



PROPOSED CLUSTER HOUSING

2704 43 STREET S.W.

CALGARY, ALBERTA

RE-ISSUED FOR DEVELOPMENT PERMIT
MARCH 30 , 2026

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AMENDED DRAWINGS
 DP No: DP2025-07103
 Date Received: 03 30 2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

TRUE NORTH

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PROPOSED CLUSTER HOUSING

PROJECT NO.	R25050
REVISIONS	
No. Description	YY-MM-DD
1 IFDP	05/12/2025

COVER

SCALE:

A0.0

DATE: 2024-09-09

DRAWN BY: MR



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 720 28 ST. N.E. UNIT #102 CALGARY, AB
 CONSULTANT



1 3D View 2



2 3D View 5

SEAL
AMENDED DRAWINGS
DP No Date Received
DP2025-07103 03 30 2026
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PROPOSED CLUSTER HOUSING
2704 43 STREET S.W.
CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS	No.	Description	YY-MM-DD
	1	IFDP	05/12/2025

3D VIEWS

SCALE:

A0.1

DATE: 2025-12-05

DRAWN BY: MR

SEAL

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PROPOSED CLUSTER HOUSING
2704 43 STREET S.W.
CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS		
No.	Description	YY-MM-DD
1	IFDP	05/12/2025

3D VIEWS

SCALE:

A0.2

DATE: 2025-12-05

DRAWN BY: MR



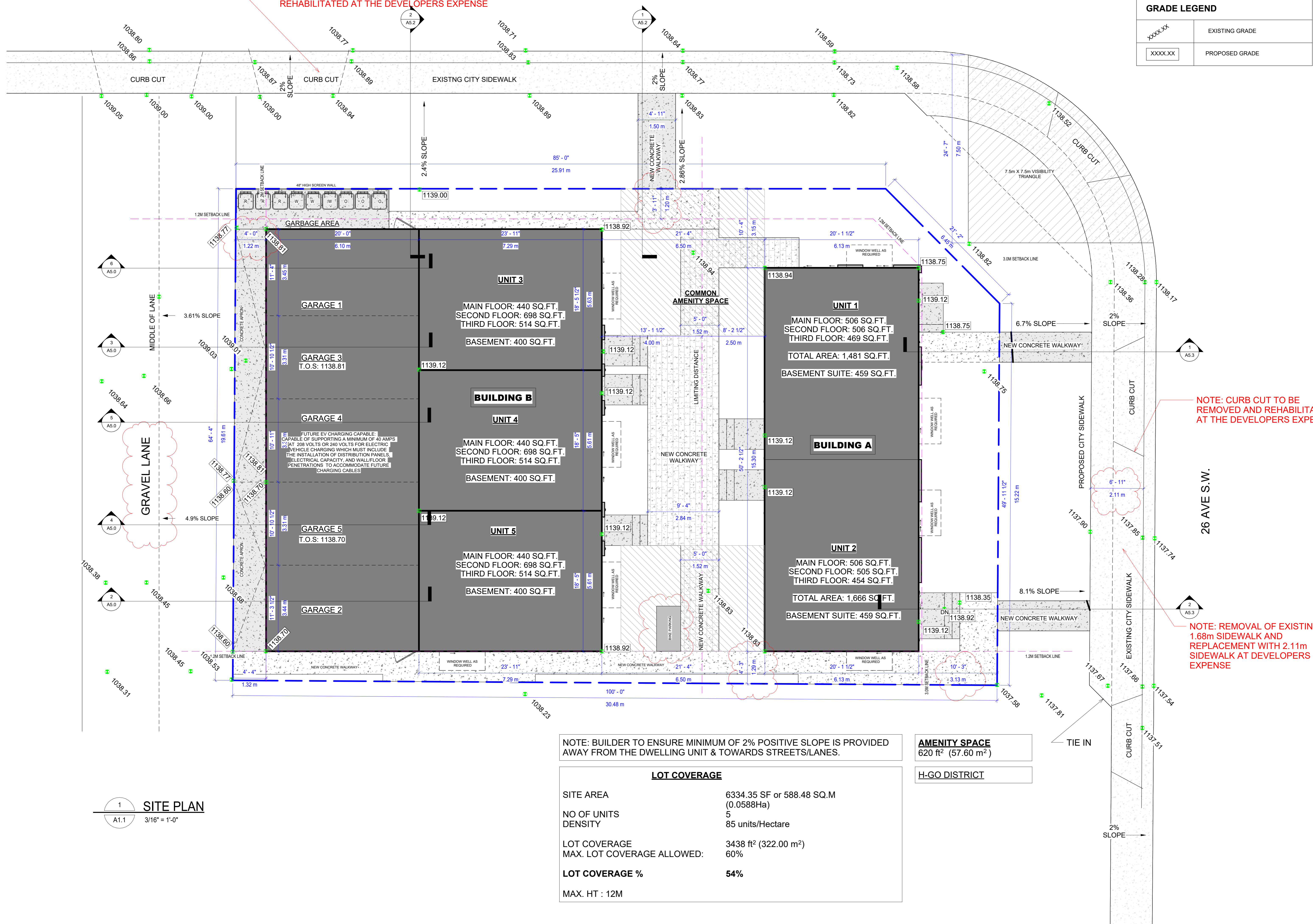
1 3D View 4

NOTE: CURB CUT TO BE REMOVED AND REHABILITATED AT THE DEVELOPERS EXPENSE

43 ST S.W.

GRADE LEGEND	
XXXX.XX	EXISTING GRADE
XXXX.XX	PROPOSED GRADE

AMENDED DRAWINGS
DP No: DP2025-07103 Date Received: 03 30 2026
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NOTE: CURB CUT TO BE REMOVED AND REHABILITATED AT THE DEVELOPERS EXPENSE

NOTE: REMOVAL OF EXISTING 1.68m SIDEWALK AND REPLACEMENT WITH 2.11m SIDEWALK AT DEVELOPERS EXPENSE

NOTE: BUILDER TO ENSURE MINIMUM OF 2% POSITIVE SLOPE IS PROVIDED AWAY FROM THE DWELLING UNIT & TOWARDS STREETS/LANES.

AMENITY SPACE
620 ft² (57.60 m²)

H-GO DISTRICT

LOT COVERAGE

SITE AREA	6334.35 SF or 588.48 SQ.M (0.0588Ha)
NO OF UNITS	5
DENSITY	85 units/Hectare
LOT COVERAGE	3438 ft ² (322.00 m ²)
MAX. LOT COVERAGE ALLOWED:	60%
LOT COVERAGE %	54%
MAX. HT :	12M

1 SITE PLAN
A1.1 3/16" = 1'-0"

TRUE NORTH

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PROPOSED CLUSTER HOUSING
2704 43 STREET S.W.
CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS	No.	Description	YY-MM-DD
1	IFDP		05/12/2025

SITE PLAN
SCALE: 3/16" = 1'-0"

A1.1
DATE: 2025-12-05
DRAWN BY: MR

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CALGARY, ALBERTA

PROJECT NO. R25050

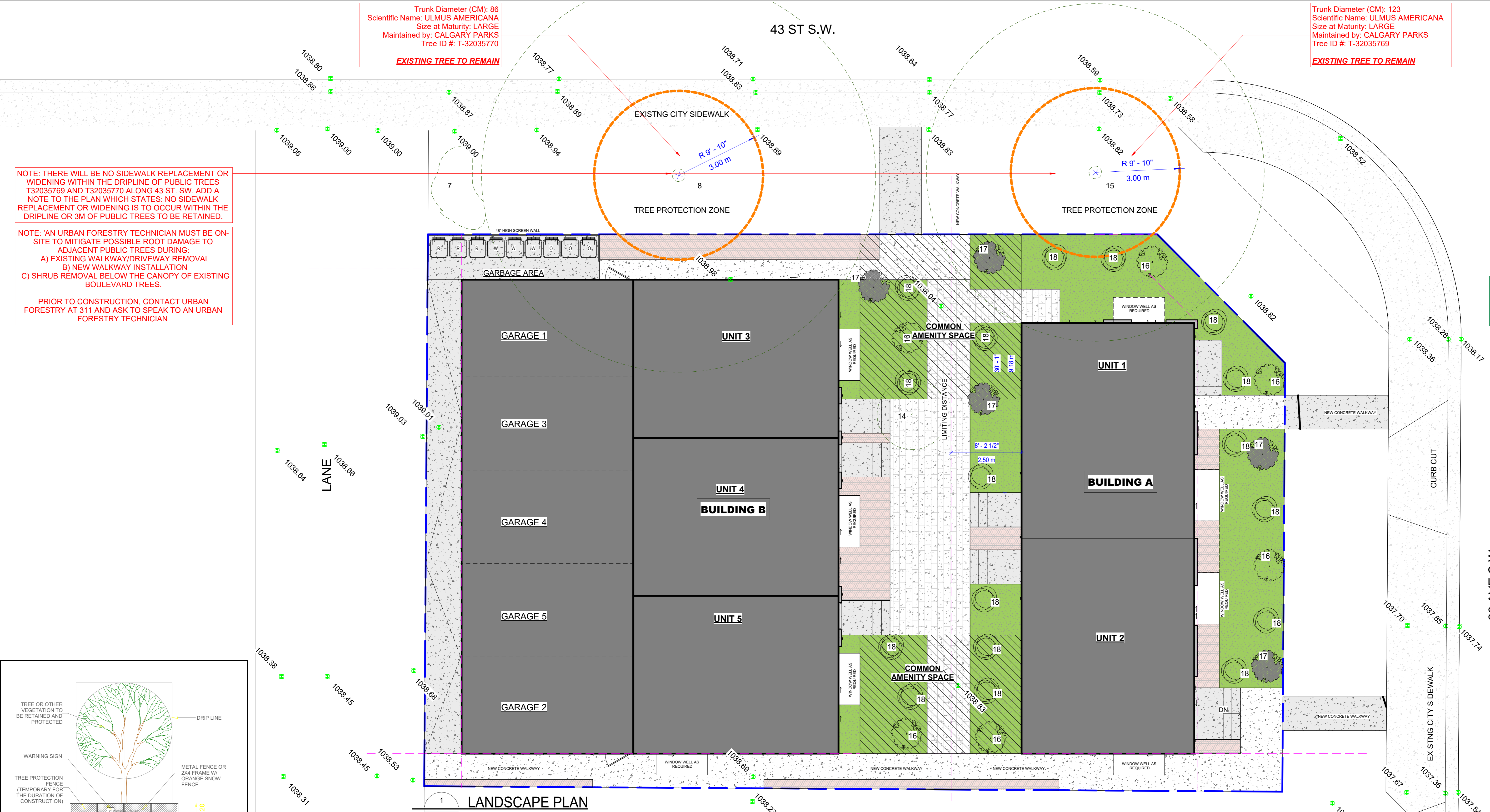
REVISIONS	No.	Description	YY-MM-DD
1	IFDP		05/12/2025

LANDSCAPING PLAN

SCALE: As indicated

A1.2

DATE: 2025-12-05
DRAWN BY: MR



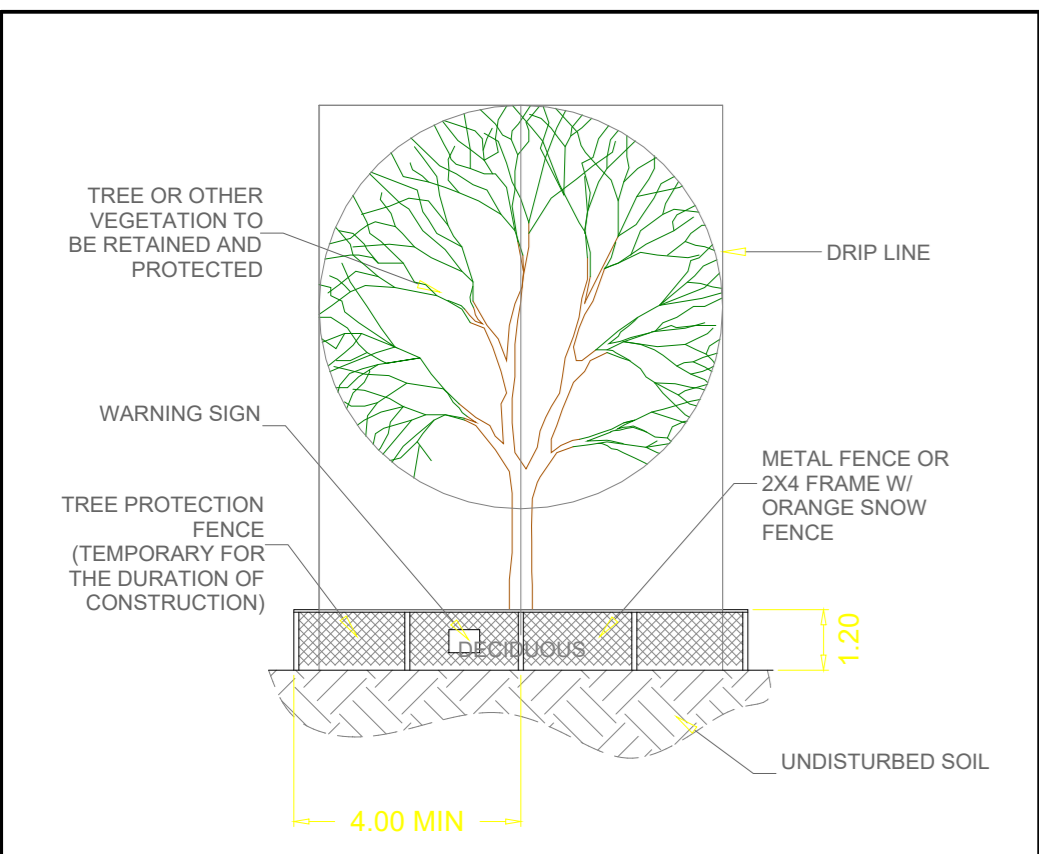
Trunk Diameter (CM): 86
Scientific Name: ULMUS AMERICANA
Size at Maturity: LARGE
Maintained by: CALGARY PARKS
Tree ID #: T-32035770
EXISTING TREE TO REMAIN

Trunk Diameter (CM): 123
Scientific Name: ULMUS AMERICANA
Size at Maturity: LARGE
Maintained by: CALGARY PARKS
Tree ID #: T-32035769
EXISTING TREE TO REMAIN

NOTE: THERE WILL BE NO SIDEWALK REPLACEMENT OR WIDENING WITHIN THE DRIPLINE OF PUBLIC TREES T32035769 AND T32035770 ALONG 43 ST. SW. ADD A NOTE TO THE PLAN WHICH STATES: NO SIDEWALK REPLACEMENT OR WIDENING IS TO OCCUR WITHIN THE DRIPLINE OR 3M OF PUBLIC TREES TO BE RETAINED.

NOTE: AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE TO MITIGATE POSSIBLE ROOT DAMAGE TO ADJACENT PUBLIC TREES DURING:
A) EXISTING WALKWAY/DRIVEWAY REMOVAL
B) NEW WALKWAY INSTALLATION
C) SHRUB REMOVAL BELOW THE CANOPY OF EXISTING BOULEVARD TREES.

PRIOR TO CONSTRUCTION, CONTACT URBAN FORESTRY AT 311 AND ASK TO SPEAK TO AN URBAN FORESTRY TECHNICIAN.



TREE PROTECTION ZONE DETAIL
SCALE: N.T.S.

- EXISTING TREES TO BE PROTECTED FROM CONSTRUCTION WITH THE INSTALLATION OF A 1200mm (4'-0") HIGH SNOW FENCE HELD IN PLACE WITH 1800mm (6'-0") T-BARS.
- THE BARRIER IS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION & MUST REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED.
- ALL SUPPORT & BRACING SHOULD BE INSIDE THE TREE PROTECTION ZONE. ALL SUCH SUPPORTS SHOULD MINIMIZE DAMAGING ROOTS IN THE TREE PROTECTION ZONE.
- NO CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT, OR EXCAVATION OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- NO MOVEMENT OF EQUIPMENT, STORAGE OF SUPPLIES, CLEANING OF EQUIPMENT, OR DUMPING OF SOLVENTS, GASOLINE, ETC. MAY OCCUR WITHIN THE FENCE LINE.
- WHERE HIGH QUALITY SPECIMENS OCCUR ADJACENT TO AREA SUBJECTED TO INTENSIVE CONSTRUCTION ACTIVITY, WOODEN CRIBBING SHOULD BE INSTALLED TO PROTECT TRUNKS FROM DAMAGE IN THE EVENT THAT HEAVY EQUIPMENT BREAKS DOWN THE SNOW FENCING. FENCE TO BE INSPECTED BY ENVIRONMENTAL CONSULTANT ON A REGULAR BASIS AND BE MAINTAINED BY THE BUILDER.

TREE PROTECTION ZONE DETAIL
1" = 10'-0"

LANDSCAPE PLAN
A3.1 3/16" = 1'-0"

TREE SCHEDULE						
Tree No	Tree Type	Trunk Diameter	Spread	Height	Location	
1	Coniferous	0.10	2.00	4.00	In City Boulevard	Retain
2	Bush	-----	2.00	2.00	In City Boulevard	Trim
3	Bush	-----	1.50	2.00	In Subject Property	Trim
4	Coniferous	0.10	2.00	2.50	In Subject Property	Remove
5	Deciduous	0.30	6.00	10.00	In Subject Property	Remove
6	Deciduous	0.10	2.00	3.00	In Subject Property	Remove
7	Bush	-----	2.00	2.50	In City Boulevard	Trim
8	Deciduous	0.45	8.00	14.00	In City Boulevard	Trim
9	Bush	-----	2.00	2.00	In City Boulevard	Trim
10	Coniferous	0.05	2.00	2.50	In Subject Property	Remove
11	Bush	-----	1.00	1.50	In Subject Property	Remove
12	Coniferous	0.05	1.00	2.50	In Subject Property	Remove
13	Bush	-----	1.00	1.50	In Subject Property	Remove
14	Coniferous	0.05	1.00	2.50	In Subject Property	Retain
15	Deciduous	0.45	14.00	8.00	In City Boulevard	Retain

PLANTING LEGEND			
	NEW LOW WATER CONIFEROUS TREE 88MM CALIPER 1M CANOPY 4M HEIGHT	COLUMNAR BLUE SPRUCE	6
	NEW LOW WATER DECIDUOUS TREE 88MM CALIPER 1M CANOPY 1M HEIGHT	PRUNUS VIRGINIANA VAR. MELANOCARPA CHOKECHERRY	5
	NEW LOW WATER SHRUB 0.8M CALIPER 0.8M HEIGHT	AMELANCHIER ALNIFOLIA SASKATOON BERRY	17

LOT COVERAGE	
SITE AREA	6334.35 SF or 588.48 SQ.M (0.0588Ha)
NO OF UNITS	5
DENSITY	85 units/Hectare
LOT COVERAGE	3438 SF (322.00 m ²)
MAX LOT COVERAGE ALLOWED:	60%
LOT COVERAGE %	54.00%
TOTAL LANDSCAPED AREA	2,699 SF (41%)
CONCRETE	-872 SF
CONCRETE	-437 SF
STAMPED CONCRETE	= 1,309 SF (50%)
HARD LANDSCAPING	= 1,309 SF (50%)
SOFT LANDSCAPING	= 1,390 SF (50%)
TOTAL LANDSCAPED AREA	= 2,699 SF (41%)
TOTAL LANDSCAPED AREA - 240.51 SQM	
11 TREES AND 12 SHRUBS PROVIDED	

NOTE:
SODDED AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS.

3% REDUCTION FOR LOW WATER IRRIGATION SYSTEM
LOW WATER IRRIGATION SYSTEM IS PROVIDED
IRRIGATION IS CONFINED TO TREES AND SHRUBS
TREES AND SHRUBS ARE LOW WATER

SOD
 MULCH
 NEW CONCRETE WALKWAY
 STAMPED CONCRETE

AMENDED DRAWINGS
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CALGARY, ALBERTA

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REVISIONS

No.	Description	YY-MM-DD
1	IFDP	05/12/2025

PROPOSED BLOCK PLAN

SCALE: 1:250

A1.3

DATE: 2025-12-05

DRAWN BY: MR

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 8 Block 1 Plan 4216HE
MUNICIPAL ADDRESS: 2704 43 Street S.W. Calgary, Alberta
DATE OF SURVEY: August 18th, 2025.

SCALE: 1:200

NOTES:
Elevations are shown thus: (Symbol) = 1000.00 metres. (Geodetic)
Elevations are geodetic and derived from ASCM: 232399 ELEV: 1136.494
All dimensions are ground in metres and decimals thereof unless otherwise shown.
All distances on curves are arc distances.
Bearings are grid (3TM, CM1147) and derived from GNSS Observations.
All fences are within 0.2 metres of the property lines unless otherwise shown.
All areas are measured to fascia unless otherwise shown.
Unless noted otherwise, lines outside of property are not to scale.

LEGEND:

Acc. - Accessory	Calculation points shown thus:	X
A/O - Air Conditioner	Elevations shown thus:	●
Bldg - Building	Found Iron Posts shown thus:	●
BOC - Back of Curb	Fire Hydrants shown thus:	⊕
BOW - Back of Walk	Lamp Standards shown thus:	⊕
Calc. - Calculated	Manholes shown thus:	⊕
CanL - Cantilever	Power Poles shown thus:	⊕
Conc. - Concrete	Street Signs shown thus:	⊕
C.S. - Countersunk	Electrical Meter shown thus:	⊕
DH - Drill Hole	Gas Meter shown thus:	⊕
Enc. - Encroaches	Water Valve shown thus:	⊕
ELEV. - Elevation	Gas Valve shown thus:	⊕
F.d. - Found	Property Lines shown thus:	---
I. - Iron Post	Right of Ways shown thus:	---
LOG - Lip of Gutter	Eaves shown thus:	---
M.A. - Maintenance Access	Fences shown thus:	---
M.F. - Main Floor	Overhead Lines shown thus:	---
Mk. - Mark	Gasline shown thus:	---
O.D. - Overland Drainage	Sanitaryline shown thus:	---
Ret. - Retaining	Stormline shown thus:	---
R.P. - Roof Peak	Waterline are shown thus:	---
R/W - Right of Way		
W/O - Walkout Basement		
W.W. - Window Well		

Coniferous Tree: (Symbol)
Deciduous Tree: (Symbol)

This plan represents the best information at the time of survey
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All underground installations should be located by the respective authorities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

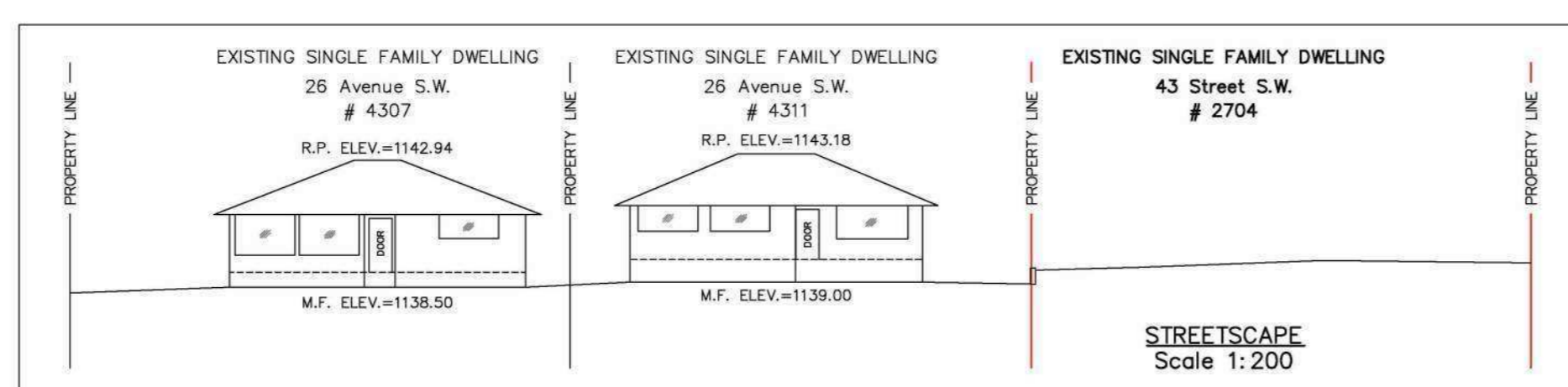
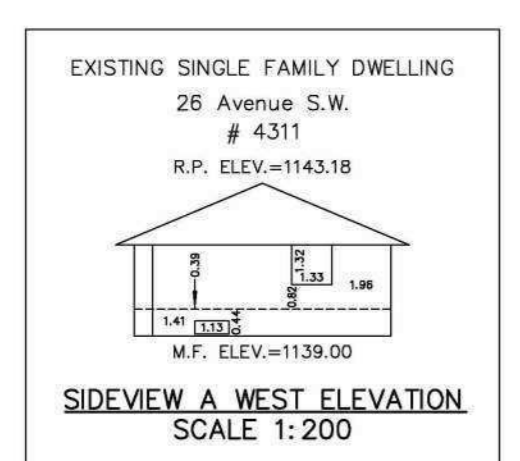
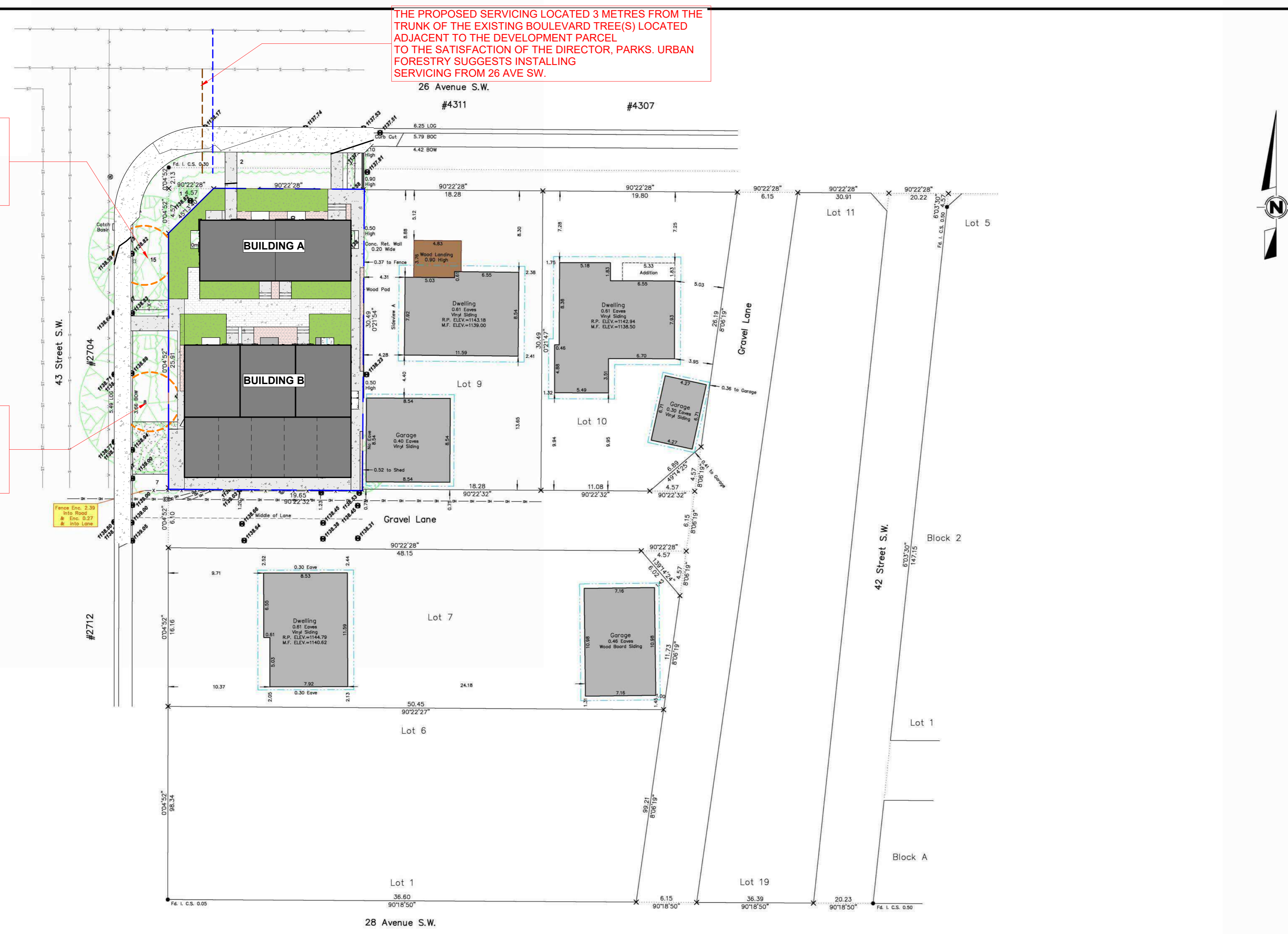
Tree Schedule

Tree	Type	Ø	Spread	Height
1	Coniferous	0.10	2.00	4.00
2	Bush	---	2.00	2.00
3	Bush	---	1.50	2.00
4	Coniferous	0.10	2.00	2.50
5	Deciduous	0.30	6.00	10.00
6	Deciduous	0.10	2.00	3.00
7	Bush	---	2.00	2.50
8	Deciduous	0.45	8.00	14.00
9	Bush	---	2.00	2.00
10	Coniferous	0.05	2.00	2.50
11	Bush	---	1.00	1.50
12	Coniferous	0.05	1.00	2.50
13	Bush	---	1.00	1.50
14	Coniferous	0.05	1.00	2.50
15	Deciduous	0.45	14.00	8.00

THE PROPOSED SERVICING LOCATED 3 METRES FROM THE TRUNK OF THE EXISTING BOULEVARD TREE(S) LOCATED ADJACENT TO THE DEVELOPMENT PARCEL TO THE SATISFACTION OF THE DIRECTOR, PARKS, URBAN FORESTRY SUGGESTS INSTALLING SERVICING FROM 26 AVE SW.

Trunk Diameter (CM): 123
Scientific Name: ULMUS AMERICANA
Size at Maturity: LARGE
Maintained by: CALGARY PARKS
Tree ID #: T-32035769
EXISTING TREE TO REMAIN

Trunk Diameter (CM): 86
Scientific Name: ULMUS AMERICANA
Size at Maturity: LARGE
Maintained by: CALGARY PARKS
Tree ID #: T-32035770
EXISTING TREE TO REMAIN



ZOOM
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2819A Centre Street N.W.
Calgary, Alberta T2C 2V7
Phone: 403-837-8599
E-mail: office@zoomsurveys.ca
Website: www.zoomsurveys.ca
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Job: 25-0603 Surveyed: DN | Drawn: VJ | Checked by: AB

EXISTING BLOCK PLAN
1:250

SEAL
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REVISIONS

No.	Description	YY-MM-DD
1	IFDP	05/12/2025

EXISTING BLOCK PLAN

SCALE: As indicated

A1.4

DATE: 2025-12-05

DRAWN BY: MR

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: Lot 8
Block 1
Plan 4216HE

MUNICIPAL ADDRESS: 2704 43 Street S.W.
Calgary, Alberta

DATE OF SURVEY: August 18th, 2025.

SCALE: 1:200

NOTES:

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All eaves are measured to fascia unless otherwise shown.
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LEGEND:

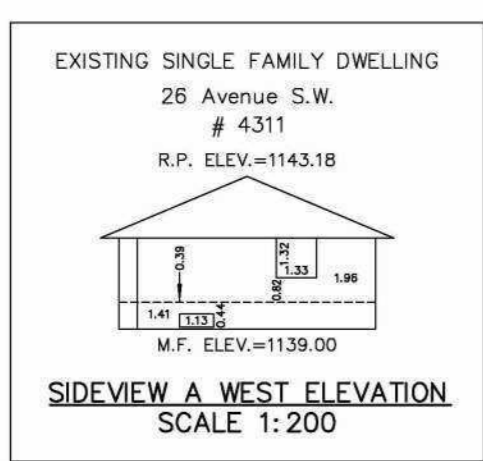
Acc. - Accessory	Calculation points shown thus:	X
A/C - Air Conditioner	Elevations shown thus:	⊙
Bldg - Building	Found Iron Posts shown thus:	⊙
BOC - Back of Curb	Fire Hydrants shown thus:	⊙
BOW - Back of Walk	Lamp Standards shown thus:	⊙
Calc. - Calculated	Manholes shown thus:	⊙
Cont. - Cantilever	Power Poles shown thus:	⊙
Conc. - Concrete	Street Signs shown thus:	⊙
C.S. - Countersunk	Electrical Meter shown thus:	⊙
DH - Drill Hole	Gas Meter shown thus:	⊙
Exc. - Excavates	Water Valve shown thus:	⊙
ELEV. - Elevation	Gas Valve shown thus:	⊙
Fd. - Found	Property Lines shown thus:	—
I. - Iron Post	Right of Way shown thus:	—
LOG - Lip of Gutter	Eaves shown thus:	—
M.A. - Maintenance Access	Fences shown thus:	—
M.F. - Main Floor	Overhead Lines shown thus:	—
Mk. - Mark	Gaslines shown thus:	—
O.D. - Overland Drainage	Sanitarylines shown thus:	—
Ret. - Retaining	Stormline shown thus:	—
R.P. - Roof Peak	Waterline shown thus:	—
R/W - Right of Way		
W/D - Walkout Basement		
W.W. - Window Well		

Coniferous Tree Deciduous Tree

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shown on or omitted from this plan.
All underground installations should be located by the respective
utilities prior to construction.
CALL UTILITY SAFETY PARTNERS: 1-800-242-3477

Tree Schedule

Tree	Type	φ	Spread	Height
1	Coniferous	0.10	2.00	4.00
2	Bush	---	2.00	2.00
3	Bush	---	1.50	2.00
4	Coniferous	0.10	2.00	2.50
5	Deciduous	0.30	6.00	10.00
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11	Bush	---	1.00	1.50
12	Coniferous	0.05	1.00	2.50
13	Bush	---	1.00	1.50
14	Coniferous	0.05	1.00	2.50
15	Deciduous	0.45	14.00	8.00



PROPOSED BLOCK PLAN
1:250

ZOOM SURVEYS LTD.
2819A Centre Street N.W.
Calgary, Alberta T2E 2V7
Phone: 403-837-8999
E-mail: office@zoomsurveys.ca
Website: www.zoomsurveys.ca
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Job: 25-0603 | Surveyed: ON | Drawn: WH | Checked by: AB

ELEVATION TAG	
TAG	NOTE
1	STONE VENEER
2	BOARD & BATTEN: CHARCOAL GREY
3	ACRYLIC STUCCO: OFF WHITE
4	ASPHALT SHINGLES. COLOR: BLACK
5	ALUMINUM RAILING
6	HARDIEBOARD LAP SIDING - BLACK

SEAL
AMENDED DRAWINGS
DP No. Date Received
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PROPOSED CLUSTER HOUSING
2704 43 STREET S.W.
CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS

No.	Description	YY-MM-DD
1	IFDP	05/12/2025

BLDG A - NORTH ELEVATION

SCALE: 3/8" = 1'-0"

A3.1

DATE: 2025-12-05
DRAWN BY: MR

MAXIMUM HEIGHT = 12m



1 BLDG A - NORTH ELEVATION
3/8" = 1'-0"

WINDOW WELLS AS REQUIRED

SEAL
AMENDED DRAWINGS
DP No Date Received
DP2025-07103 03 30 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

TRUE NORTH

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PROPOSED CLUSTER HOUSING
2704 43 STREET S.W.
CALGARY, ALBERTA

PROJECT NO.	R25050
REVISIONS	
No. Description	YY-MM-DD
1 IFDP	05/12/2025

BLDG A - SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

A3.2

DATE: 2025-12-05
DRAWN BY: MR

ELEVATION TAG	
TAG	NOTE
1	STONE VENEER
2	BOARD & BATTEN: CHARCOAL GREY
3	ACRYLIC STUCCO: OFF WHITE
4	ASPHALT SHINGLES. COLOR: BLACK
5	ALUMINUM RAILING
6	HARDIEBOARD LAP SIDING - BLACK



1 BLDG A - SOUTH ELEVATION
3/8" = 1'-0"

TABLE 9.10.15.4
(GLAZED OPENINGS IN EXPOSING BUILDING FACE)

LIMITING DISTANCE	2.5m
BUILDING FACE	1355.00 SF (125.88 sq.m)
TOTAL GLAZING AREA	112.00 SF (10.4 sq. m)
GLAZING %	8%
MAX AGG. AREA OF GLAZED OPENING	8%

AMENDED DRAWINGS
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CALGARY, ALBERTA

PROJECT NO.	R25050
REVISIONS	
No. Description	YY-MM-DD
1 IFDP	05/12/2025

BLDG A - EAST & WEST ELEVATION
SCALE: 3/8" = 1'-0"

A3.3
DATE: 2025-12-05
DRAWN BY: MR

ELEVATION TAG	
TAG	NOTE
1	STONE VENEER
2	BOARD & BATTEN: CHARCOAL GREY
3	ACRYLIC STUCCO: OFF WHITE
4	ASPHALT SHINGLES. COLOR: BLACK
5	ALUMINUM RAILING
6	HARDIEBOARD LAP SIDING - BLACK



1 BLDG A - EAST ELEVATION
3/8" = 1'-0"



2 BLDG A - WEST ELEVATION
3/8" = 1'-0"

TABLE 9.10.15.4
(GLAZED OPENINGS IN EXPOSING BUILDING FACE)

LIMITING DISTANCE	1.2m
BUILDING FACE 'A'	513.00 SF (47.66 sq.m)
TOTAL GLAZING AREA	29.00 SF (2.69 sq. m)
GLAZING %	5.6%
MAX AGG. AREA OF GLAZED OPENING	7%
LIMITING DISTANCE	3.94m
BUILDING FACE 'B'	43.00 SF (4.00 sq.m)
TOTAL GLAZING AREA	0.00 SF (0.00 sq. m)
GLAZING %	0.0%
MAX AGG. AREA OF GLAZED OPENING	12%

ELEVATION TAG	
TAG	NOTE
1	STONE VENEER
2	BOARD & BATTEN: CHARCOAL GREY
3	ACRYLIC STUCCO: OFF WHITE
4	ASPHALT SHINGLES. COLOR: BLACK
5	ALUMINUM RAILING
6	HARDIEBOARD LAP SIDING - BLACK



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 CONSULTANT

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1 BLDG B - NORTH ELEVATION
 3/8" = 1'-0"

TABLE 9.10.15.4
 (GLAZED OPENINGS IN EXPOSING BUILDING FACE)

LIMITING DISTANCE	4.0m
BUILDING FACE	1580.00 SF (146.79 sq.m)
TOTAL GLAZING AREA	187.00 SF (17.37 sq. m)
GLAZING %	12%
MAX AGG. AREA OF GLAZED OPENING	12%

TRUE NORTH

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PROPOSED CLUSTER HOUSING
 2704 43 STREET S.W.
 CALGARY, ALBERTA

PROJECT NO. R25050

REVISIONS	No.	Description	YY-MM-DD
1	IFDP	05/12/2025	

BLDG B - NORTH ELEVATION

SCALE: 3/8" = 1'-0"

A3.4

DATE: 2025-12-05
 DRAWN BY: MR

ELEVATION TAG	
TAG	NOTE
1	STONE VENEER
2	BOARD & BATTEN: CHARCOAL GREY
3	ACRYLIC STUCCO: OFF WHITE
4	ASPHALT SHINGLES. COLOR: BLACK
5	ALUMINUM RAILING
6	HARDIEBOARD LAP SIDING - BLACK

SEAL

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REVISIONS	No.	Description	YY-MM-DD
1	IFDP		05/12/2025

BLDG B - SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

A3.5

DATE: 2025-12-05
DRAWN BY: MR

MAXIMUM HEIGHT = 12m



1 BLDG B - SOUTH ELEVATION
3/8" = 1'-0"

ELEVATION TAG	
TAG	NOTE
1	STONE VENEER
2	BOARD & BATTEN: CHARCOAL GREY
3	ACRYLIC STUCCO: OFF WHITE
4	ASPHALT SHINGLES. COLOR: BLACK
5	ALUMINUM RAILING
6	HARDIEBOARD LAP SIDING - BLACK



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 2704 43 STREET S.W.
 CALGARY, ALBERTA

PROJECT NO.	R25050
REVISIONS	
No. Description	YY-MM-DD
1 IFDP	05/12/2025

BLDG B -EAST ELEVATION
 SCALE: 3/8" = 1'-0"

A3.6
 DATE: 2025-12-05
 DRAWN BY: MR



1 BLDG B -EAST ELEVATION
 3/8" = 1'-0"

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PROJECT NO. R25050

REVISIONS	No.	Description	YY-MM-DD
1	IFDP		05/12/2025

BLDG B - WEST ELEVATION

SCALE: 3/8" = 1'-0"

A3.7

DATE: 2025-12-05
DRAWN BY: MR

ELEVATION TAG	
TAG	NOTE
1	STONE VENEER
2	BOARD & BATTEN: CHARCOAL GREY
3	ACRYLIC STUCCO: OFF WHITE
4	ASPHALT SHINGLES. COLOR: BLACK
5	ALUMINUM RAILING
6	HARDIEBOARD LAP SIDING - BLACK



1 BLDG B - WEST ELEVATION
3/8" = 1'-0"

TABLE 9.10.15.4
(GLAZED OPENINGS IN EXPOSING BUILDING FACE)

LIMITING DISTANCE	1.2m
BUILDING FACE	1034.00 SF (96.06 sq.m)
TOTAL GLAZING AREA	73.00 SF (6.78 sq. m)
GLAZING %	7%
MAX AGG. AREA OF GLAZED OPENING	7%

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1	IFDP		05/12/2025

SITE PHOTOS

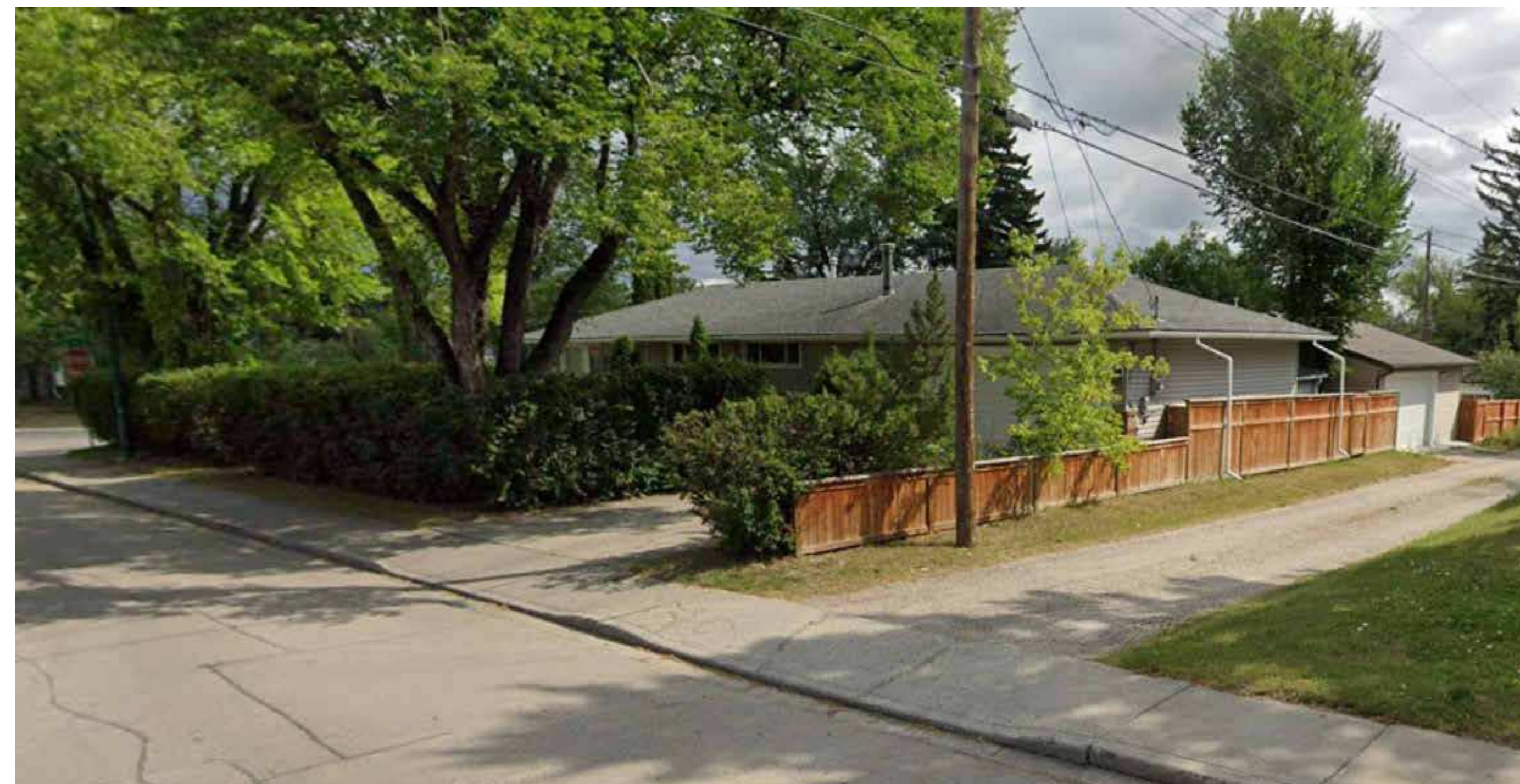
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A6.0

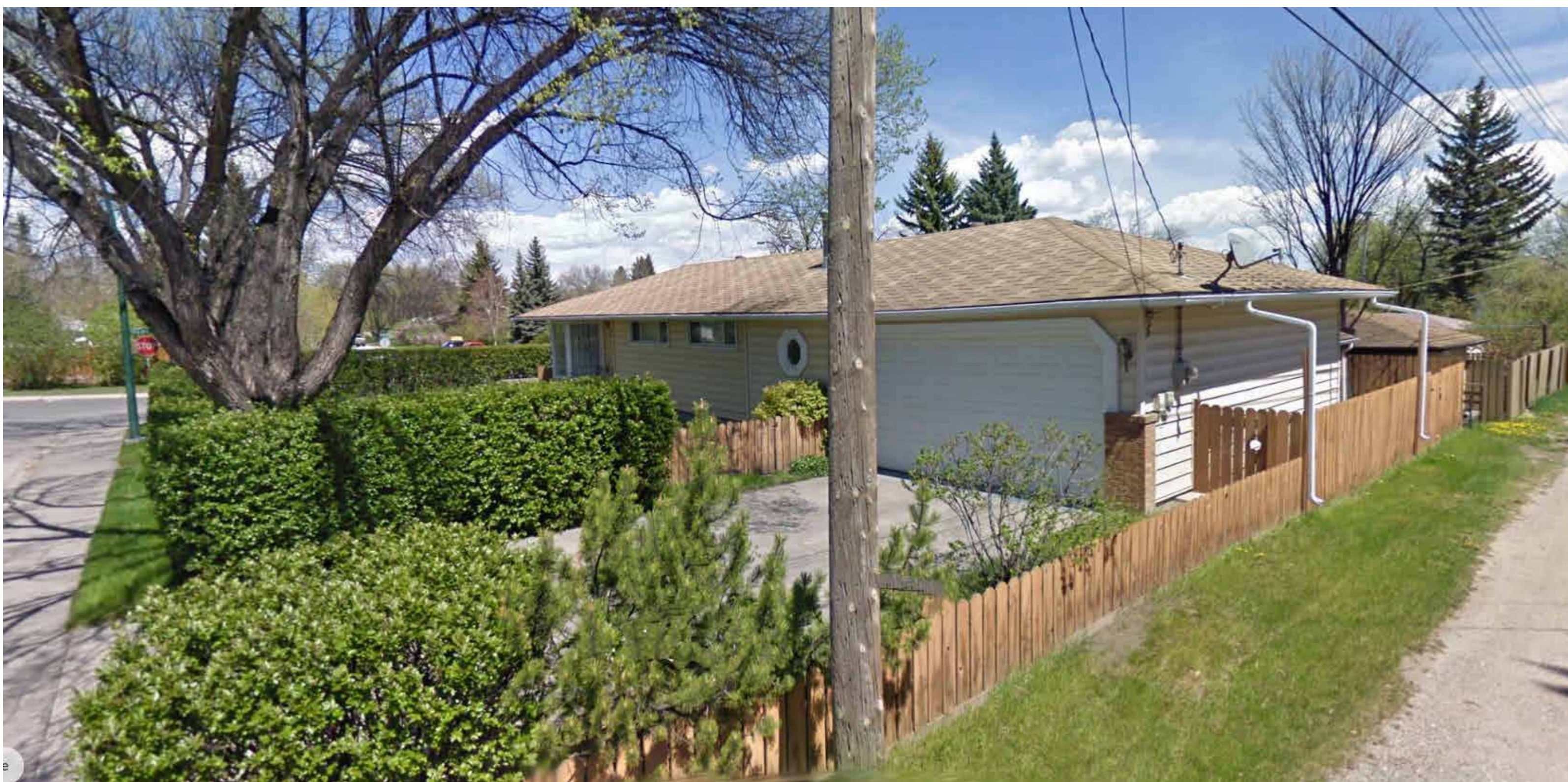
DATE: 2025-12-05
DRAWN BY: MR



1 VIEW FROM 43 STREET S.W.



2 VIEW FROM 43 STREET S.W. AND THE GRAVEL LANE



3 SOUTH VIEW FROM LANE



4 NORTH VIEW FROM 26 AVE S.W.