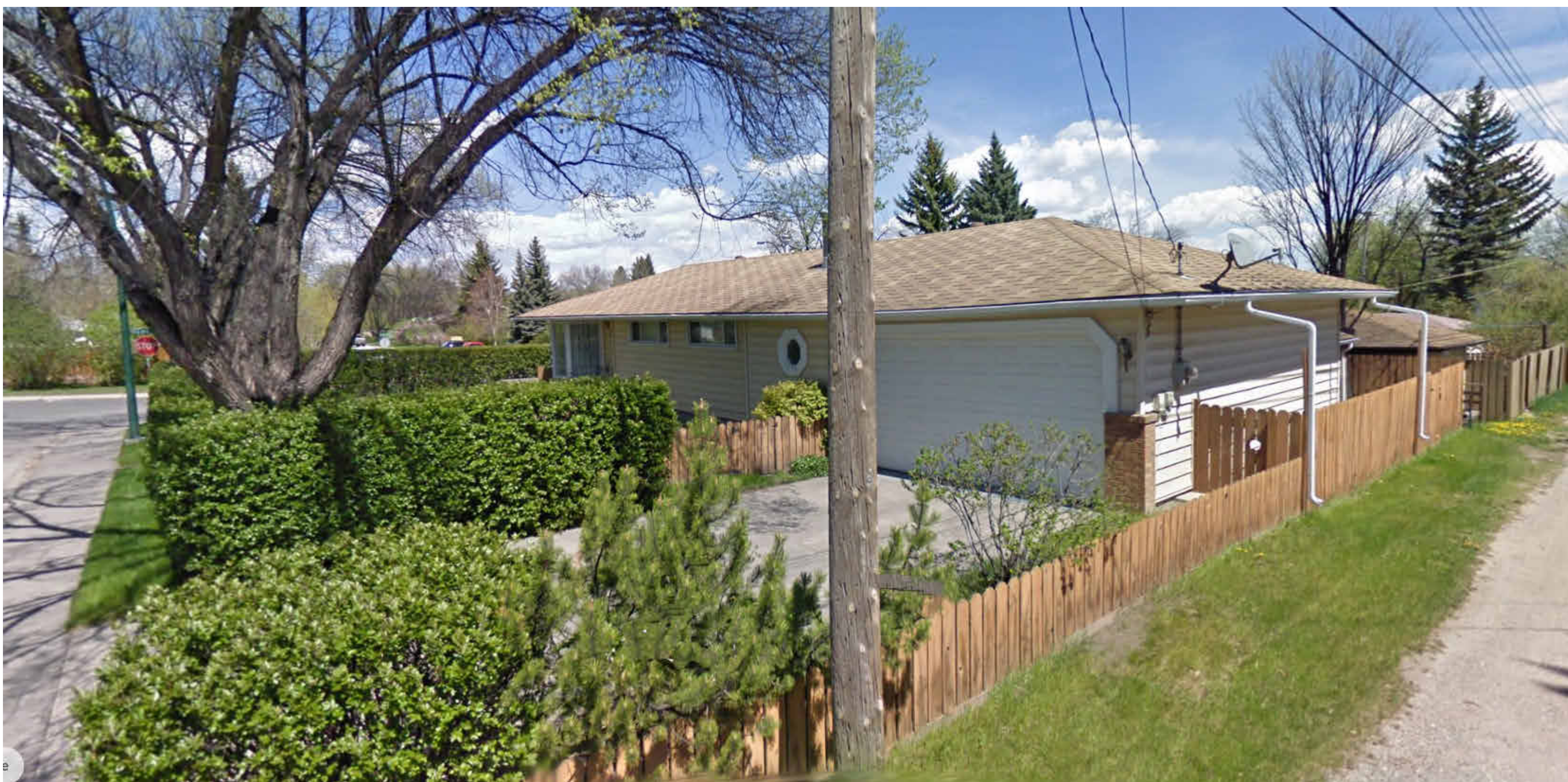
DRAWN BY: MR



1 VIEW FROM 43 STREET S.W.



2 VIEW FROM 43 STREET S.W. AND THE GRAVEL LANE



3 SOUTH VIEW FROM LANE



4 NORTH VIEW FROM 26 AVE S.W.