



DEVELOPMENT PERMIT DRAWINGS FOR 2608 MORLEY TRAIL NW
PREPARED BY PEAKE DESIGN GROUP - 25-12-2

MUNICIPAL



27, 5080 12A Street S.E. Calgary, AB, T2G 5K9
Phone: (403) 271-8333
Email: info@peakedesign.ca
www.peakedesign.ca

CLIENT

BUILDER

PROFESSIONAL SEAL

CONSULTANTS

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ISSUE SCHEDULE	No.	DESCRIPTION	DATE
	1	ISSUE FOR DP	25-12-2

PROJECT

DATE: 25-12-2 PROJECT No.: 25-125

CLIENT NAME: [REDACTED]

PROJECT NAME: JOHN HOLMES - 8 PLEX

ADDRESS: 2608 Morley Trail NW, Calgary AB

DRAWING

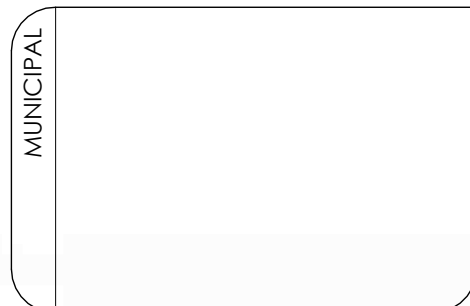
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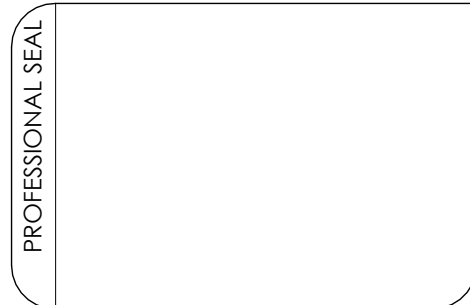
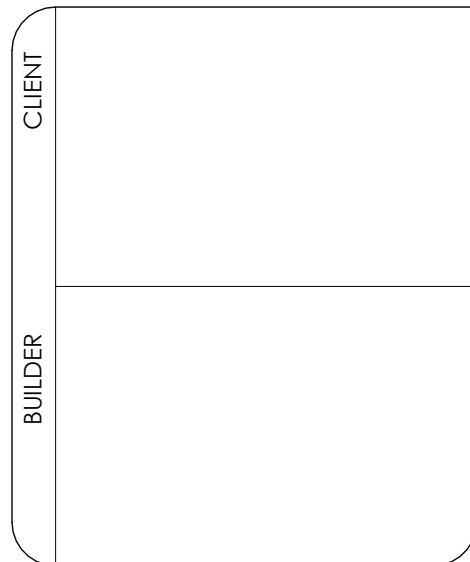
SHEET

A0.0.1

SHEET LIST	
No.	SHEET NAME
A0.0.1	COVERPAGE
A0.1.0	PROJECT INFORMATION PAGE
A1.0.0	EXISTING PLAN - BY SURVEYOR
A1.1.0	BLOCK PLAN & STREETScape
A1.2.0	SITE PLAN - PROPOSED
A2.1.0	TOWNHOUSE - BASEMENT
A2.2.0	TOWNHOUSE - MAIN FLOOR PLAN
A2.3.0	TOWNHOUSE - SECOND FLOOR PLAN
A2.4.0	TOWNHOUSE - THIRD FLOOR PLAN
A2.5.0	GARAGE - FLOOR PLAN
A2.6.0	ROOF PLANS
A3.0.0	EXTERIOR ELEVATIONS
A3.1.0	EXTERIOR ELEVATIONS - FENCE
A3.2.0	EXTERIOR ELEVATIONS - GARAGE
A4.0.0	BUILDING SECTION A
A4.1.0	BUILDING SECTION B
A4.6.0	GARAGE BUILDING SECTION



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1	ISSUE FOR DP	25-12-2	

PROJECT	DATE	PROJECT No.
	25-12-2	25-125
CLIENT NAME	[REDACTED]	
PROJECT NAME	JOHN HOLMES - 8 PLEX	
ADDRESS	2608 Morley Trail NW, Calgary AB	

DRAWING	DRAWN	CHECKED
	ATR/JMM	KGS
DRAWING TITLE	EXISTING PLAN - BY SURVEYOR	

A1.0.0

SITE PLAN

MUNICIPAL ADDRESS:

2608 MORLEY TRAIL N.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:

LOT 14
BLOCK 6
PLAN 8543 Gn

PREPARED FOR: Peake Design Group

DATE OF SURVEY: October 29th, 2025

SCALE: 1:200
0 2 4 8 12 16 20 METRES

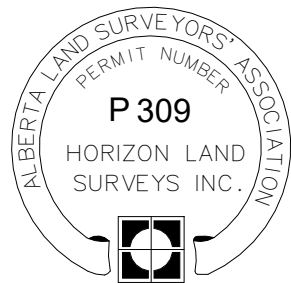
LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

'2F'--Second Floor
'B.C'--Back of Curb
'B.W'--Back of Walkway
'Cant.'--Cantilever
'Conc.'--Concrete
'Elev.'--Elevation
'Enc.'--Encroach(es)
'L'--Length of Arc
'LG'--Lip of Gutter
'M.F'--Main Floor
'MFE'--Main Floor Elevation
'R'--Radius
'R/W'--Right of Way
'Ret.'--Retaining
'RPE'--Roof Peak Elevation
'WB'--Bottom of Wall
'WT'--Top of Wall

NOTE:

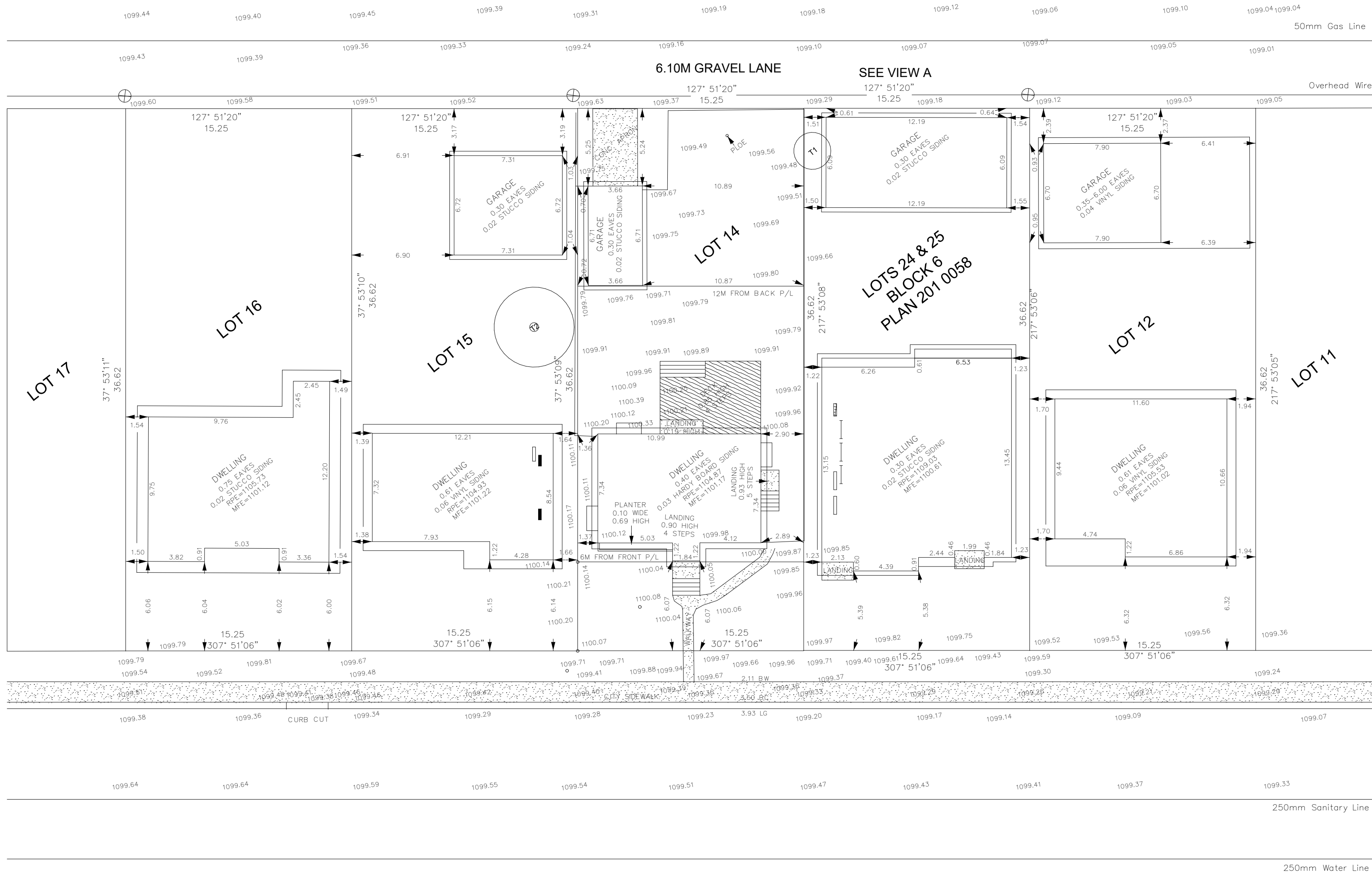
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999729
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM.
- Existing spot elevations are shown thus: $\times$ 100.00
- The Certificate of Title _____ which was Searched on the 4th day of November, 2025, and includes the following instruments:
Mortgage No. 171 103 594, 231 216 757
Release of Dower Rights No. 201 122 648
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 48, 79, 80, 98, 200, 201 & 203 in Sec.29
--Twp.24--Rge.1--W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)



© Copyright Horizon Land Surveys Inc., 2025
File No.: 251337 Date: 02/Nov/2025
Surveyed: TK/YR Drawn: LZ/EM
Horizon Land Surveys Inc.
150 Brownlee Centre N.W. P. 403-719-0272
Calgary, Alberta, T3B 5M5 F. 403-775-4171

TREE SCHEDULE:

Tree No.	Variety	Trunk (cm)	Canopy (m)	Height (m)	Location
T1	Bush	2.50	2.50	2.50	On Property Line
T2	Deciduous	0.61	5.40	8.00	In Adjacent Property



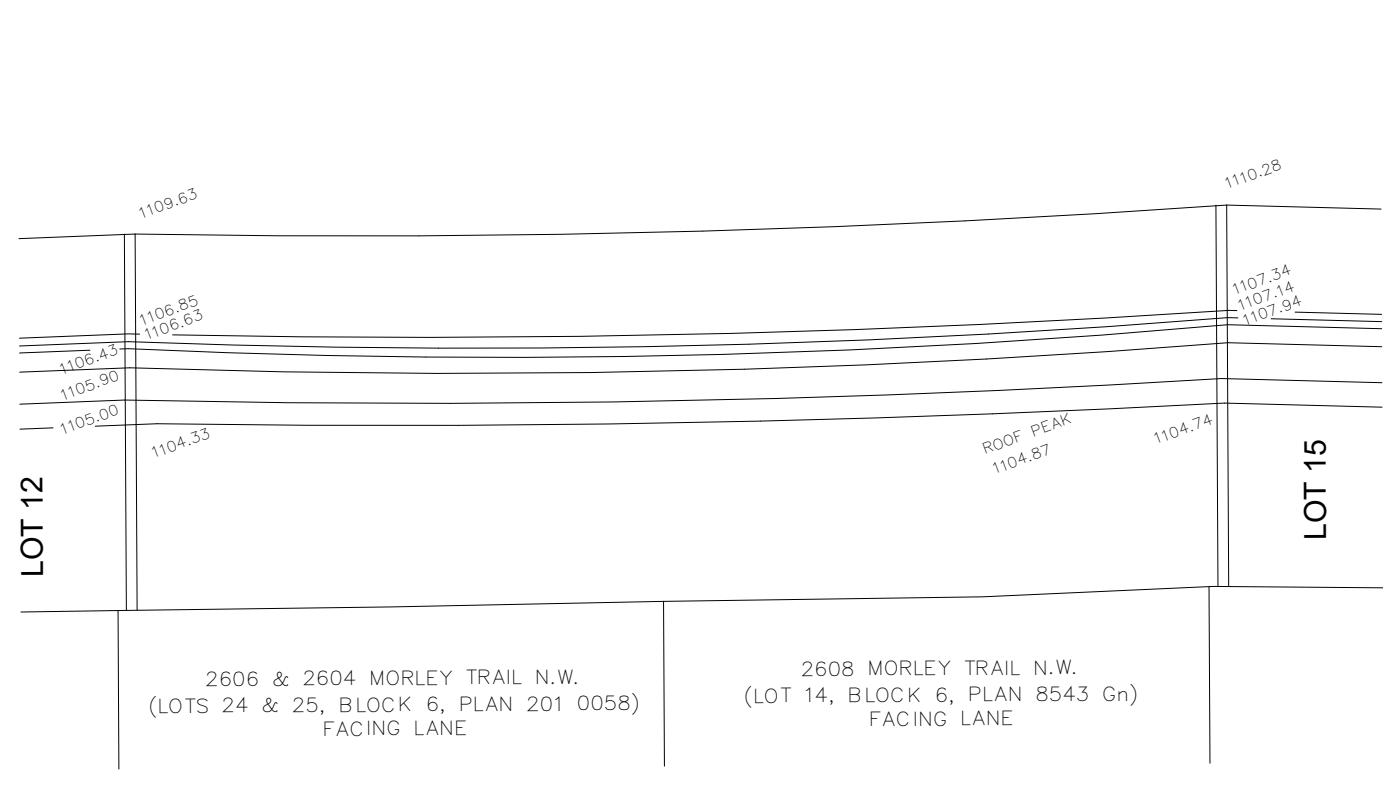
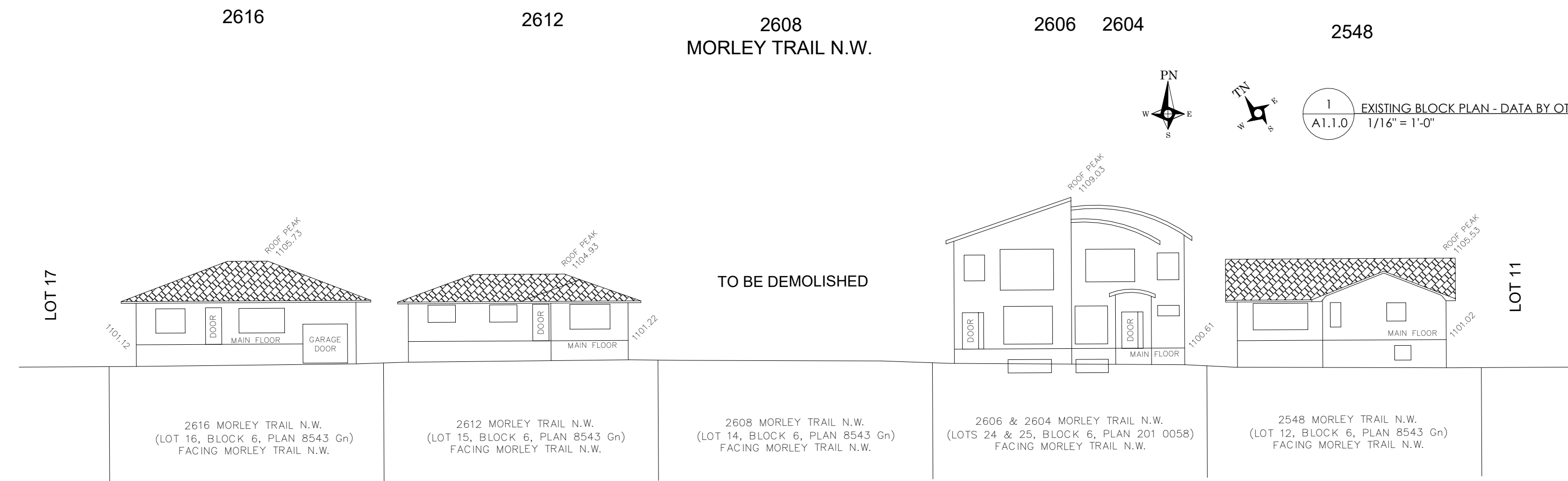
2616

2612

2608
MORLEY TRAIL N.W.

2606 2604

2548



SITE SYMBOLS	
PROPOSED GRADES:	XX.XX
EXISTING GRADES:	XX.XX
ENG'D GRADES:	XX.XX
BUILDING FOOTPRINT	
COVERED AREAS	
DECK AREAS	
CANTILEVER	
GRASS	
MULCH	
GRAVEL PAD:	
CONCRETE DRIVEWAY AND APRON:	
LANDSCAPE DRAIN:	
DRAIN WITH OIL SEPARATOR:	
INTERIOR DRAIN:	
EXISTING LIGHT STANDARD:	
FIRE HYDRANT:	
MANDOOR:	
GARAGE DOOR:	
TREE:	
SHRUB:	

SITE LINE TYPES	
ELECTRICAL & PHONE:	— O/H — O/H —
POTABLE WATER:	— GAS — GAS —
SANITARY WATER:	— WATER — WATER —
STORM WATER:	— SAN — SAN —
PROPERTY LINES:	— STORM — STORM —
SITE SETBACK:	— — — — —
RIGHT OF WAYS:	— — — — —
GRADE CHANGE BOUNDARY:	— — — — —
DIRECTION OF GRADE SLOPE:	— — — — —

SITE INFORMATION	
MUNICIPAL ADDRESS: 2608 MORLEY TRAIL NW, CALGARY, AB	LAND USE DESIGNATION: R-CG
LEGAL DESCRIPTION: LOT 14, BLOCK 6, PLAN 8543GN	COVERED PARKING SPACES: 4
ENERGY ZONE: 7A	BIKE STALLS PROVIDED: 4
DENSITY: 8 UNITS PER 0.06ha = 0.00075/1ha	
UNIT AREA CALCULATION	
UNIT E	1,739.4sf
SECONDARY SUITE A	668.4sf
UNIT F	1,739.4sf
SECONDARY SUITE B	668.4sf
UNIT G	1,739.4sf
SECONDARY SUITE C	668.4sf
UNIT H	1,739.4sf
SECONDARY SUITE D	668.4sf
TOTAL	9,631.2sf
LOT COVERAGE CALCULATION	
BUILDING FOOTPRINT	2,667.3sf
DETACHED GARAGE	877.3sf
TOTAL	3,544.6sf
LOT COVERAGE = 36.9% - 40% MAX	

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NOTE

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PROJECT

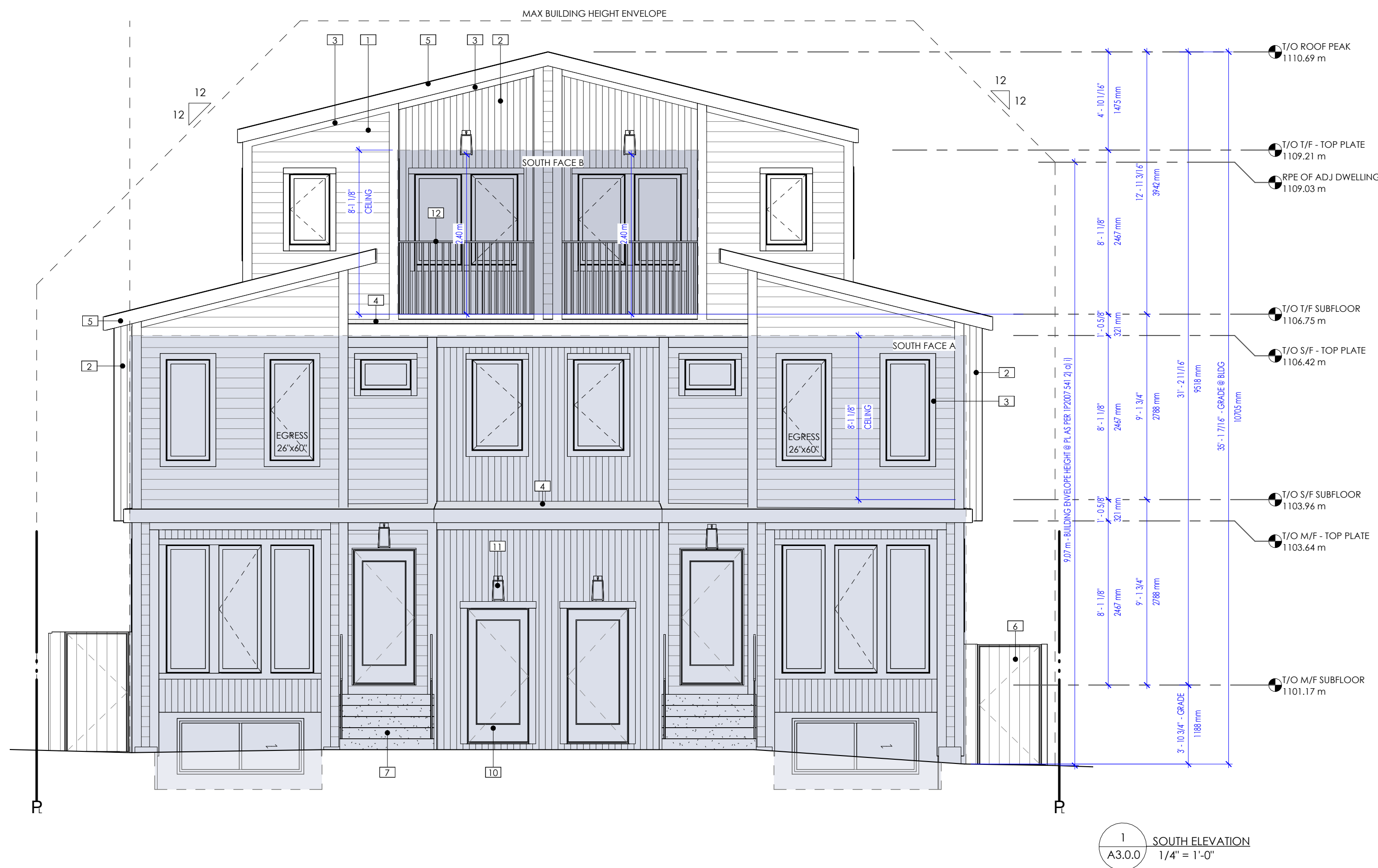
DATE	25-12-2	PROJECT No.	25-125
CLIENT NAME			
PROJECT NAME			
ADDRESS	2608 Morley Trail NW, Calgary AB		

DRAWING

DRAWN	ATR/JMM	CHECKED	KG5
DRAWING TITLE	BLOCK PLAN & STREETSCAPE		

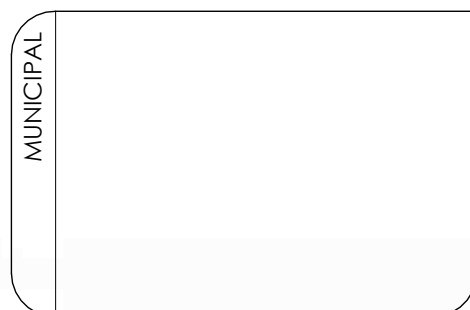
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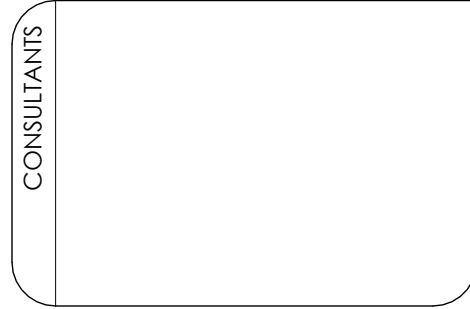
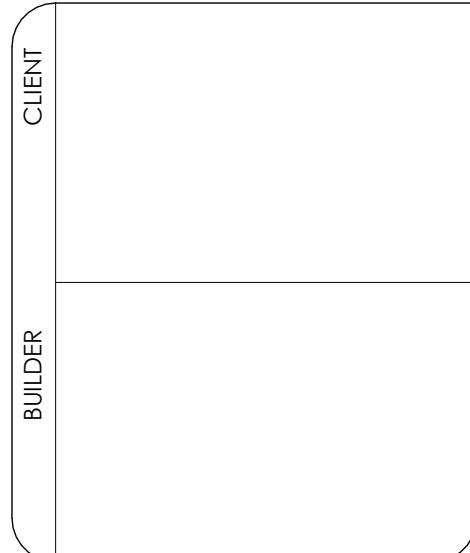


FINISH MATERIALS	
FINISH	SPECIFICATION
1	HORIZONTAL HARDIE SIDING - WHITE TBC
2	VERTICAL METAL SIDING - WOOD GRAIN BROWN TBC
3	TRIM - MATCH WALL COLOR
4	ROOF SHINGLES - CHARCOAL
5	FASCIA SOFFIT - GREY
6	WOOD FENCE - BROWN
7	EXPOSED CONCRETE
8	PARKING - GREY
9	WINDOW FRAME - CHARCOAL
10	DOOR FRAME - CHARCOAL
11	EXTERIOR LIGHT - CHARCOAL
12	RAILING - CHARCOAL

LIMITING DISTANCE - TABLE 9.10.15.4.					
	DISTANCE FROM CL OF STREET	EXPOSED BLDG FACE	MAX % OF GLAZED OPENINGS	MAX AREA OF GLAZED OPENINGS	PROPOSED % OF GLAZED OPENINGS
NORTH FACE - A	42' 4" - 12.9m	876.0H ² - 81.4m ²	100	876.2H ² - 81.4m ²	26.7
NORTH FACE - B	52' 2" - 15.9m	120.6H ² - 11.2m ²	100	120.6H ² - 11.2m ²	34.8
SOUTH FACE - A	18' 1" - 5.5m - TO GARAGE	525.3H ² - 48.8m ²	49.75	261.6H ² - 24.3m ²	35.7
SOUTH FACE - B	42' 8" - 13.0m	169.0H ² - 15.7m ²	100	169.0H ² - 15.7m ²	25.5
SOUTH FACE - C	44' 7" - 13.6m	161.5H ² - 15.0m ²	100	161.5H ² - 15.0m ²	19.3
SOUTH FACE - D	52' 6" - 16.0m	121.6H ² - 11.3m ²	100	121.6H ² - 11.3m ²	34.5



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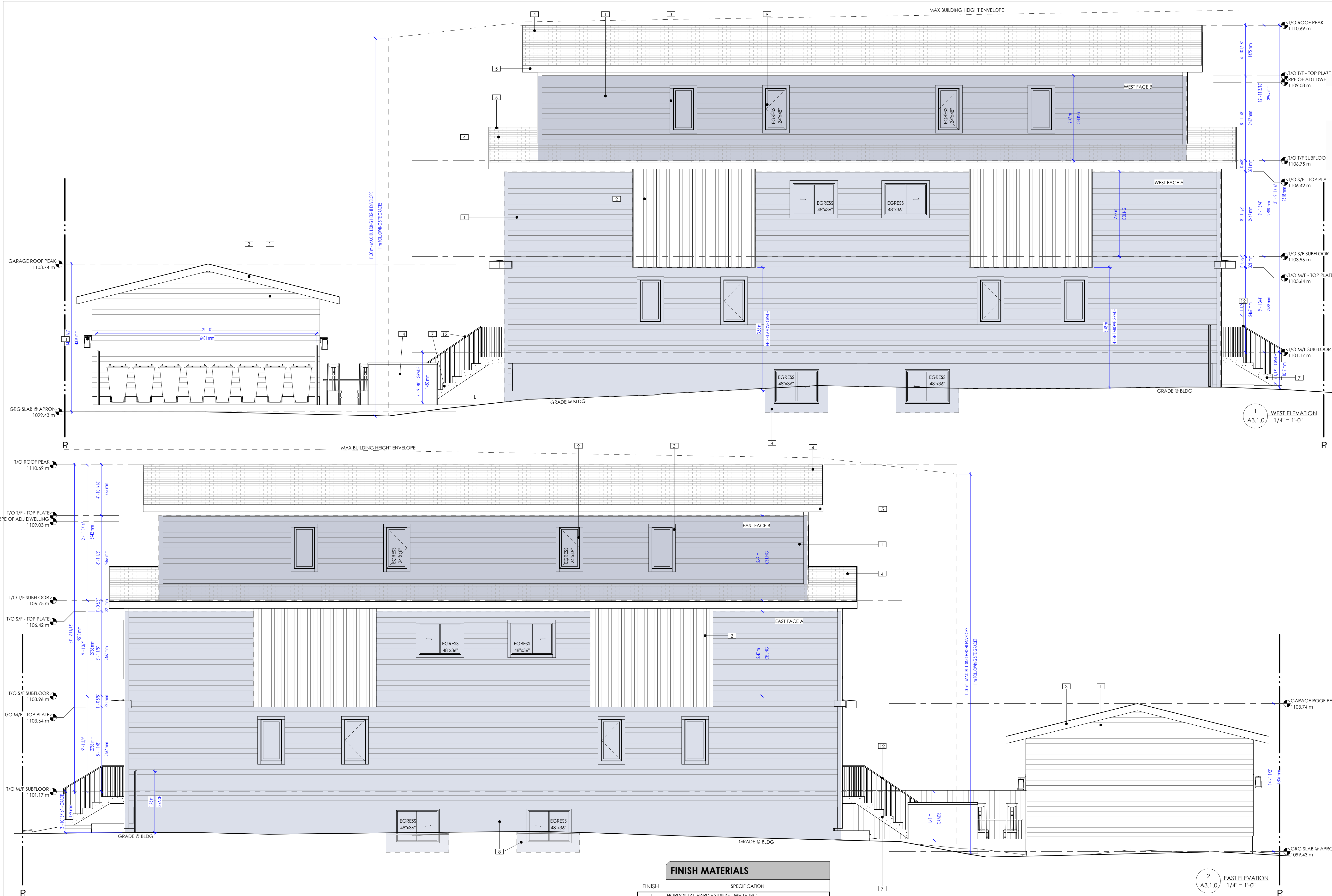
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PROJECT	DATE	PROJECT No.
	25-12-2	25-125
PROJECT NAME		
PROJECT NAME		
ADDRESS		

DRAWING	DRAWN	CHECKED
	ATR/JMM	KGS

EXTERIOR ELEVATIONS

A3.0.0



FINISH MATERIALS

FINISH	SPECIFICATION
1	HORIZONTAL HARDIE SIDING - WHITE TBC
2	VERTICAL METAL SIDING - WOOD GRAIN BROWN TBC
3	TRIM - MATCH WALL COLOR
4	ROOF SHINGLES - CHARCOAL
5	FASCIA SOFT - GREY
7	EXPOSED CONCRETE
8	PAVING - GREY
9	WINDOW FRAME - CHARCOAL
11	EXTERIOR LIGHT - CHARCOAL
12	RAILING - CHARCOAL
14	BIKE STORAGE LOCKER

LIMITING DISTANCE - TABLE 9.10.15.4.

	DISTANCE FROM CL OF STREET	EXPOSED BLDG FACE	MAX % OF GLAZED OPENINGS	MAX AREA OF GLAZED OPENINGS	PROPOSED % OF GLAZED OPENINGS	PROPOSED AREA OF GLAZED OPENINGS
WEST FACE - A	4' 6" - 1.36m	1,242.2ft ² - 115.4m ²	7	87.2ft ² - 8.1m ²	6.4	79.7ft ² - 7.4m ²
WEST FACE - B	8' 10" - 2.7m	501.6ft ² - 46.6m ²	11	54.9ft ² - 5.1m ²	8.4	42.0ft ² - 3.9m ²
EAST FACE - A	4' 6" - 1.36m	1,279.8ft ² - 118.9m ²	7	89.3ft ² - 8.3m ²	6.2	79.7ft ² - 7.4m ²
EAST FACE - B	8' 10" - 2.7m	501.6ft ² - 46.6m ²	11	54.9ft ² - 5.1m ²	8.4	42.0ft ² - 3.9m ²

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PROJECT

DATE: 25-12-2 PROJECT No.: 25-125

CLIENT NAME: [REDACTED]

PROJECT NAME: JOHN HOLMES - 8 PLEX

ADDRESS: 2608 Marley Trail NW, Calgary AB

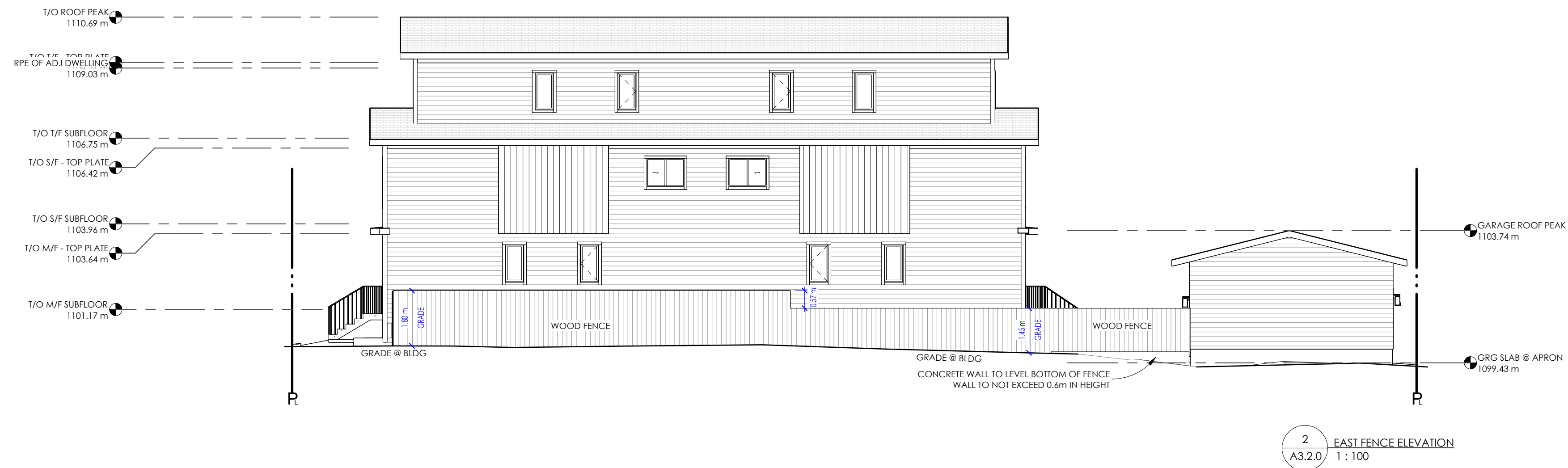
DRAWING

DRAWN: ATR/JMM CHECKED: KGS

DRAWING TITLE: EXTERIOR ELEVATIONS

SHEET

A3.1.0



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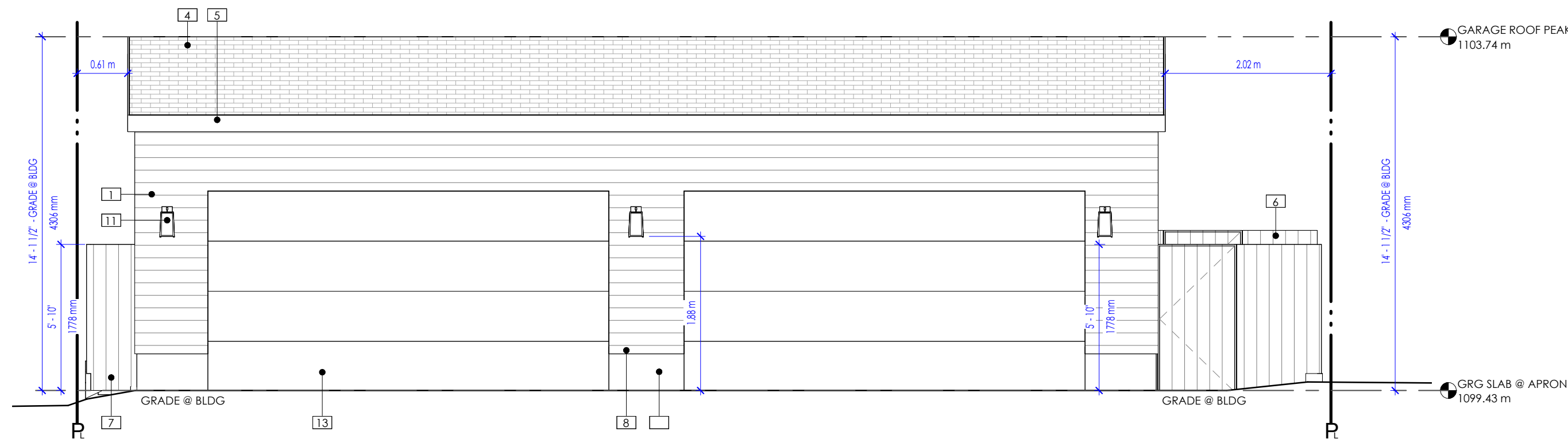
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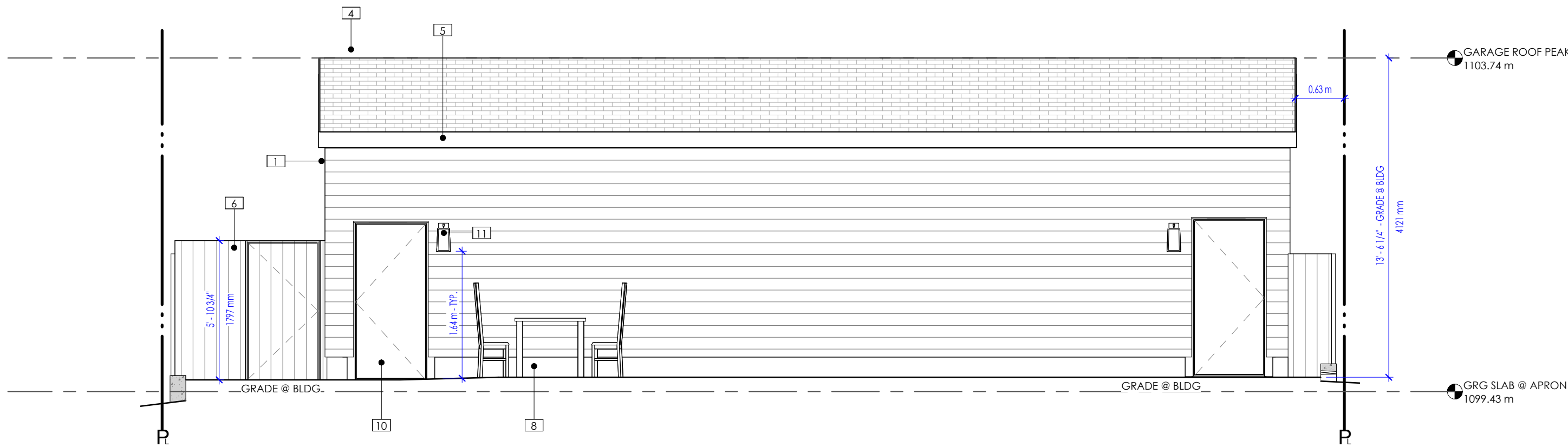
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	JOHN HOLMES - 8 PLEX	
	ADDRESS	
	2608 Marley Trail NW, Calgary AB	

DRAWING	DRAWN	CHECKED
	ATR/JMM	KGS
	DRAWING TITLE	
	EXTERIOR ELEVATIONS - FENCE	

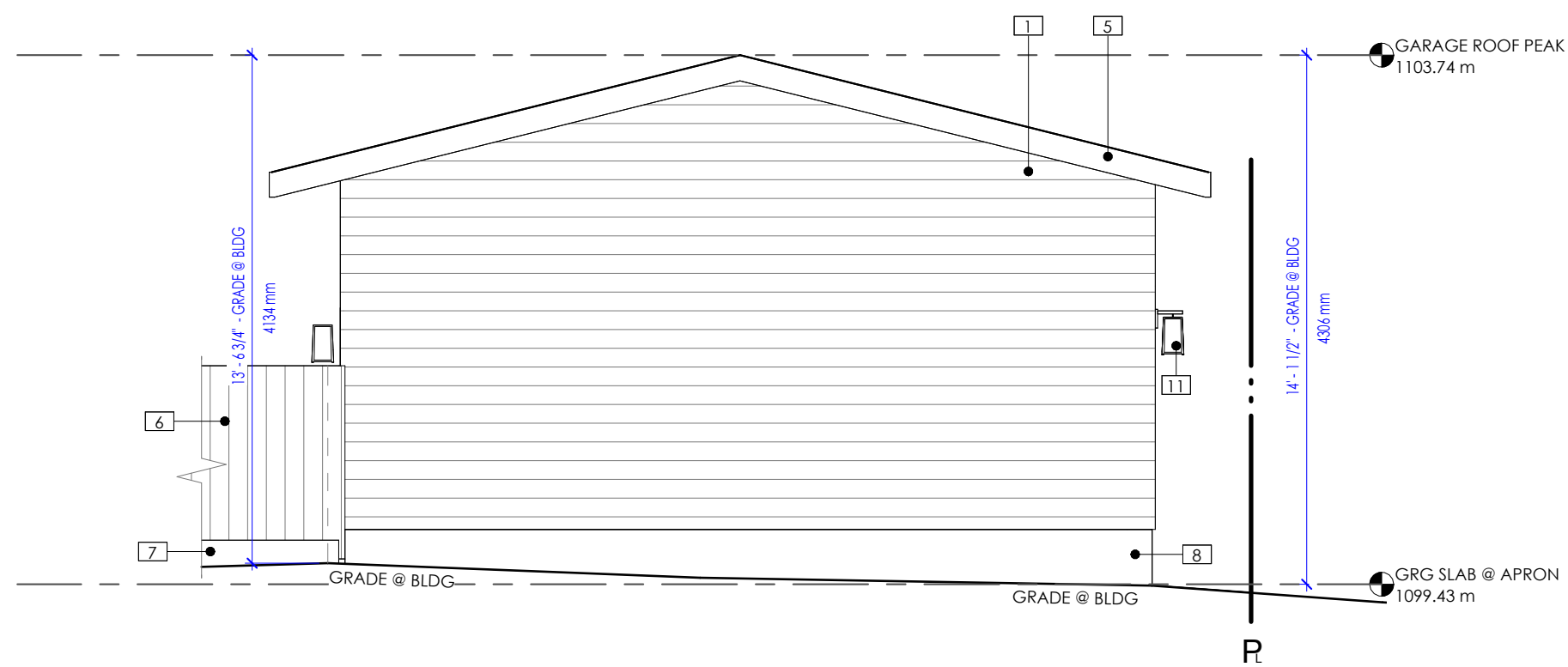
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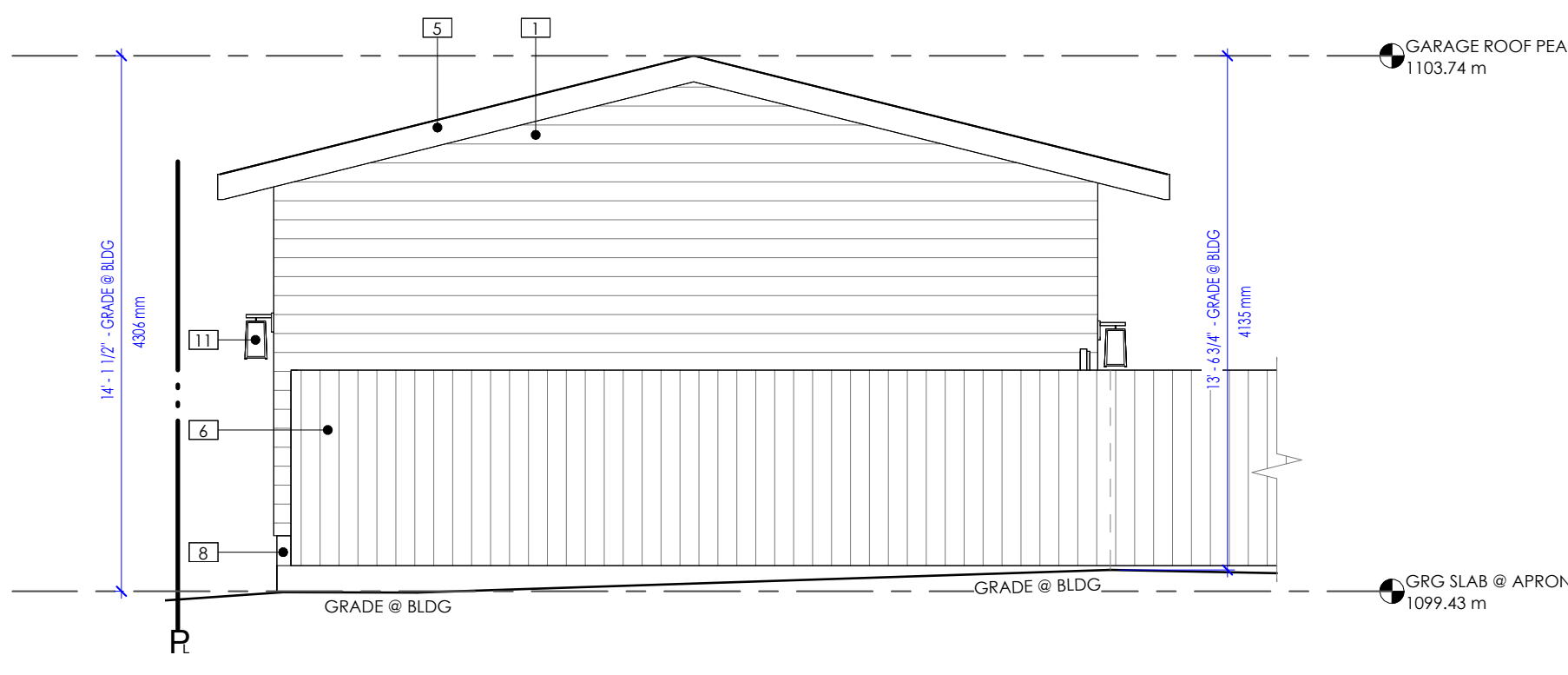
1 GARAGE NORTH ELEVATION
A3.3.0 1/4" = 1'-0"



2 GARAGE SOUTH ELEVATION
A3.3.0 1/4" = 1'-0"

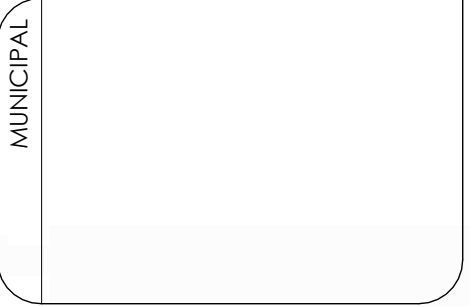


3 GARAGE EAST ELEVATION
A3.3.0 1/4" = 1'-0"

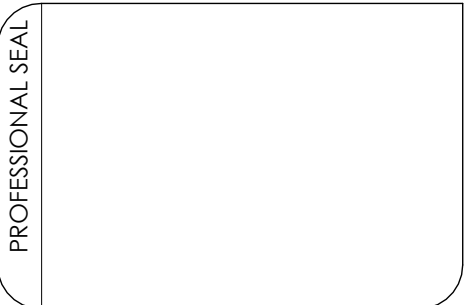
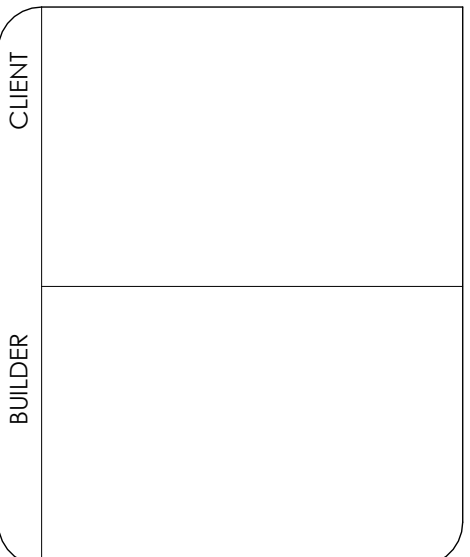


4 GARAGE WEST ELEVATION
A3.3.0 1/4" = 1'-0"

FINISH MATERIALS	
FINISH	SPECIFICATION
1	HORIZONTAL HARDIE SIDING - WHITE TBC
4	ROOF SHINGLES - CHARCOAL
5	FASCIA SOFFIT - GREY
6	WOOD FENCE - BROWN
7	EXPOSED CONCRETE
8	PARGING - GREY
10	DOOR FRAME - CHARCOAL
11	EXTERIOR LIGHT - CHARCOAL
13	GARAGE DOOR - CHARCOAL



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ATR/JMM	KGS
DRAWING TITLE	
EXTERIOR ELEVATIONS - GARAGE	

A3.3.0