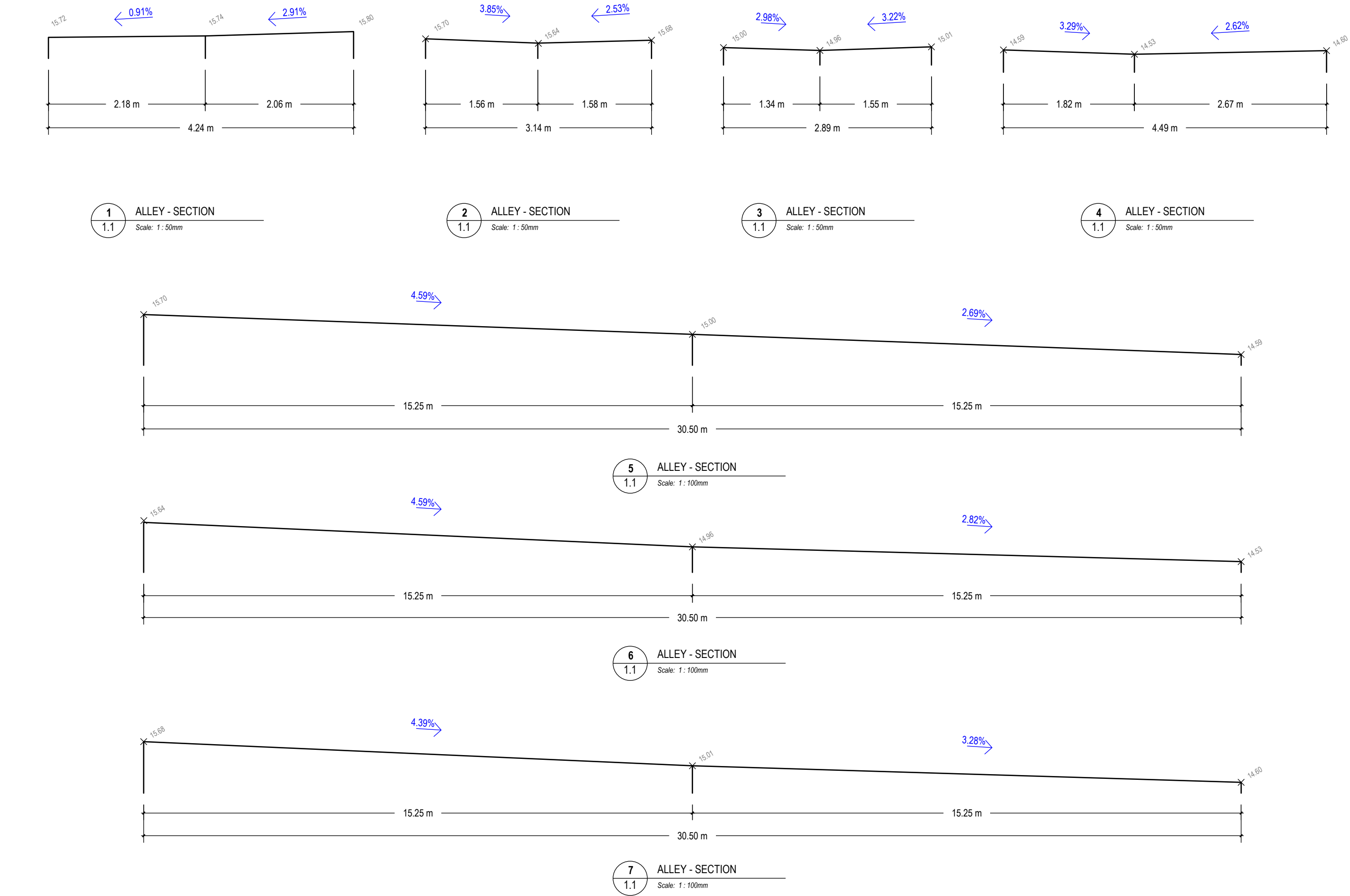


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PROGRESS DRAWING
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PLANS FOR CLIENT REVIEW ONLY



LOT KEY - SLOPE/GEODETICS/ETC.	
	GEODETIC - EXISTING
	GEODETIC - PROPOSED
	GEODETIC - SITE MEASURED +/- (NON-SURVEYOR)
	GEODETIC - EXISTING (SURVEYOR)
	SLOPE/DIRECTION OF DRAINAGE - EXISTING
	SLOPE/DIRECTION OF DRAINAGE - PROPOSED
	FENCE/GATE - ON/INSIDE SUBJECT PROPERTY LINE (MAY BE SHOWN OUTSIDE FOR REFERENCE ONLY)

BUILDING AREA		
BUILDING A		
	SQ. FT.	SQ. M.
UNIT 1		
LOWER	657	61.03
MAIN	641	59.55
UPPER	685	63.63
LOFT	0	
ABOVE GRADE	1326	123.18
UNIT 2		
LOWER	657	61.03
MAIN	641	59.55
UPPER	685	63.63
LOFT	0	
ABOVE GRADE	1326	123.18
UNIT 3		
LOWER	657	61.03
MAIN	641	59.55
UPPER	685	63.63
LOFT	0	
ABOVE GRADE	1326	123.18
UNIT 4		
LOWER	657	61.03
MAIN	657	61.03
UPPER	685	63.63
LOFT	0	
ABOVE GRADE	1342	124.67
TOTALS		
LOWER	2628	244.14
MAIN	2580	239.68
UPPER	2740	254.55
LOFT	0.00	0.00
ABOVE GRADE	5320	494.24

BUILDING AREA		
BUILDING B		
	SQ. FT.	SQ. M.
UNIT 1		
LOWER	657	61.03
MAIN	641	59.55
UPPER	685	63.63
LOFT	335	31.12
ABOVE GRADE	1661	154.31
UNIT 2		
LOWER	657	61.03
MAIN	641	59.55
UPPER	685	63.63
LOFT	335	31.12
ABOVE GRADE	1661	154.31
UNIT 3		
LOWER	657	61.03
MAIN	641	59.55
UPPER	685	63.63
LOFT	335	31.12
ABOVE GRADE	1661	154.31
UNIT 4		
LOWER	657	61.03
MAIN	657	61.03
UPPER	685	63.63
LOFT	335	31.12
ABOVE GRADE	1677	155.79
TOTALS		
LOWER	2628	244.14
MAIN	2580	239.68
UPPER	2740	254.55
LOFT	1340.00	124.48
ABOVE GRADE	6660	618.72

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BUILDING A

BUILDING B

TWO FOUR-UNIT TOWNHOMES

1740 & 1742 24 ST SW

2- 4 UNIT ROWHOMES

FOR CLIENT/ENG. FEEDBACK ONLY - PROGRESS DRAWINGS

DP APP SET		
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Version	Description	Date
1	CITY FEEDBACK MAR 11	MAR 17 2026
2	CITY FEEDBACK FEB 26	MAR 10 2026
	CITY FEEDBACK FEB 25	FEB 27 2026
	CITY FEEDBACK FEB 25	FEB 26 2026
	CITY FEEDBACK	JAN 16 2026
	ENMAX FEEDBACK	DEC 22 2025
	LENDER SET	NOV 20 2025
		NOV 14 2025
Drawn By: LHM, JC		Checked By:
General Contractor		
587 999 0130		
Marketing & Sales		
000 000 0000		
Project Address(s)		
1740 & 1742 24 ST SW		
Legal Address		
Lot(s) 13&14, Block 269, Plan 7680AN		
Client(s)/Project		
COVER		
Scale	Development Permit Number	
As Indicated	DP-2024-01951	
True North	Building Permit Number	
	BP-2024-	
Project North	Page Type	Page Number
	1.	1

Page size for scale: 5 - 0

2-4 UNIT ROW HOMES

BUILDING A

1740 & 1742 24 ST SW



BUILDING A

TWO FOUR-UNIT TOWNHOMES

2- 4 UNIT ROWHOMES

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PERMANENTLY TO THE PROJECT. CONTRACTOR AND SUBS AGREE TO VERIFY ALL
CONSTRUCTION AND INSTALLATIONS ARE TO LATEST EDITION OF ANY LOCAL
GOVERNING AUTHORITIES. DESIGNER DOES NOT PROVIDE WARRANTIES OR
WARRANTY OF FITNESS FOR USE. BEFORE CONSTRUCTION THE OWNER'S
CITY INSPECTORS TO VERIFY ALL CONSTRUCTION TO CODE & BYLAWS ARE MET WITH
ALL DIMENSIONS ARE APPROXIMATE AND TO BE VERIFIED ON SITE BEFORE
CONSTRUCTION STARTS AND/OR MATERIALS, ORDERED EXISTING CONDITIONS.
RENOVATIONS A COMMERCIAL INTERIOR PARTITION APPLICATIONS
CONTRACTOR ARE RESPONSIBLE FOR ALL WORK TO BE IN ACCORDANCE WITH
ALL WORK TO MEET SATISFACTION OF BUILDING OVERSIGHT BEFORE, DURING &
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	CITY FEEDBACK FEB 25	FEB 26 2026
	CITY FEEDBACK	JAN 16 2026
	ENMAX FEEDBACK	DEC 22 2025
1	LENDER SET	NOV 28 2025(3)
		NOV 20 2025
		NOV 14 2025

Drawn By: LHM, JC

Checked By:

General Contractor

587 999 0130

Marketing & Sales

000 000 0000

Project Address(es)

1740 & 1742 24 ST SW

Legal Address

Lot(s) 13&14, Block 269, Plan 7680AN

Client(s)/Project

Title
BUILDING A

Scale

As Indicated

Development Permit Number

DP-2024-01951

True North

Building Permit Number

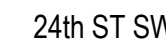
BP-2024-

Project North

Page Type

Page Number

1. 3



1	FASCIA - SOFT METAL
---	---------------------

1	FASCIA - SOFT METAL	BLACK
2	SIDING 1	VINYL - HORIZONTAL - GREY
3	SIDING 2	VINYL - GREY
4	RAILING	BLACK METAL & TEMPERED GLASS
5	MASONRY 1	GENERAL SHALE BALLPARK (RED BRICK)
6	MASONRY 2	EMPTY
7	CAP - SOFT METAL	BLACK - MATCH #1
8	ROOFING 1	METAL - STANDING SEAM - BLACK
9	ROOFING 2	MEMBRANE - DARK GREY
10	GARAGE DOOR	STEEL - BLACK 4 PANEL
11	ARCH DETAIL 1	NEWTech WOOD - HAWAIIAN CHARCOAL
12	WINDOWS/DOORS (TYPICAL)	BLACK METAL c/w SdL(un0)
13	SOFFIT (EAVES)	NEWTech WOOD US31 RED CEDAR
14	MASONRY CAP	LEDGESTONE (GREY)
15	TRIM/ARCH DETAILS/FIXTURES	BLACK
16	HANDRAIL	BLACK - GRID TYPE (MESH)
17	FOUNDATION	PARGING - TROWEL FINISH
18	STAIRS	PRECAST or POURED ONSITE - EXP. AGG - DARK GREY
19	EAVESTROUGH/DOWNSPOUT	5" SQUARE BENT - BLACK -- MATCH #1
20	SIDING	JAMES HARDIE - PANEL - BLACK - MATCH #12
21	FIXTURES/PERFORATIONS/VENTS	BLACK (MANUF) or PAINT BLACK

ELEVATION - WEST (BUILDING A) - (BUILDING A)

Manufactured Windows, Doors & Skylights - West Elevation

Manufactured Windows, Doors & Skylights - West Elevation		
Product Height (Above ground to top of product)		10 metres
Performance Class	R	
Terrain		Rough
Performance Grade	PG25	
Min. Water Penetration Resistance Test Pressure		260PA
Min. Positive Design Pressure		1200PA
Min. Negative Design Pressure		1200PA
Minimum Canadian Air Infiltration/Exfiltration		A2

9.36.2.7 WINDOW PERFORMANCE MINIMUMS



2 SUITE STAIRS & WINDOW DOOR VIEW
1.4 Scale: NTS

2- 4 UNIT ROWHOMES

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General Notes

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DO NOT SCALE DRAWINGS.

TEMPORARY ON SITE SAFETY GUARDS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

FUNDING AGENCY SHALL NOT BE RESPONSIBLE FOR BYLAWS AND CODES (LIMITED TO ONLY PERTAINING TO THIS PROJECT - CONTRACTOR SUB-TRADES TO VERIFY COMPLIANCE WITH ALL APPLICABLE BYLAWS AND CODES).

GOVERNING AUTHORITIES - DESIGNER TO BE NOTIFIED IMMEDIATELY SHOULD ANY CHANGES TO ANY APPLICABLE BYLAWS AND CODES BE REQUIRED. ACCORDANCE TO PLANS CAN BE MADE BEFORE CONSTRUCTION STARTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CODES & BYLAWS APPLICABLE TO THIS PROJECT BEFORE BEING COVERED.

ALL DIMENSIONS ARE APPROXIMATE AND TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. SPOILED EXISTING FOUNDATIONS SHALL BE RECONSTRUCTED TO MEET COMMERCIAL INTERIOR PARTITION WALLS.

CONTRACTOR RESPONSIBLE FOR ALL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING, FIRE, AND ELECTRICAL CODES AND REGULATIONS. LANDSCAPING DESIGNER'S RULES & REGULATIONS AND DESIGN TO BE VERIFIED BEFORE COMMENCEMENT OF CONSTRUCTION.

AFTER CONSTRUCTION.

THIS ISSUE OF PLANS ARE MEANT SOLELY FOR THE PURPOSE OF DEVELOPMENT OF CONSTRUCTION DOCUMENTS.

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Version	Description	Date
	CITY FEEDBACK MAR 11	MAR 17 2026
		MAR 10 2026
2	CITY FEEDBACK FEB 26	FEB 27 2026
	CITY FEEDBACK FEB 25	FEB 26 2026
	CITY FEEDBACK	JAN 16 2026
	ENMAX FEEDBACK	DEC 22 2025
1	LENDER SET	NOV 28 2025(3
		NOV 20 2025
		NOV 14 2025

Drawn By: LHM, JC Checked By:

Drawn By: LHM, JC Checked By:

General Contractor

587 999 0130

Marketing & Sales

000 000 0000

Project Address(s)
1740 & 1742 24 ST SW

Legal Address

Lot(s) 13&14, Block 269, Plan 7680AN

Client(s)/Project

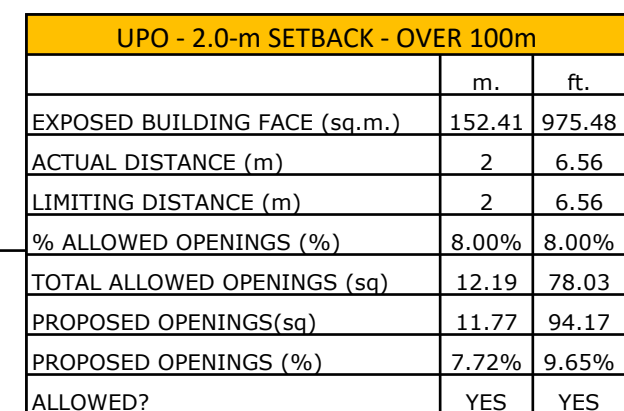
Title
ELEVATION - WEST (BUILDING A)

Scale	Development Permit Number
As Indicated	DP-2024-01951

True North	Building Permit Number BP-2024-
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Project North	Page Type	Page Number
	1	1

14



2- 4 UNIT ROWHOMES

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Calgary, Alberta, T2M 3Y7
Tel: (403) 891 1483 / Fax: (403)
220 1389

1.5

FOR CLIENT/ENG. FEEDBACK ONLY - PROGRESS DRAWINGS

BUILDING A



Manufactured Windows, Doors & Skylights - North Elevation		
Product Height (Above ground to top of product)	R	10 metres
Performance Class	R	
Terrain		Rough
Performance Grade	PG25	
Min. Water Penetration Resistance Test Pressure		260PA
Min. Positive Design Pressure		1200PA
Min. Negative Design Pressure		1200PA
Minimum Canadian Air Infiltration/Exfiltration		A2

9.36.2.7 WINDOW PERFORMANCE MINIMUMS
REQUIRED THERMAL CHARACTERISTICS OF FENESTRATIONS & DOORS
ZONE: 7A
MAX U VALUE: 1.60
MIN. ENERGY RATING: 25

FINISH SCHEDULE - 1740 & 1742 24 ST SW		
1	FASCIA - SOFT METAL	BLACK
2	SIDING 1	VINYL - HOZONTAL - GREY
3	SIDING 2	VINYL - GREY
4	RAILING	BLACK METAL & TEMPERED GLASS
5	MASONRY 1	GENERAL SHALE BALLPARK (RED BRICK)
6	MASONRY 2	EMPTY
7	CAP - SOFT METAL	BLACK - MATCH #1
8	ROOFING 1	METAL - STANDING SEAM - BLACK
9	ROOFING 2	MEMBRANE - DARK GREY
10	GARAGE DOOR	STEEL - BLACK 4 PANEL
11	ARCH DETAIL 1	NEWTech WOOD - HAWAIIAN CHARCOAL
12	WINDOWS/DOORS (TYPICAL)	BLACK METAL c/w SDL(unco)
13	SOFFIT (EAVES)	NEWTech WOOD US31 RED CEDAR
14	MASONRY CAP	LEDGESTONE (GREY)
15	TRIM/ARCH DETAILS/FIXTURES	BLACK
16	HANDRAIL	BLACK - GRID TYPE (MESH)
17	FOUNDATION	PARGING - TROWEL FINISH
18	STAIRS	PRECAST or POURED ONSITE - EXP. AGG - DARK GREY
19	EAVESTROUGH/DOWNSPOUT	5" SQUARE BENT - BLACK -- MATCH #1
20	SIDING	JAMES HARDIE - PANEL - BLACK - MATCH #12
21	FIXTURES/PERFORATIONS/VENTS	BLACK (MANUF) or PAINT BLACK

Manufactured Windows, Doors & Skylights - South Elevation		
Product Height (Above ground to top of product)	R	10 metres
Performance Class	R	
Terrain		Rough
Performance Grade	PG25	
Min. Water Penetration Resistance Test Pressure		260PA
Min. Positive Design Pressure		1200PA
Min. Negative Design Pressure		1200PA
Minimum Canadian Air Infiltration/Exfiltration		A2

9.36.2.7 WINDOW PERFORMANCE MINIMUMS
REQUIRED THERMAL CHARACTERISTICS OF FENESTRATIONS & DOORS
ZONE: 7A
MAX U VALUE: 1.60
MIN. ENERGY RATING: 25

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PERMANENTLY TO THE PROJECT. CONTRACTOR AND SUBS TO VERIFY ALL
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CONSTRUCTION OF ANY WORK. BEFORE CONSTRUCTION, THE
CITY INSPECTORS TO VERIFY ALL CONSTRUCTION TO CODE & BYLAWS ARE MET WITH
ALL DIMENSIONS ARE APPROXIMATE AND TO BE VERIFIED ON-SITE BEFORE
CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL WORK TO BE IN ACCORDANCE WITH
RELEVANT LOCAL BUILDING CODES, REGULATIONS AND BYLAWS.
RENOVATIONS & COMMERCIAL INTERIOR PARTITION APPLICATIONS
CONTRACTOR IS RESPONSIBLE FOR ALL WORK TO BE IN ACCORDANCE WITH
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Version	Description	Date
1	CITY FEEDBACK MAR 11	MAR 17 2026
2	CITY FEEDBACK FEB 26	FEB 27 2026
2	CITY FEEDBACK FEB 25	FEB 26 2026
1	CITY FEEDBACK ENMAX FEEDBACK LENDER SET	JAN 16 2026 DEC 22 2025 NOV 20 2025 NOV 14 2025

Drawn By: LHM, JC Checked By:

General Contractor

587 999 0130

Marketing & Sales

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Project Address(s)

1740 & 1742 24 ST SW

Legal Address

Lot(s) 13&14, Block 269, Plan 7680AN

Client(s)/Project

Title
ELEVATIONS - NORTH & SOUTH
(BUILDING A)

Scale
As Indicated

Development Permit Number
DP-2024-01951

Building Permit Number
BP-2024-

Project North

Page Type

Page Number

1.6

2- 4 UNIT ROWHOMES

BUILDING B

1740 & 1742 24 ST SW



BUILDING B

TWO FOUR-UNIT TOWNHOMES

2- 4 UNIT ROWHOMES

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	CITY FEEDBACK	JAN 16 2026
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	LENDER SET	NOV 28 2025(3)
		NOV 20 2025
		NOV 14 2025

Drawn By: LHM, JC

Checked By:

General Contractor

587 999 0130

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Project Address(s)

1740 & 1742 24 ST SW

Legal Address

Lot(s) 13&14, Block 269, Plan 7680AN

Client(s)/Project

Title
BUILDING B

Scale	Development Permit Number
As Indicated	DP-2024-01951
True North	Building Permit Number
	BP-2024-

Project North	Page Type	Page Number
		1. 8

BUILDING B



24th ST SW

Manufactured Windows, Doors & Skylights - West Elevation			
Product Height (Above ground to top of product)	R	10 metres	
Performance Class		Rough	
Terrain			
Performance Grade	PG25		
Min. Water Penetration Resistance Test Pressure		260PA	
Min. Positive Design Pressure		1200PA	
Min. Negative Design Pressure		1200PA	
Minimum Canadian Air Infiltration/Exfiltration		A2	

9.36 2.7 WINDOW PERFORMANCE MINIMUMS
REQUIRED THERMAL CHARACTERISTICS OF FENESTRATIONS & DOORS
ZONE: 1A
MAX U VALUE: 1.60
MIN. ENERGY RATING: 25

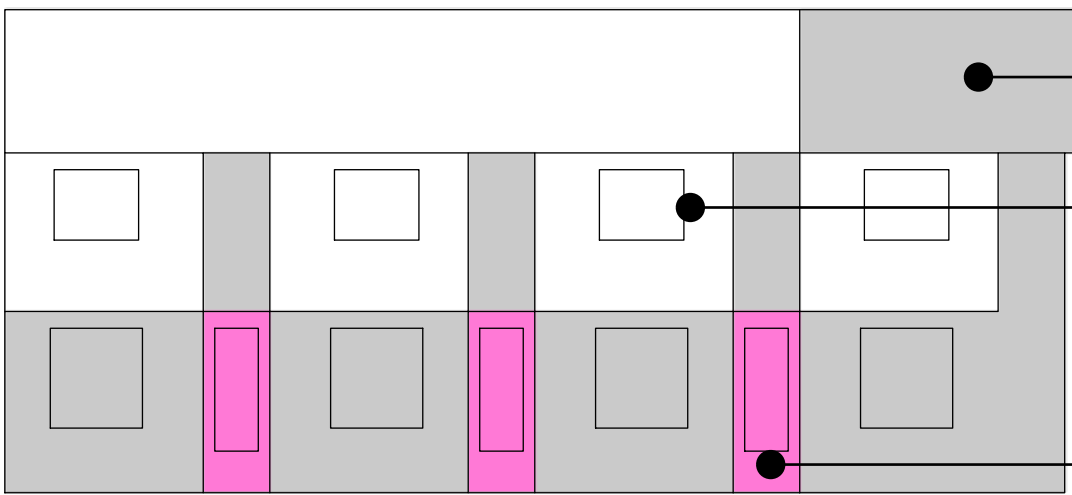
1 ELEVATION - WEST (BUILDING B) -
1.8 Scale: 1/4" = 1'-0"

UPO - 3.32m SETBACK - MAX 100m		
	m.	ft.
EXPOSED BUILDING FACE (sq.m.)	93.83	975.48
ACTUAL DISTANCE (m)	3.32	10.89
LIMITING DISTANCE (m)	3.32	10.89
% ALLOWED OPENINGS (%)	14.94%	14.94%
TOTAL ALLOWED OPENINGS (sq)	14.01	145.73
PROPOSED OPENINGS(sq)	14.49	94.17
PROPOSED OPENINGS (%)	15.44%	9.65%
ALLOWED?	YES	YES

UPO - 4.43m SETBACK - MAX 30m		
	m.	ft.
EXPOSED BUILDING FACE (sq.m.)	14.25	975.48
ACTUAL DISTANCE (m)	4.43	14.53
LIMITING DISTANCE (m)	4.43	14.53
% ALLOWED OPENINGS (%)	50.27%	50.27%
TOTAL ALLOWED OPENINGS (sq)	7.16	490.37
PROPOSED OPENINGS(sq)	6.32	94.17
PROPOSED OPENINGS (%)	44.35%	9.65%
ALLOWED?	YES	YES

UPO - 2.75m SETBACK - MAX 100m		
	m.	ft.
EXPOSED BUILDING FACE (sq.m.)	94.37	975.48
ACTUAL DISTANCE (m)	2.75	9.02
LIMITING DISTANCE (m)	2.75	9.02
% ALLOWED OPENINGS (%)	12.37%	12.37%
TOTAL ALLOWED OPENINGS (sq)	11.67	120.66
PROPOSED OPENINGS(sq)	9.37	94.17
PROPOSED OPENINGS (%)	9.92%	9.65%
ALLOWED?	YES	YES

FINISH SCHEDULE - 1740 & 1742 24 ST SW		
1	FASCIA - SOFT METAL	BLACK
2	SIDING 1	VINYL - HORIZONTAL - GREY
3	SIDING 2	VINYL - GREY
4	RAILING	BLACK METAL & TEMPERED GLASS
5	MASONRY 1	GENERAL SHALE BALLPARK (RED BRICK)
6	MASONRY 2	EMPTY
7	CAP - SOFT METAL	BLACK - MATCH #1
8	ROOFING 1	METAL - STANDING SEAM - BLACK
9	ROOFING 2	MEMBRANE - DARK GREY
10	GARAGE DOOR	STEEL - BLACK 4 PANEL
11	ARCH DETAIL 1	NEWTECH WOOD - HAWAIIAN CHARCOAL
12	WINDOWS/DOORS (TYPICAL)	BLACK METAL c/w SDL(unco)
13	SOFFIT (EAVES)	NEWTECH WOOD US31 RED CEDAR
14	MASONRY CAP	LEDGESTONE (GREY)
15	TRIM/ARCH DETAILS/FIXTURES	BLACK
16	HANDRAIL	BLACK - GRID TYPE (MESH)
17	FOUNDATION	PARGING - TROWEL FINISH
18	STAIRS	PRECAST or POURED ONSITE - EXP. AGG - DARK GREY
19	EAVESTROUGH/DOWNSPOUT	5" SQUARE BENT - BLACK -- MATCH #1
20	SIDING	JAMES HARDIE - PANEL - BLACK - MATCH #12
21	FIXTURES/PERFORATIONS/VENTS	BLACK (MANUF) or PAINT BLACK



2- 4 UNIT ROWHOMES

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QUALITY INSPECTIONS BEFORE BEING COVERED
ALL DIMENSIONS ARE APPROXIMATE AND TO BE VERIFIED ON SITE BEFORE
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AFTER CONSTRUCTION ONLY
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Version	Description	Date
1	CITY FEEDBACK MAR 11	MAR 17 2026
2	CITY FEEDBACK FEB 26	FEB 27 2026
2	CITY FEEDBACK FEB 25	FEB 26 2026
1	CITY FEEDBACK	JAN 16 2026
1	ENHANCED FEEDBACK	DEC 22 2025
1	LENDER SET	NOV 28 2025(3)
1		NOV 20 2025
1		NOV 14 2025

Drawn By: LHM, JC Checked By:

General Contractor

587 999 0130

Marketing & Sales

000 000 0000

Project Address(s)

1740 & 1742 24 ST SW

Legal Address

Lot(s) 13&14, Block 269, Plan 7680AN

Client(s)/Project

Title
ELEVATION - WEST (BUILDING B)

Scale

As Indicated

Development Permit Number

DP-2024-01951

True North

Building Permit Number

BP-2024-

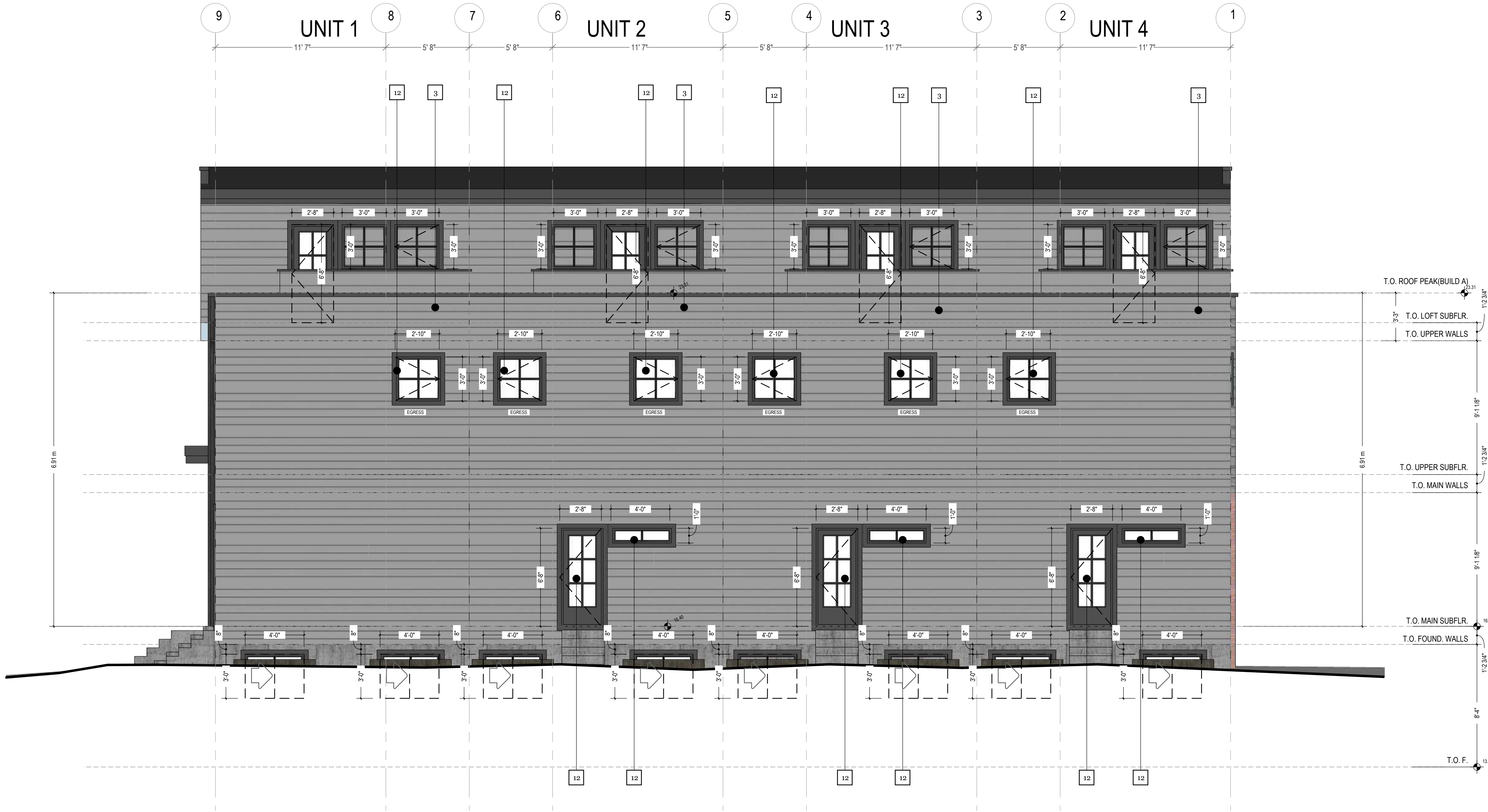
Project North

Page Type

Page Number

1.9

BUILDING B

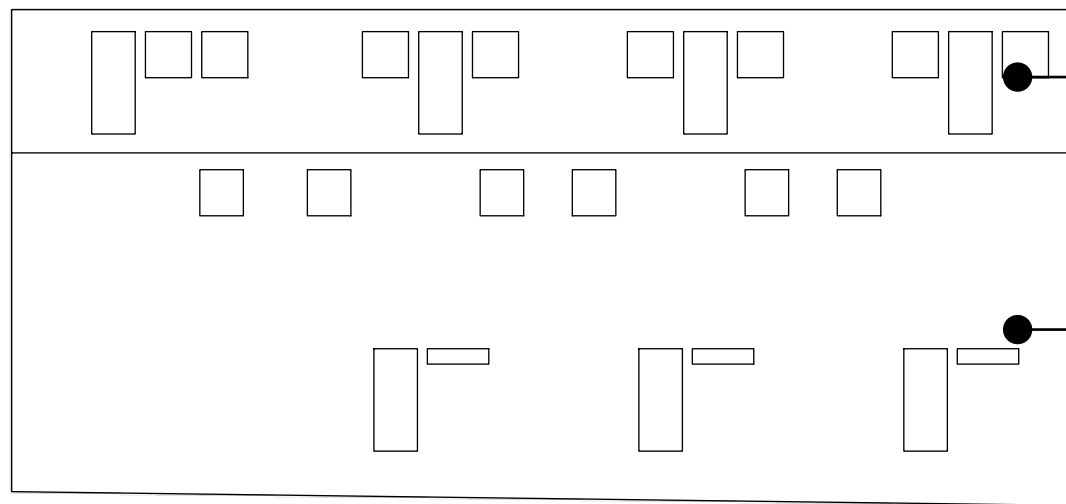


Manufactured Windows, Doors & Skylights - West Elevation			
Product Height (Above ground to top of product)	10 metres		
Performance Class	R	Rough	
Terrain	PG25		
Performance Grade			
Min. Water Penetration Resistance Test Pressure	260PA		
Min. Positive Design Pressure	1200PA		
Min. Negative Design Pressure	1200PA		
Minimum Canadian Air Infiltration/Exfiltration	A2		

9.36.2.7 WINDOW PERFORMANCE MINIMUMS
REQUIRED THERMAL CHARACTERISTICS OF FENESTRATIONS & DOORS
ZONE: TA
MAX U VALUE: 1.60
MIN. ENERGY RATING: 25

1 ELEVATION - EAST (BUILDING B)
Scale: 1/8" = 1'-0"

FINISH SCHEDULE - 1740 & 1742 24 ST SW		
1	FASCIA - SOFT METAL	BLACK
2	SIDING 1	VINYL - HORIZONTAL - GREY
3	SIDING 2	VINYL - GREY
4	RAILING	BLACK METAL & TEMPERED GLASS
5	MASONRY 1	GENERAL SHALE BALLPARK (RED BRICK)
6	MASONRY 2	EMPTY
7	CAP - SOFT METAL	BLACK - MATCH #1
8	ROOFING 1	METAL - STANDING SEAM - BLACK
9	ROOFING 2	MEMBRANE - DARK GREY
10	GARAGE DOOR	STEEL - BLACK 4 PANEL
11	ARCH DETAIL 1	NEWTECH WOOD - HAWAIIAN CHARCOAL
12	WINDOWS/DOORS (TYPICAL)	BLACK METAL c/w SDL(unco)
13	SOFFIT (EAVES)	NEWTECH WOOD US31 RED CEDAR
14	MASONRY CAP	LEDGESTONE (GREY)
15	TRIM/ARCH DETAILS/FIXTURES	BLACK
16	HANDRAIL	BLACK - GRID TYPE (MESH)
17	FOUNDATION	PARGING - TROWEL FINISH
18	STAIRS	PRECAST or POURED ONSITE - EXP. AGG - DARK GREY
19	EAVESTROUGH/DOWNSPOUT	5" SQUARE BENT - BLACK -- MATCH #1
20	SIDING	JAMES HARDIE - PANEL - BLACK - MATCH #12
21	FIXTURES/PERFORATIONS/VENTS	BLACK (MANUF) or PAINT BLACK



2 UPO - EAST (BUILDING A)
Scale: 1/8" = 1'-0"

UPO - 6.18m SETBACK - MAX 100m		
	m.	ft.
EXPOSED BUILDING FACE (sq.m.)	59.36	975.48
ACTUAL DISTANCE (m)	6.18	20.27
LIMITING DISTANCE (m)	6.18	20.27
% ALLOWED OPENINGS (%)	35.98%	35.98%
TOTAL ALLOWED OPENINGS (sq)	21.35	350.97
PROPOSED OPENINGS(sq)	13.71	94.17
PROPOSED OPENINGS (%)	23.09%	9.65%
ALLOWED?	YES	YES

UPO - 2.0m SETBACK - OVER 100m		
	m.	ft.
EXPOSED BUILDING FACE (sq.m.)	144.23	975.48
ACTUAL DISTANCE (m)	2	6.56
LIMITING DISTANCE (m)	2	6.56
% ALLOWED OPENINGS (%)	8.00%	8.00%
TOTAL ALLOWED OPENINGS (sq)	11.53	78.03
PROPOSED OPENINGS(sq)	11.12	94.17
PROPOSED OPENINGS (%)	7.70%	9.65%
ALLOWED?	YES	YES

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1		NOV 20 2025
1		NOV 14 2025

Drawn By: LHM, JC
Checked By:

General Contractor

587 999 0130

Marketing & Sales

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Project Address(s)
1740 & 1742 24 ST SW

Legal Address
Lot(s) 13&14, Block 269, Plan 7680AN

Client(s)/Project
[REDACTED]

Title
ELEVATION - EAST (BUILDING B)

Scale	Development Permit Number
As Indicated	DP-2024-01951
True North	Building Permit Number BP-2024-
Project North	Page Type Page Number

1. 10

2- 4 UNIT ROWHOMES

BUILDING B

UNIT 4

UNIT 1



1 ELEVATION - (NORTH - BUILD. A)
1.11 Scale: 1/4" = 1'-0"

1 ELEVATION - (SOUTH - BUILD. B)
1.11 Scale: 1/4" = 1'-0"

Manufactured Windows, Doors & Skylights - North Elevation		
Product Height (Above ground to top of product)	R	10 metres
Performance Class	R	
Terrain		Rough
Performance Grade	PG25	
Min. Water Penetration Resistance Test Pressure		260PA
Min. Positive Design Pressure		1200PA
Min. Negative Design Pressure		1200PA
Minimum Canadian Air Infiltration/Exfiltration		A2

9.36.2.7 WINDOW PERFORMANCE MINIMUMS
REQUIRED THERMAL CHARACTERISTICS OF FENESTRATIONS & DOORS
ZONE: 7A
MAX U VALUE: 1.60
MIN. ENERGY RATING: 25

FINISH SCHEDULE - 1740 & 1742 24 ST SW		
1	FASCIA - SOFT METAL	BLACK
2	SIDING 1	VINYL - HOZONTAL - GREY
3	SIDING 2	VINYL - GREY
4	RAILING	BLACK METAL & TEMPERED GLASS
5	MASONRY 1	GENERAL SHALE BALLPARK (RED BRICK)
6	MASONRY 2	EMPTY
7	CAP - SOFT METAL	BLACK - MATCH #1
8	ROOFING 1	METAL - STANDING SEAM - BLACK
9	ROOFING 2	MEMBRANE - DARK GREY
10	GARAGE DOOR	STEEL - BLACK 4 PANEL
11	ARCH DETAIL 1	NEWTECH WOOD - HAWAIIAN CHARCOAL
12	WINDOWS/DOORS (TYPICAL)	BLACK METAL c/w SDL(unco)
13	SOFFIT (EAVES)	NEWTECH WOOD US31 RED CEDAR
14	MASONRY CAP	LEDGESTONE (GREY)
15	TRIM/ARCH DETAILS/FIXTURES	BLACK
16	HANDRAIL	BLACK - GRID TYPE (MESH)
17	FOUNDATION	PARGING - TROWEL FINISH
18	STAIRS	PRECAST or POURED ONSITE - EXP. AGG - DARK GREY
19	EAVESTROUGH/DOWNSPOUT	5" SQUARE BENT - BLACK -- MATCH #1
20	SIDING	JAMES HARDIE - PANEL - BLACK - MATCH #12
21	FIXTURES/PERFORATIONS/VENTS	BLACK (MANUF) or PAINT BLACK

Manufactured Windows, Doors & Skylights - South Elevation		
Product Height (Above ground to top of product)	R	10 metres
Performance Class	R	
Terrain		Rough
Performance Grade	PG25	
Min. Water Penetration Resistance Test Pressure		260PA
Min. Positive Design Pressure		1200PA
Min. Negative Design Pressure		1200PA
Minimum Canadian Air Infiltration/Exfiltration		A2

9.36.2.7 WINDOW PERFORMANCE MINIMUMS
REQUIRED THERMAL CHARACTERISTICS OF FENESTRATIONS & DOORS
ZONE: 7A
MAX U VALUE: 1.60
MIN. ENERGY RATING: 25

2- 4 UNIT ROWHOMES

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Drawn By: LHM, JC Checked By:		
General Contractor		
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Project Address(es) 1740 & 1742 24 ST SW		
Legal Address Lot(s) 13&14, Block 269, Plan 7680AN		
Client(s)/Project [REDACTED]		
Title ELEVATIONS - NORTH & SOUTH (BUILDING B)		
Scale	Development Permit Number	
As Indicated	DP-2024-01951	
True North	Building Permit Number	
	BP-2024-	
Project North	Page Type	Page Number
		1. 11