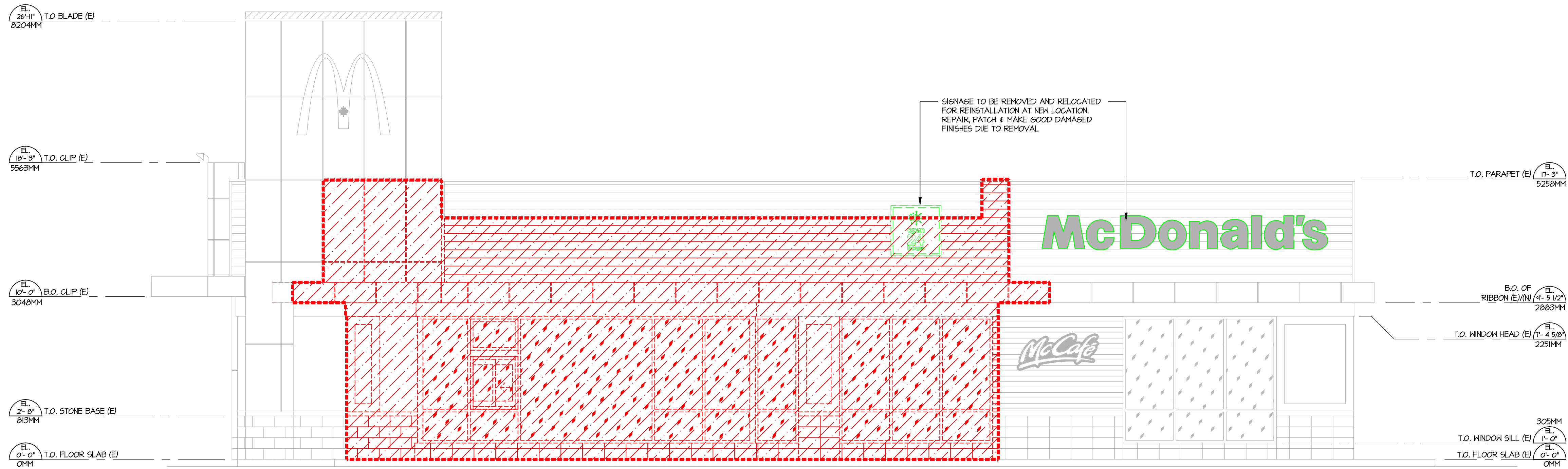
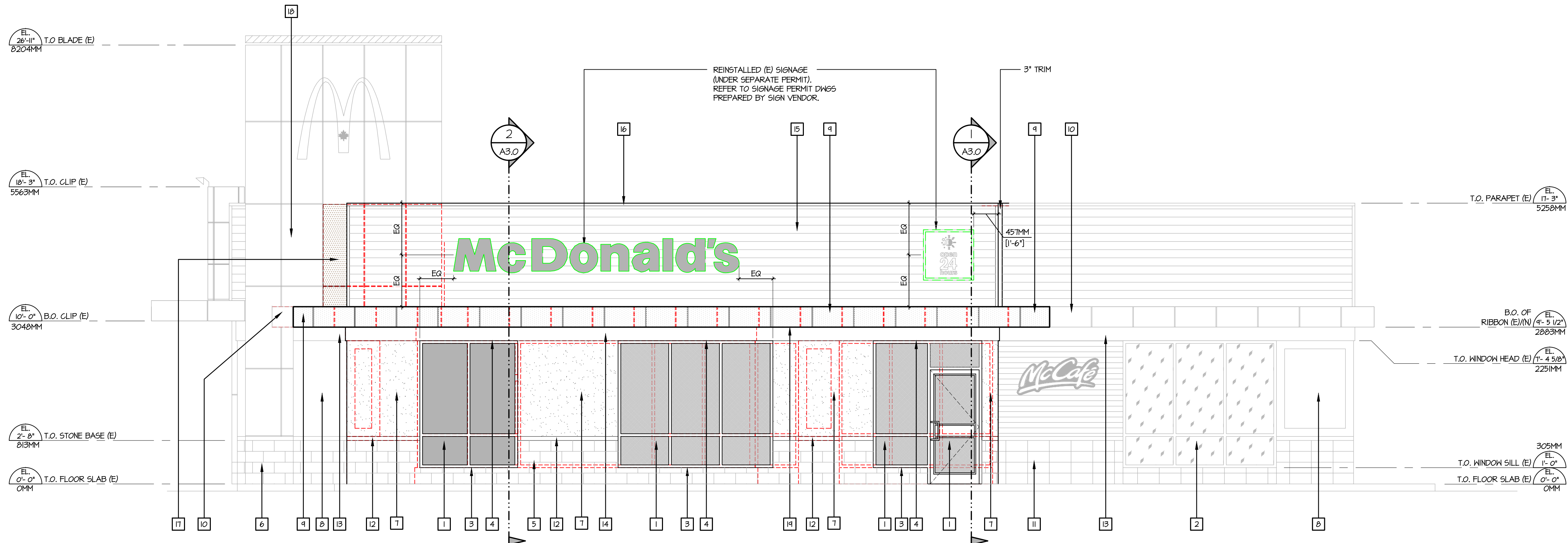








1 EXISTING / DEMO NORTH ELEVATION - 17TH AVE. S.E.  
A2.0 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION - 17TH AVE. S.E.  
A2.0 SCALE: 1/4" = 1'-0"

#### ELEVATION NOTES:

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- EXTERIOR WALL GLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES (IE, TIMER), DOORBELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS, PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.
- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
- G.C. TO INSPECT ALL EXISTING VAPOR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS, G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKING/SUPPORTS WITH SIGN COMPANY.
- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- REMOVE ALL EXISTING WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.I.
- RE/RE Pylon sign transponder disturbed by new work. CONFIRM LOCATION WITH MCD'S ACM.
- SITE VERIFY ALL DIMENSIONS (PARAPET HEIGHT, WIDTH, EXTENT OF NEW SIDINGS, ETC) PRIOR TO FINALIZING FRICING.
- DO NOT REMOVE AND TEMPORARY SECURE DIGITAL ANTENNA SERVING THE D/THRU DIGITAL SIGN BOARDS TO ADJACENT SURFACE TO SUIT NEW FINISHES, G.C. TO ENSURE TO KEEP IT OPERATIONAL THROUGHOUT CONSTRUCTION. REINSTALLED UPON COMPLETION.

#### EXTERIOR FINISHES

| MATERIAL                                                                                                     | COLOUR                                                       | MATERIAL                                                                  | COLOUR                                     |
|--------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------|---------------------------------------------------------------------------|--------------------------------------------|
| 1 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES WITH DOUBLE GLAZING                                                 | Bronze ANODIZED TO MATCH EXISTING                            | 12 PREFIN THRU WALL / STONE BASE FLASHING - DARK GREY - TO MATCH EXISTING | CHARCOAL GREY QC-160T2 - TO MATCH EXISTING |
| 2 (E) ALUMINUM STOREFRONT WINDOW FRAMES WITH DOUBLE GLAZING TO REMAIN                                        | Bronze ANODIZED                                              | 13 (E) METAL PANEL - MEDIUM GREY - TO REMAIN                              | REGENT GREY QC160B2                        |
| 3 WINDOW SILL FLASHING - DARK GREY                                                                           | Bronze ANODIZED TO MATCH EXISTING                            | 14 METAL PANEL - PROFILE TO MATCH EX - MEDIUM GREY                        | REGENT GREY QC160B2 - TO MATCH EXISTING    |
| 4 WINDOW HEAD FLASHING                                                                                       | Bronze ANODIZED TO MATCH EXISTING                            | 15 HORIZONTAL METAL SIDING VICHEST AD150 - TO MATCH EXISTING              | CHARCOAL QC-160T2 - TO MATCH EXISTING      |
| 5 MANUFACTURED STONE - 8"x6"x1" RICHVALE YORK, CAMBRIDGE SERIES, GROUND FACE - DARK GREY - TO MATCH EXISTING | STAINED NANKAM 'CHARCOAL GREY'                               | 16 * PREFINISHED METAL CAP FLASHING TO MATCH EXISTING                     | CHARCOAL QC-160T2 - TO MATCH EXISTING      |
| 6 (E) MANUFACTURED STONE - RICHVALE YORK, CAMBRIDGE SERIES - DARK GREY - TO REMAIN                           | DIAMOND BLACK                                                | 17 METAL PANEL - RED - TO MATCH EXISTING                                  | 'RON RED' - TO MATCH EXISTING              |
| 7 STUCCO - TEXTURE & PATTERN TO MATCH EXISTING - MEDIUM GREY                                                 | PAINTED DULUX PAINT 'REGENT GREY' MCD 41 - TO MATCH EXISTING | 18 (E) METAL PANEL - RED - TO REMAIN                                      | 'RON RED'                                  |
| 8 (E) STUCCO TO REMAIN - MEDIUM GREY                                                                         | DULUX PAINT 'REGENT GREY' MCD 41                             | 19 SOLID METAL PANEL SOFFIT - AD3005R - TO MATCH EXISTING                 | 'BNT WHITE' TO MATCH EXISTING              |
| 9 METAL PANEL / RIBBON - WHITE - TO MATCH EXISTING                                                           | 'BNT WHITE' TO MATCH EXISTING                                | 20 MASONRY - DARK GREY - TO MATCH EXISTING                                | STAINED NANKAM 'CHARCOAL GREY'             |
| 10 (E) METAL PANEL / RIBBON - WHITE                                                                          | 'BNT WHITE'                                                  |                                                                           |                                            |
| 11 (E) MASONRY - DARK GREY - TO REMAIN                                                                       | DULUX PAINT 'CHARCOAL GREY' MCD 42                           |                                                                           |                                            |

- ALL MATERIALS ARE NEW UNLO. - \* ALL MATERIAL FLASHING TO BE 24 GA.  
- REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.O.I. - SEE COLOURED ELEVATIONS FOR CONFIRM COLOUR.

#### PROPOSED ELEV. LEGEND:

- XX



1 EXISTING / DEMO EAST ELEVATION - PARKING SIDE  
A21 / SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION - PARKING SIDE  
A21 / SCALE: 1/4" = 1'-0"

#### ELEVATION NOTES:

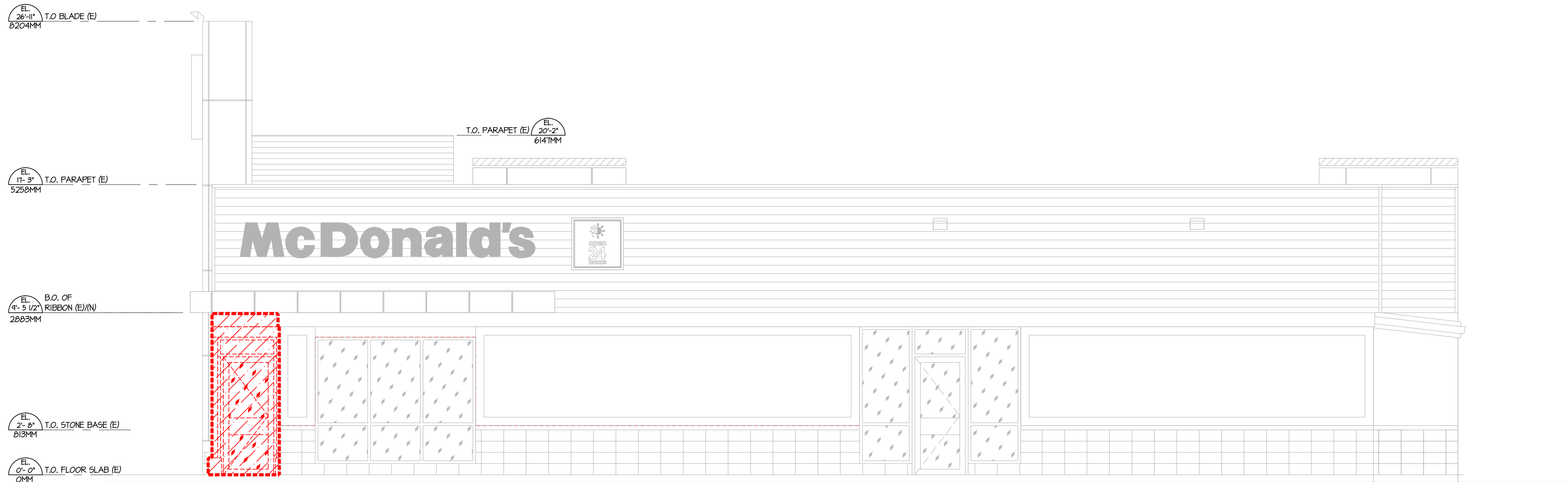
- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C., UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES (IE, TIMER), DOORBELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED; CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS, PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.
- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
- G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS, G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKING/SUPPORTS WITH SIGN COMPANY.
- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- REMOVE ALL EXISTING WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.I.
- RE/RE PYLON SIGN TRANSPONDER DISTURBED BY NEW WORK. CONFIRM LOCATION WITH MCD'S ACM.
- SITE VERIFY ALL DIMENSIONS (PARAPET HEIGHT, WIDTH, EXTENT OF NEW SIDINGS, ETC) PRIOR TO FINALIZING PRICING.
- DO NOT REMOVE AND TEMPORARY SECURE DIGITAL ANTENNA SERVING THE D/THRU DIGITAL SIGN BOARDS TO ADJACENT SURFACE TO SUIT NEW FINISHES. G.C. TO ENSURE TO KEEP IT OPERATIONAL THROUGHOUT CONSTRUCTION. REINSTALLED UPON COMPLETION.

#### EXTERIOR FINISHES

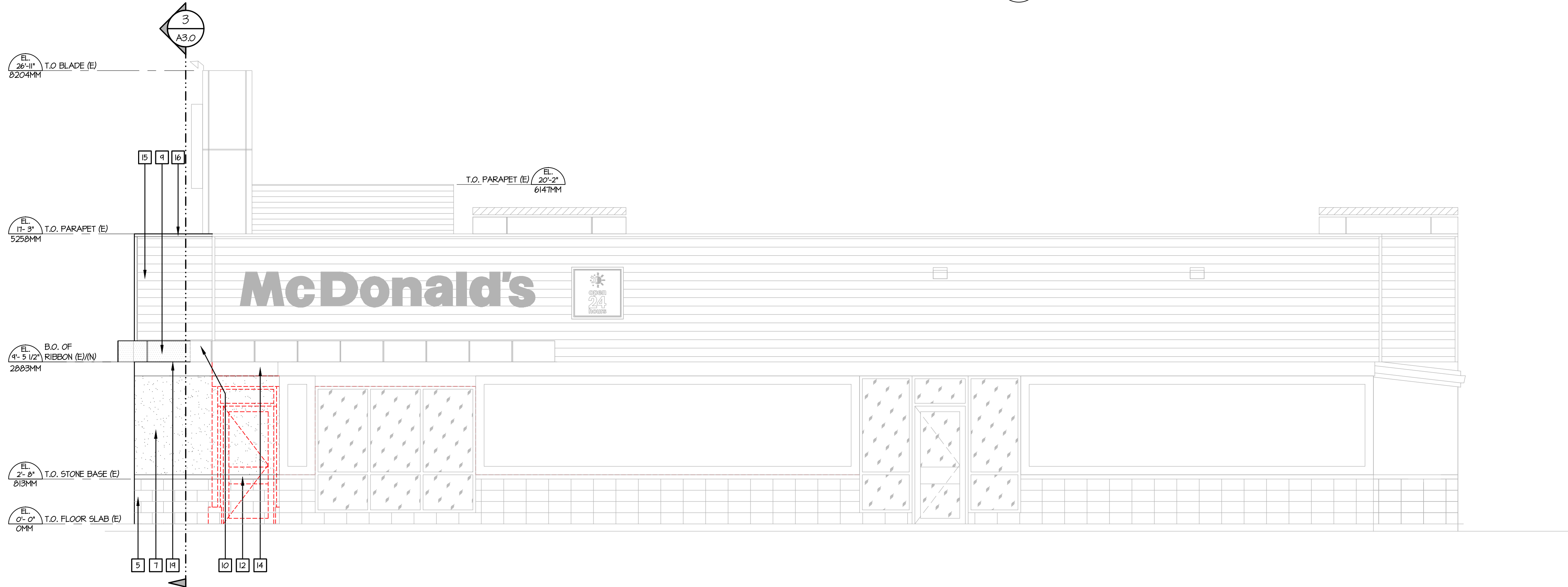
|    | MATERIAL                                                                                          | COLOUR                                                       |    | MATERIAL                                                               | COLOUR                                     |
|----|---------------------------------------------------------------------------------------------------|--------------------------------------------------------------|----|------------------------------------------------------------------------|--------------------------------------------|
| 1  | ALUMINUM STOREFRONT DOOR/WINDOW FRAMES WITH DOUBLE GLAZING                                        | BRONZE ANODIZED TO MATCH EXISTING                            | 12 | PREFIN THRU WALL / STONE BASE FLASHING - DARK GREY - TO MATCH EXISTING | CHARCOAL GREY QC-160T2 - TO MATCH EXISTING |
| 2  | (E) ALUMINUM STOREFRONT WINDOW FRAMES WITH DOUBLE GLAZING TO REMAIN                               | BRONZE ANODIZED                                              | 13 | (E) METAL PANEL - MEDIUM GREY - TO REMAIN                              | REGENT GREY QC160B2                        |
| 3  | WINDOW SILL FLASHING - DARK GREY                                                                  | BRONZE ANODIZED TO MATCH EXISTING                            | 14 | METAL PANEL - PROFILE TO MATCH EX - MEDIUM GREY                        | REGENT GREY QC160B2 - TO MATCH EXISTING    |
| 4  | WINDOW HEAD FLASHING                                                                              | BRONZE ANODIZED TO MATCH EXISTING                            | 15 | HORIZONTAL METAL SIDING VICHEST AD150 - TO MATCH EXISTING              | CHARCOAL QC-160T2 - TO MATCH EXISTING      |
| 5  | MANUFACTURED STONE - RICHVALE YORK, CAMBRIDGE SERIES, GROUND FACE - DARK GREY - TO MATCH EXISTING | STAINED NANKAM 'CHARCOAL GREY'                               | 16 | * PREFINISHED METAL CAP FLASHING TO MATCH EXISTING                     | CHARCOAL QC-160T2 - TO MATCH EXISTING      |
| 6  | (E) MANUFACTURED STONE - RICHVALE YORK, CAMBRIDGE SERIES - DARK GREY - TO REMAIN                  | DIAMOND BLACK                                                | 17 | METAL PANEL - RED - TO MATCH EXISTING                                  | 'IRON RED' - TO MATCH EXISTING             |
| 7  | STUCCO - TEXTURE & PATTERN TO MATCH EXISTING - MEDIUM GREY                                        | PAINTED DULUX PAINT 'REGENT GREY' MCD 41 - TO MATCH EXISTING | 18 | (E) METAL PANEL - RED - TO REMAIN                                      | 'IRON RED'                                 |
| 8  | (E) STUCCO TO REMAIN - MEDIUM GREY                                                                | DULUX PAINT 'REGENT GREY' MCD 41                             | 19 | SOLID METAL PANEL SOFFIT - AD3005R - TO MATCH EXISTING                 | 'BNT WHITE' TO MATCH EXISTING              |
| 9  | METAL PANEL / RIBBON - WHITE - TO MATCH EXISTING                                                  | 'BNT WHITE' TO MATCH EXISTING                                | 20 | MASONRY - DARK GREY - TO MATCH EXISTING                                | STAINED NANKAM 'CHARCOAL GREY'             |
| 10 | (E) METAL PANEL / RIBBON - WHITE                                                                  | 'BNT WHITE'                                                  |    |                                                                        |                                            |
| 11 | (E) MASONRY - DARK GREY - TO REMAIN                                                               | DULUX PAINT 'CHARCOAL GREY' MCD 42                           |    |                                                                        |                                            |

- ALL MATERIALS ARE NEW UNLO. - \* ALL MATERIAL FLASHING TO BE 24 GA.  
- REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.O.I. - SEE COLO





1 EXISTING / DEMO WEST ELEVATION - DRIVE THRU LANE SIDE  
A2.3 SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION - DRIVE THRU LANE SIDE  
A2.3 SCALE: 1/4" = 1'-0"

#### ELEVATION NOTES:

REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW:

1. EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C., UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES (IE. TIMER), DOORBELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED; CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS, PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.
5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
6. G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY, IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.
7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS, G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKING/SUPPORTS WITH SIGN COMPANY.
8. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
12. PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
13. REMOVE ALL EXISTING WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
15. CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
16. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.I.
17. RE/RE Pylon SIGN TRANSPONDER DISTURBED BY NEW WORK. CONFIRM LOCATION WITH MCD'S ACM.
18. SITE VERIFY ALL DIMENSIONS (PARAPET HEIGHT, WIDTH, EXTENT OF NEW SIDINGS, ETC) PRIOR TO FINALIZING PRICING.
19. DO NOT REMOVE AND TEMPORARY SECURE DIGITAL ANTENNA SERVING THE D/THRU DIGITAL SIGN BOARDS TO ADJACENT SURFACE TO SUIT NEW FINISHES, G.C. TO ENSURE TO KEEP IT OPERATIONAL THROUGHOUT CONSTRUCTION. REINSTALLED UPON COMPLETION.

#### EXTERIOR FINISHES

|    | MATERIAL                                                                                         | COLOUR                                                       |    | MATERIAL                                                               | COLOUR                                     |
|----|--------------------------------------------------------------------------------------------------|--------------------------------------------------------------|----|------------------------------------------------------------------------|--------------------------------------------|
| 1  | ALUMINUM STOREFRONT DOOR/WINDOW FRAMES WITH DOUBLE GLAZING                                       | BRONZE ANODIZED TO MATCH EXISTING                            | 12 | PREFIN THRU WALL / STONE BASE FLASHING - DARK GREY - TO MATCH EXISTING | CHARCOAL GREY QC-160T2 - TO MATCH EXISTING |
| 2  | (E) ALUMINUM STOREFRONT WINDOW FRAMES WITH DOUBLE GLAZING TO REMAIN                              | BRONZE ANODIZED                                              | 13 | (E) METAL PANEL - MEDIUM GREY - TO REMAIN                              | REGENT GREY QC160B2                        |
| 3  | WINDOW SILL FLASHING - DARK GREY                                                                 | BRONZE ANODIZED TO MATCH EXISTING                            | 14 | METAL PANEL - PROFILE TO MATCH EX - MEDIUM GREY                        | REGENT GREY QC160B2 - TO MATCH EXISTING    |
| 4  | WINDOW HEAD FLASHING                                                                             | BRONZE ANODIZED TO MATCH EXISTING                            | 15 | HORIZONTAL METAL SIDING VICHEST AD150 - TO MATCH EXISTING              | CHARCOAL QC-160T2 - TO MATCH EXISTING      |
| 5  | MANUFACTURED STONE - RICHVALE YORK CAMBRIDGE SERIES, GROUND FACE - DARK GREY - TO MATCH EXISTING | STAINED NANKAW 'CHARCOAL GREY'                               | 16 | * PREFINISHED METAL CAP FLASHING TO MATCH EXISTING                     | CHARCOAL QC-160T2 - TO MATCH EXISTING      |
| 6  | (E) MANUFACTURED STONE - RICHVALE YORK CAMBRIDGE SERIES - DARK GREY - TO REMAIN                  | DIAMOND BLACK                                                | 17 | METAL PANEL - RED - TO MATCH EXISTING                                  | 'RON RED' - TO MATCH EXISTING              |
| 7  | STUCCO - TEXTURE & PATTERN TO MATCH EXISTING - MEDIUM GREY                                       | PAINTED DULUX PAINT 'REGENT GREY' MCD 41 - TO MATCH EXISTING | 18 | (E) METAL PANEL - RED - TO REMAIN                                      | 'RON RED'                                  |
| 8  | (E) STUCCO TO REMAIN - MEDIUM GREY                                                               | DULUX PAINT 'REGENT GREY' MCD 41                             | 19 | SOLID METAL PANEL SOFFIT - AD300SR - TO MATCH EXISTING                 | 'BNT WHITE' TO MATCH EXISTING              |
| 9  | METAL PANEL / RIBBON - WHITE - TO MATCH EXISTING                                                 | 'BNT WHITE' TO MATCH EXISTING                                | 20 | MASONRY - DARK GREY - TO MATCH EXISTING                                | STAINED NANKAW 'CHARCOAL GREY'             |
| 10 | (E) METAL PANEL / RIBBON - WHITE                                                                 | 'BNT WHITE'                                                  |    |                                                                        |                                            |
| 11 | (E) MASONRY - DARK GREY - TO REMAIN                                                              | DULUX PAINT 'CHAR                                            |    |                                                                        |                                            |



17 AVE. SE

45 ST. SE

45 ST. SE

47 ST. SE

48 ST. SE

19 AVE. SE

SUBJECT SITE

McDonald's Restaurants of Canada Ltd.

4400 58th Creek Drive

Burnaby, BC

V5C 6C6

Tel: 604-294-2181

COPYRIGHT

Any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Arcadis shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to Arcadis for approval before proceeding with fabrication.

COPYRIGHT © 2005

ARCADIS PROFESSIONAL SERVICES (CANADA) INC.

17th AVENUE S.E.

| DETAILS OF DEVELOPMENT      |                                  |             |          |
|-----------------------------|----------------------------------|-------------|----------|
|                             | DATA                             | REQUIRED    | PROPOSED |
| ZONING                      | MIXED-USE DISTRICT- MU-1 f3.0h16 |             |          |
|                             | FY                               | -           | 5.68m    |
|                             | RY                               | -           | 16.39m   |
|                             | SY - INT                         | -           | 37.40m   |
| SETBACK                     | SY - EXT                         | -           | 10.30m   |
|                             |                                  |             |          |
| MAX FLOOR AREA RATIO        | 3.0                              | 0.150       |          |
| LOT AREA                    |                                  | 3126.33 SM. |          |
| EXISTING RESTAURANT AREA    |                                  | 432.55 SM.  |          |
| BUILDING EXPANSION          |                                  | 25.66 SM.   |          |
| TOTAL RESTAURANT AREA       |                                  | 458.21 SM.  |          |
| GARBAGE ENCLOSURE           |                                  | 1           |          |
| LOT COVERAGE                |                                  | 14.7%       |          |
| DT STACKING                 |                                  | 15          |          |
| PARKING REQUIRED            |                                  | 18          |          |
| PARKING PROVIDED            |                                  | 34          |          |
| ACCESSIBLE PARKING PROVIDED |                                  | 2           |          |

NOTES

PARKING CALCULATION:  
GROUP B: RESTAURANT: TAKE OUT FOOD SERVICE  
4.0 MOTOR VEHICLE PARKING STALLS PER 100SQM OF GROSS USABLE FLOOR AREA:  
 $4 \times \frac{17.6}{4} = 17.6 = 18$  PARKING SPACES REQUIRED.

MIXED USE- GENERAL DISTRICT USE AREA  
1372 (2) THE MAXIMUM PUBLIC AREA FOR A RESTAURANT, FOOD SERVICE ONLY AND RESTAURANT: LICENSED IS 300.0 SQUARE METRES

- ALL SITE FEATURES ARE EXISTING UNLESS OTHERWISE NOTED.
- THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY McDONALD'S AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
- GC TO COORDINATE AND PROVIDE SERVICING LOCATES TO ARCADIS PRIOR TO CONSTRUCTION START TO CONFIRM THERE ARE NO CONFLICTS WITH PROPOSED.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED, PRIOR TO STARTING CONSTRUCTION, AND REPORT ANY DISCREPANCIES OR VARIANCES TO PROJECT MANAGER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.

LEGAL DESCRIPTION

McDonald's Restaurants of Canada Ltd.

4400 58th Creek Drive

Burnaby, BC

V5C 6C6

Tel: 604-294-2181

COPYRIGHT

Any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Arcadis shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to Arcadis for approval before proceeding with fabrication.

COPYRIGHT © 2005

ARCADIS PROFESSIONAL SERVICES (CANADA) INC.

1 NOV/21/25

PE

ISSUED FOR DP

#

DATE

BY

DESCRIPTION

DRAWING ISSUE RECORD

SEALS

SUB-CONSULTANT

PRIME CONSULTANT

ARCADIS

Arcadis Professional Services (Canada) Inc.

Suite 200, East Wing-360 James Street North |

Hamilton, ON L8L 1H5 | CANADA

T +1 905 546 1010

[www.arcadis.com](http://www.arcadis.com)

PROJECT

McDONALD'S

2141-Forest Lawn

4615 17 AVE SE, CALGARY, AB

PROJECT NO:

115567

DRAWN BY:

PE

CHK'D BY:

TW

SCALE:

1:200

DATE:

2025-08-08

SHEET TITLE

SITE PLAN

SP1.0

SHEET

1

OF

2

File Location: C:\Users\peppas377\Documents\Arcadis\AC2-US\ACA\20250808\2141-Forest Lawn\Project\Final\20\_Site Plan.dwg  
Last Saved: November 20, 2025, by: peppas377  
Printed: November 20, 2025, 1:59:47 PM by: Eppa, Page