



Bow Trail. SW

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LANDSCAPE ARCHITECT

STAMPS/SEALS

APARTMENT
 1403 26 St. SW Calgary AB

SITE PLAN & DATA

DRAWN: SP CHECKED: SP

PLOT DATE: 2026-01-15

A1.0
 25-152



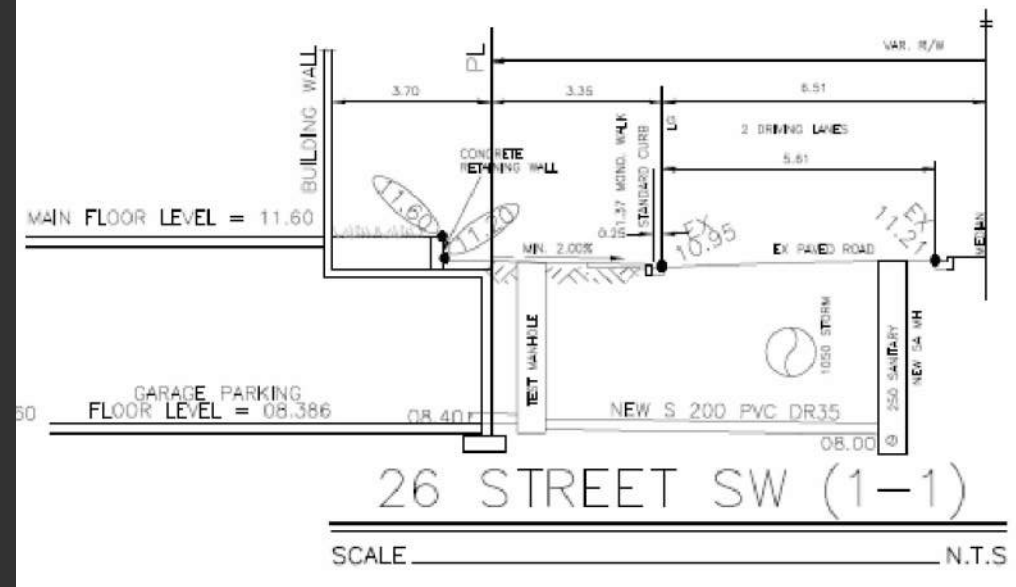
SITE PLAN
 SCALE: 1/16" = 1'-0"



SITE DATA:
LEGAL DESCRIPTION:
 LOT 1, BLOCK A, PLAN 307E0
CIVIL ADDRESS:
 1403 26 St. SW Calgary AB
ZONING:
 M-X2 (MULTI-RESIDENTIAL - MEDIUM PROFILE SUPPORT COMMERCIAL)
SITE AREA: 11,377 SF (1,057 SM)
BLDG AREA: 8,524 SF (791.9 SM)
SITE COVERAGE: 74.9%
G.F.A.:
 MAIN FLOOR: 5,059 SF (470 SM)
 2ND FLOOR: 7,998 SF (743 SM)
 3RD FLOOR: 7,642 SF (710 SM)
 4TH FLOOR: 6,286 SF (584 SM)
 5TH FLOOR: 6,286 SF (584 SM)
TOTAL: 33,271 SF (3,091 SM)
F.A.R.: 2.9
TOTAL APARTMENT UNITS: 40
BLDG. HEIGHT: 51'-8" (15.75 M)
PARKING PROVIDED: 26+3
BICYCLE RACK PROVIDED: 12+10

DRAWING LIST:

- ARCHITECTURAL**
 A1.0 SITE PLAN & DRAWING LIST
 A1.1 BLOCK PLAN / SURVEY
 A2.0 BASEMENT PLAN
 A2.1 MAIN FLOOR PLAN
 A2.2 2ND FLOOR PLAN
 A2.3 3RD FLOOR PLAN
 A2.4 4TH FLOOR PLAN
 A2.5 5TH FLOOR PLAN
 A2.6 ROOF PLAN
 A3.0 EXTERIOR ELEVATIONS
 A3.1 EXTERIOR ELEVATIONS
 A3.2 BUILDING SECTIONS
 A3.3 VEHICLE TURNING PATHS



DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: The North 78.5ft (23.93m) of Lot 1 Block A Plan 307E0
MUNICIPAL ADDRESS: 1403 26 Street S.W. Calgary, Alberta
CLIENT:
DATE OF SURVEY: September 6th, 2017.

LEGEND
 Elevations are shown thus: E = 1000.00 Metres (Geodetic)
 Elevations are referred to ASCM 255248 Elev=1114.91
 Distances are in metres and decimals thereof.
 Bearings are Grid (3TM-114W) and Derived from GNSS Observations.
 Found Iron Posts are shown thus: IP
 Drill Holes are shown thus: DH
 Found Iron Bars are shown thus: IB
 Calculation points are shown thus: CP
 Fire Hydrants are shown thus: FH
 Water Valves are shown thus: WV
 Gas Valves are shown thus: GV
 Power Poles are shown thus: PP
 Manholes are shown thus: MH
 Street Signs are shown thus: SS
 Property lines are shown thus: PL
 Utility Right of Ways are shown thus: URW
 Eaves are shown thus: E
 Fences are shown thus: F
 Stormline are shown thus: SL
 Sanitaryline are shown thus: SL
 Waterline are shown thus: WL
 Gasline are shown thus: GL
 Overhead Electrical lines shown thus: OEL
 All fences are within 0.2 metres of the property lines unless otherwise shown.
 All eaves are measured to fascia unless otherwise shown.
 Unless noted otherwise lines outside of property are not to scale.

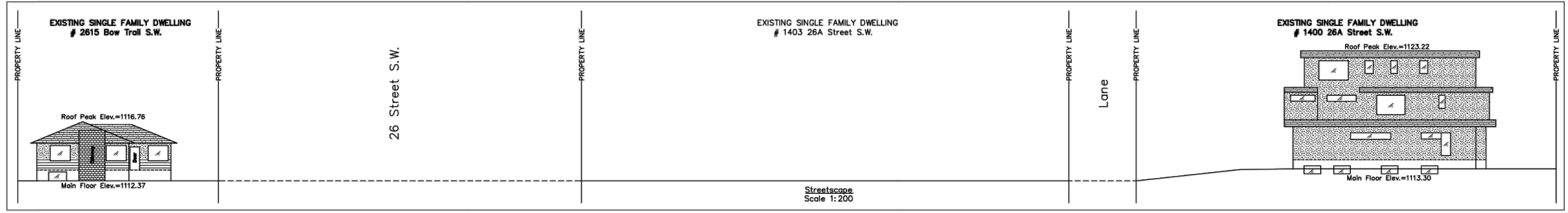
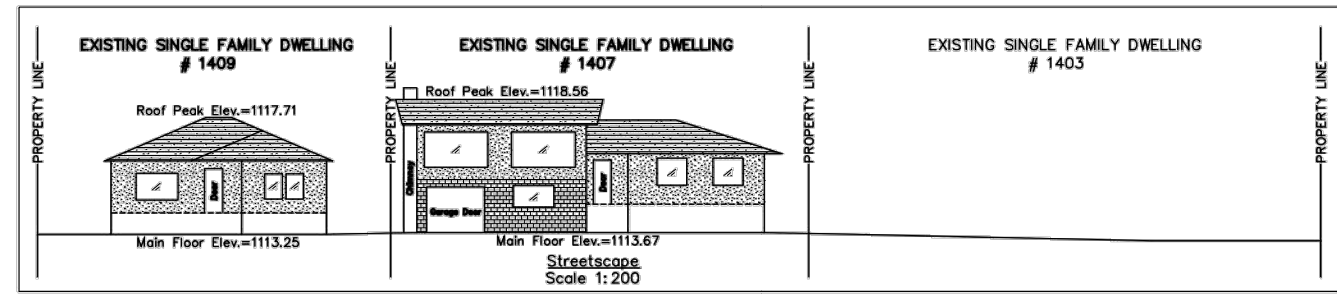
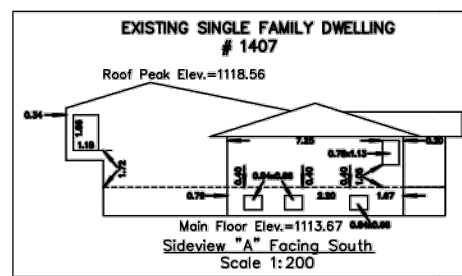
ABBREVIATIONS
 A/C---Air Conditioner
 B/C---Back of Curb
 BOW---Back of Walk
 Calc---Calculated
 Cont---Conteiner
 Conc---Concrete
 C.S---Countersunk
 Enc---Encroaches
 Fd---Found
 I---Iron
 M---Mark
 O.D---Overland Drainage
 Ret---Retaining
 R/W---Right of Way
 W/O---Walkout Basement
 W.W---Window Well

--- denotes Coniferous
 --- denotes Deciduous

This plan represents the best information at the time of survey. Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.
 Call Alberta One-Call: 1-800-242-3447

Tree Schedule

Tree No.	Tree Species	Tree Type	Trunk Dia.	Canopy Dia.	Height
1	Hedge	Deciduous	1.00	1.00	1.00
2	Hedge	Deciduous	2.00	2.50	2.50
3	Spruce	Coniferous	0.25	2.00	9.00
4	Spruce	Coniferous	0.30	4.00	6.00
5	Ash	Deciduous	0.30	4.00	6.00
6	Spruce	Coniferous	0.25	2.00	6.00
7	Ash	Deciduous	0.20	3.00	5.00
8	Spruce	Coniferous	0.20	2.00	6.00
9	Maple	Deciduous	0.60	7.00	8.00
10	Maple	Deciduous	0.30	6.00	6.00
11	Maple	Deciduous	0.30	7.00	8.00
12	Ash	Deciduous	0.30	5.00	8.00
13	Spruce	Coniferous	0.15	3.00	6.00
14	Hedge	Deciduous	2.00	2.00	2.00
15	Birch	Deciduous	0.35	6.00	10.00
16	Crochapple	Deciduous	0.15	2.00	2.20
17	Crochapple	Deciduous	0.15	3.00	2.50
18	Crochapple	Deciduous	0.15	2.00	2.50
19	Crochapple	Deciduous	0.15	2.00	2.50
20	Crochapple	Deciduous	0.15	2.00	2.50
21	Elm Tree	Deciduous	0.15	1.00	3.00
22	Elm Tree	Deciduous	0.15	1.00	3.00



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 Fax: 403-277-1275
 www.arcsurveys.ca

Surveyed: GP Drawn: JW Scale: 1:200 File No: 172333

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LANDSCAPE ARCHITECT

STAMPS/SEALS

APARTMENT
 1403 26 St. SW Calgary AB

BLOCK PLAN/ SURVEY

DRAWN: SP CHECKED: SP

PLOT DATE: 2026-01-15

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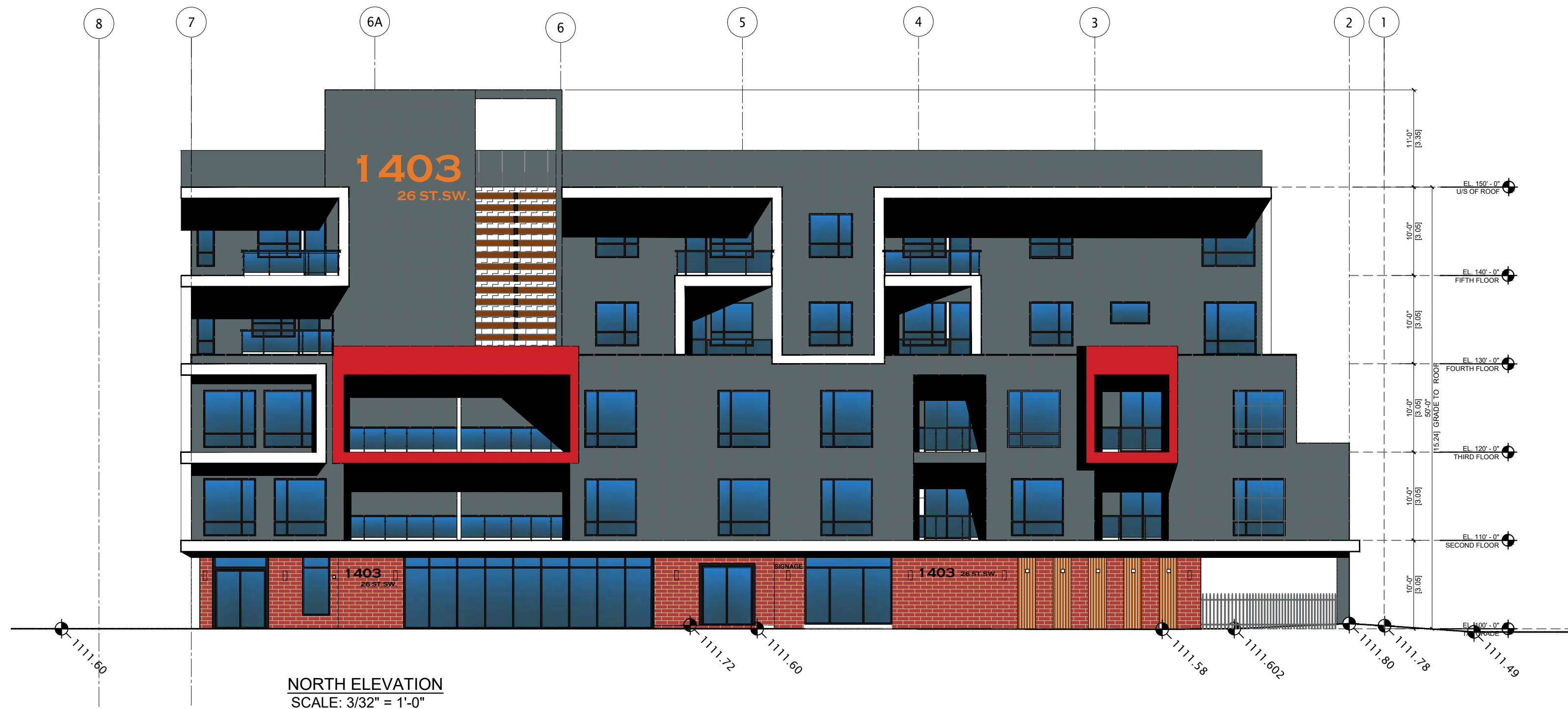
APARTMENT
1403 26 St. SW Calgary AB

EXTERIOR ELEVATIONS

DRAWN: SP CHECKED: SP

PLOT DATE: 2025-11-06

A3.0
25-152





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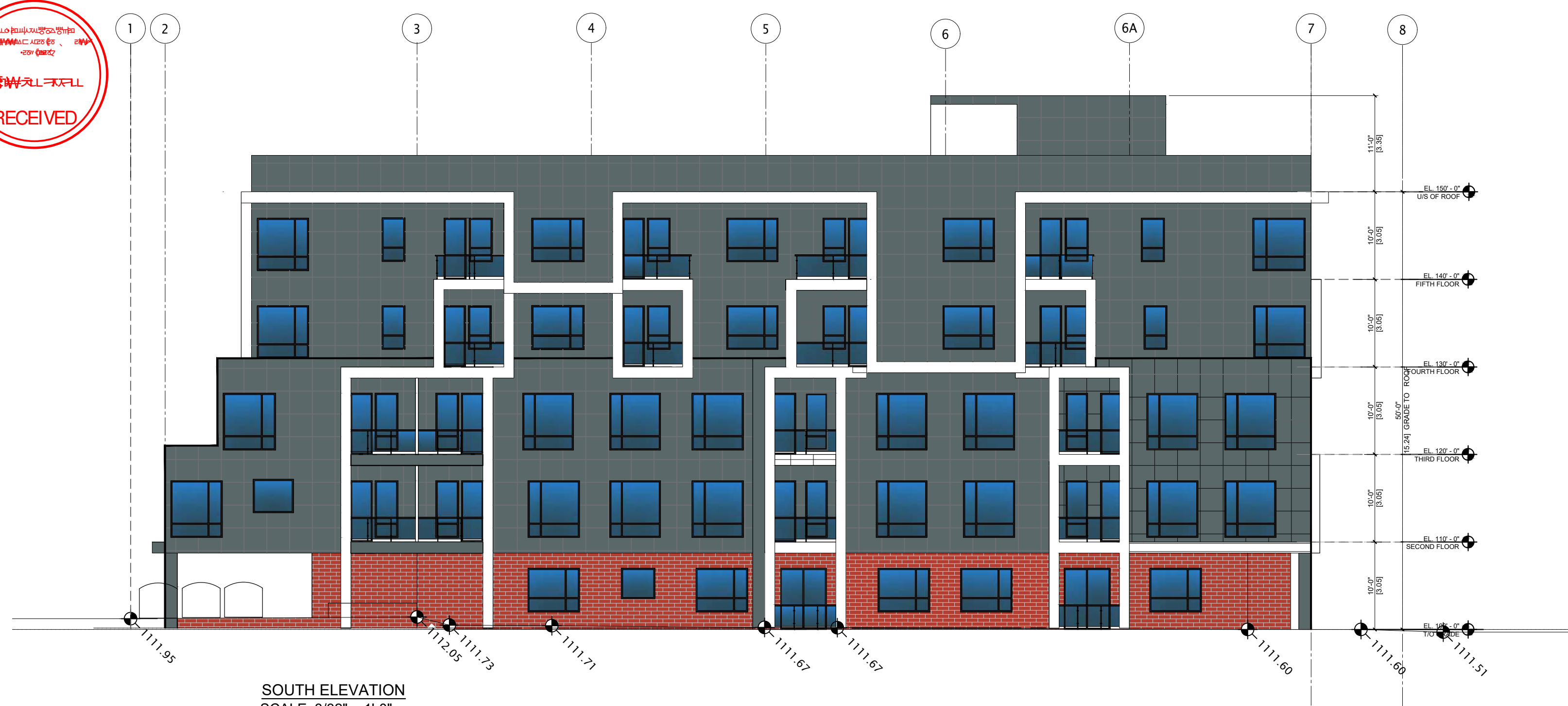
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LANDSCAPE ARCHITECT



SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



EAST ELEVATION
 SCALE: 3/32" = 1'-0"

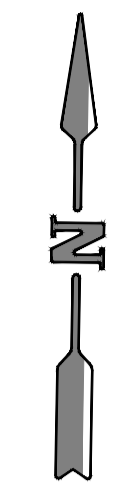
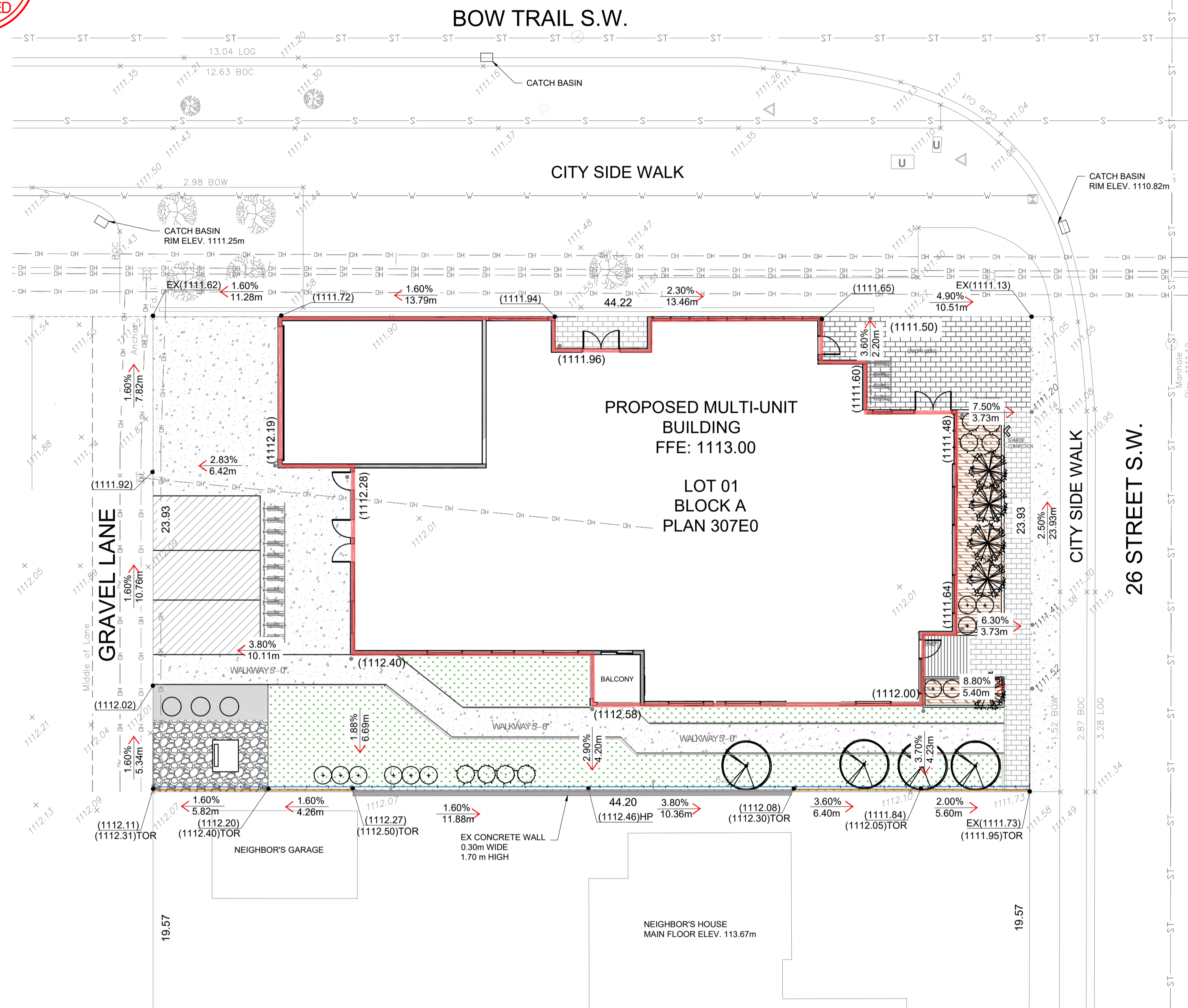
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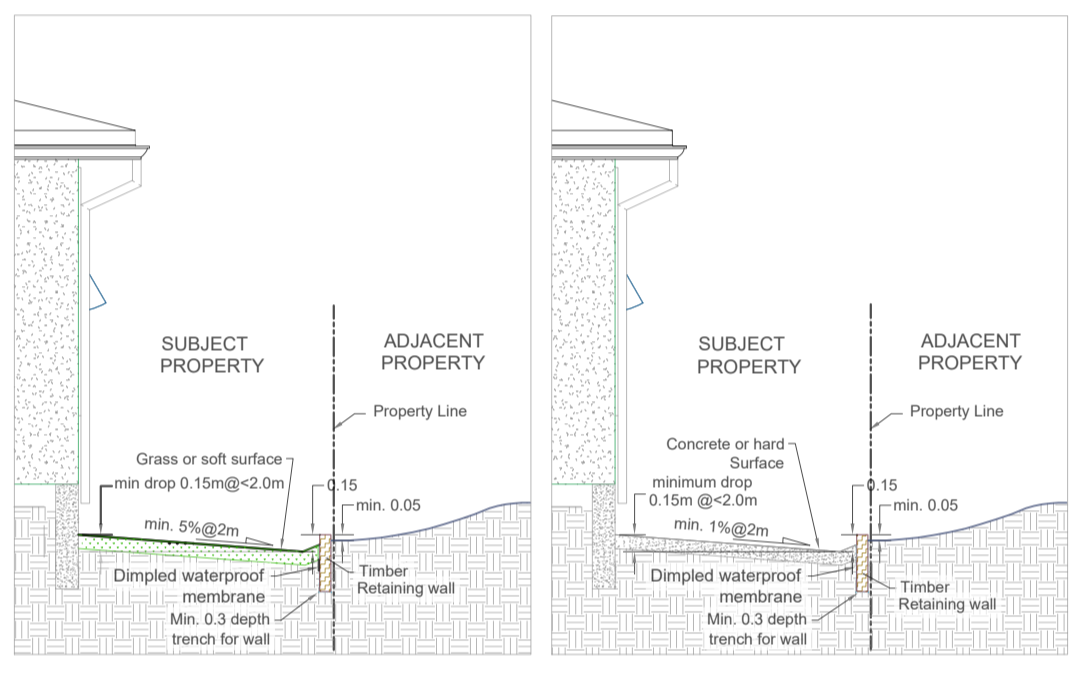
LEGEND

Existing Elevation	000.00
Proposed Elevation	(000.00)
Existing Elevation Reuse	EX(000.00)
Property Line	---
Existing Trees	⊗
Proposed Trees	⊗*
Top Of Retaining Wall	TOR
Traffic Pole	△
Existing Water Main	— —
Existing Sewer Main	— —
Existing Storm Main	— —
Street Light	⊙
Utility Pad/Box	U
Proposed Retaining Wall	— —
Concrete Area	▒
Sod Area	▒
Mulch Area	▒
Paving Area	▒
Proposed Building	— —
Overhead Power Line	— —
Catchbasin	□
Swale	— —

EROSION AND SEDIMENTATION CONTROL
 THE OWNER /DEVELOPER MUST CONFORM TO THE REQUIREMENTS OF THE CITY OF CALGARY EROSION AND SEDIMENTATION CONTROL GUIDELINES AND FIELD MANUAL

NOTES:
 1. ELEVATIONS ARE IN METERS AND DECIMALS THEREOF;
 2. ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM ASCM 256248 ELEV = 1114.91,
 3. GRADING IS SUBJECT TO APPROVAL BY THE CITY OF CALGARY.
 4. USE RETAINING WALL WHERE REQUIRED.
 5. ROOF LEADERS TIE DIRECTLY TO STORM SERVICE.
 6. HP DENOTES HIGH POINT.

NOTES:
 1. SLOPE AWAY FROM BUILDING
 - MIN. 1.0% FOR ASPHALT, CONCRETE OR OTHER HARD SURFACES;
 2. SLOPE ON SWALE
 - MIN. 0.75% ON HARD SURFACE,
 -MIN. 15 cm FROM PROPERTY LINE AND MIN. 10 cm DEPTH;
 - MIN. 1.5% FOR SOFT SURFACE: GRASS, COMPACTED SOIL OR DECORATIVE ROCK;
 MIN. 15 cm WIDTH FROM PROPERTY LINE AND MIN. 15 cm DEPTH;
 - MIN. 2.0% FOR SWALES WITHIN THE CITY RIGHT-OF-WAY.



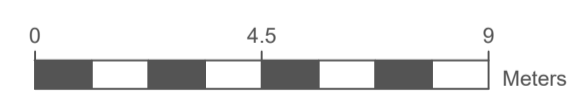
RETAINING WALL INSTALLATION
 SCALE: N.T.S

Requirement for Retaining Wall:
 - Constructed of concrete or minimum 10 cm x 15 cm pressure treated timbers.
 - Timber walls require a dimpled waterproof membrane.
 - Must be self supporting. Cannot touch or be supported by any existing structures or fences.
 - Must project below the adjacent ground elevation.
 - The top of the wall must be a minimum 15 cm above the bottom of the internal swale and 5 cm above adjacent surface grade.
 - Storm water drainage must be conveyed to a City right-of-way.
 - Internal swales must be located entirely within the property.

ABBREVIATIONS

WTR - WATER
SAN - SANITARY
STM - STORM
INV - INVERT
ELEV - ELEVATION
C.O. - CLEAN OUT

1 GRADING PLAN
 Scale: 1:150



JOB NO.: ACI-2025-015
 SHEET NO.: C-0
 TITLE: GRADING PLAN
 PROJECT NAME: SOUTH BOW 1403 26 ST.
 CLIENT/BUILDER: ACI HOMES
 LEGAL DESCRIPTION: LOT 01 BLOCK A PLAN 307E0
 ADDRESS: 1403 26 STREET S.W. CALGARY, AB

NOTES
 • This plan is subject to the approval of the local approving authority and the agent responsible for the architectural control guidelines.
 • MR Engineering will accept no responsibility for any costs incurred due to an error or omission on this plan if construction starts prior to the subject approvals.
 • All dimensions and services shown must be confirmed by contractor prior to excavation.
 • All distance shown are in meters and decimals thereof.



PERMIT TO PRACTICE
 MR ENGINEERING LTD.
 RM SIGNATURE: _____
 RM APEGA ID #: 117293
 DATE: 2025-11-06
 PERMIT NUMBER: P11387
 The Association of Professional Engineers and Geoscientists of Alberta

0	05-11-2025	FOR ACCEPTANCE
NO	DATE	DESCRIPTION

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DRAWN BY: SC
 CHECKED BY: AH
 APPROVED BY: AH
 DRAWING SCALE: 1:150

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