

# CALGARY WINTER CLUB RENOVATION



STRUCTURAL



CIVIL



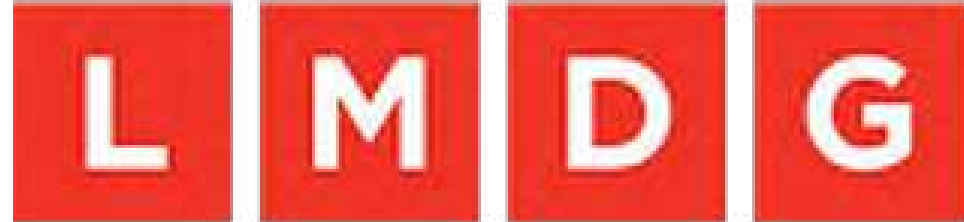
MECHANICAL



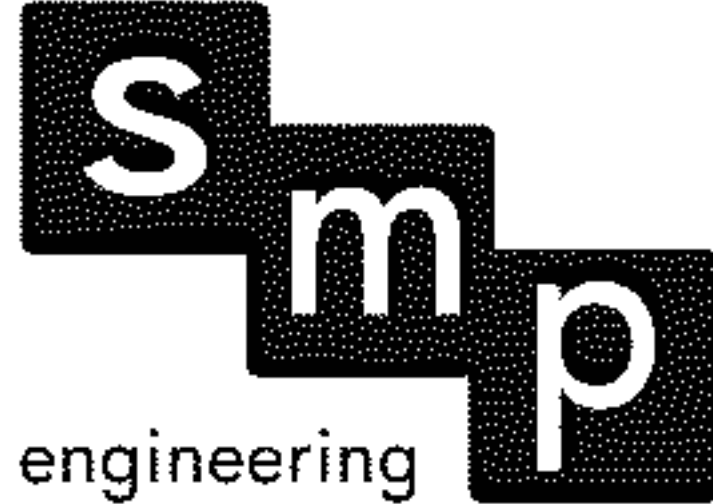
LANDSCAPE



CODE



ELECTRICAL



## DRAWING INDEX

### ARCHITECTURE

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| DP10.01 | CONTEXT PLAN & PROJECT STATISTICS |
| DP10.03 | EXISTING SITE PLAN                |
| DP10.04 | PROPOSED SITE PLAN                |
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### LANDSCAPE

|    |                                    |
|----|------------------------------------|
| L1 | TREE INVENTORY AND PROTECTION PLAN |
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### CIVIL

|      |                                |
|------|--------------------------------|
| C-01 | SITE GRADING PLAN              |
| C-02 | SITE GRADING PLAN              |
| C-03 | BOUNDARY PROFILES AND SECTIONS |

### ELECTRICAL

|          |                                   |
|----------|-----------------------------------|
| DPE10.01 | SITE PLAN - LIGHTING CALCULATIONS |
| DPE10.02 | SITE PLAN - LIGHTING TAGS         |
| DPE10.03 | DETAILS                           |

### STRUCTURAL

|        |                        |
|--------|------------------------|
| DP51.0 | RETAINING WALL DETAILS |
|--------|------------------------|

ISSUED FOR: DEVELOPMENT PERMIT  
NOVEMBER 28TH, 2025



**GGA-ARCHITECTURE**  
350 140 10 Avenue SE Calgary, AB. T2G 0R1  
Phone: 403.233.2000 Fax: 403.264.2077

PROJECT NAME  
CALGARY WINTER CLUB  
RENOVATION  
PROJECT ADDRESS  
4611 14 STREET NW  
CALGARY, ALBERTA T2K 5Y1

DEVELOPMENT PERMIT:  
  
  
  
  
  
PROJECT NUMBER:

25050

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1. EXISTING POWER POLE TO REMAIN
2. EXISTING STREET SIGNAGE TO REMAIN
3. EXISTING HYDRANT TO REMAIN
4. EXISTING DRIVEWAY TO REMAIN
5. EXISTING WOOD FENCE TO REMAIN
6. EXISTING CHAINLINK FENCE TO REMAIN
7. EXISTING PUBLIC WASHROOMS TO REMAIN
8. EXISTING CONNECTION TO NOSE HILL PARK TRAIL TO REMAIN
9. EXISTING LANDSCAPING TO REMAIN
10. EXISTING CURB/ISLAND TO REMAIN
11. EXISTING CATCH BASIN TO REMAIN
12. EXISTING UTILITY BOX TO REMAIN
13. EXISTING LIGHT STANDARD TO REMAIN
14. EXISTING CONCRETE RETAINING WALL TO REMAIN
15. EXISTING SIGNAGE TO BE DEMOLISHED
16. EXISTING CURB/ISLAND TO BE DEMOLISHED
17. EXISTING FENCE TO BE DEMOLISHED
18. EXISTING LIGHT STANDARD TO BE DEMOLISHED
19. EXISTING UTILITY VAULT TO REMAIN
20. EXISTING HYDRANT TO BE RELOCATED



VEHICLE PARKING

EXISTING TO REMAIN 214 STALLS  
EXISTING BARRIER FREE STALLS 11 STALLS  
EXISTING TO BE REMOVED 237 STALLS

PROPOSED NEW STALLS 254 STALLS  
PROPOSED NEW BARRIER FREE 11 STALLS

TOTAL EXISTING PARKING 462 STALLS  
TOTAL PROPOSED PARKING 479 STALLS  
NEW STALLS NET GAIN +17 STALLS

TOTAL SITE AREA  
38,656.450 SQM

PHASE 2 SCOPE OF WORK  
PROPOSED DEVELOPMENT AREA  
1060 SQM. ADDITION

PHASE 1 SCOPE OF WORK  
PROPOSED DEVELOPMENT AREA  
+/- 13,000 SQM. ADDITION

PROPOSED CALGARY WINTER CLUB

MAIN FLOOR GEODETIC ELEVATION 1147.51  
35,179.00 SQM. GFA  
BUILDING CLASSIFICATION A2

PHASE 1 SCOPE OF WORK  
PROPOSED DEVELOPMENT AREA  
+/-38.00 SQM.

- NOTES:
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing unless noted otherwise.
  - Note when required minimum clear dimensions will be identified.
  - Verify all dimensions, elevations, and datum; report any errors and/ or discrepancies to the architect prior to construction
  - Do not scale drawings.
  - This drawing supersedes previous issues.
  - Do not use alphabetic revision iterations for pricing.

GENERAL NOTES

1. REFER TO CIVIL DRAWINGS FOR ASPHALT REQUIREMENTS
2. REFER TO CIVIL DRAWINGS FOR MAIN FLOOR GEODETICS
3. REFER TO CIVIL DRAWINGS FOR SITE WORK AND DETAILS INCLUDING: BUT NOT LIMITED TO CATCH BASIN, MANHOLES, GRADES, LOCATION OF CURBS & TYPES OF CURBS, CONCRETE RETAINING WALL
4. REFER TO ELECTRICAL DRAWINGS FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO LIGHTING LAYOUT AND FIXTURE TYPES
5. REFER TO LANDSCAPE DRAWINGS FOR SITE WORK AND DETAILS INCLUDING BUT LIMITED TO PLANT LIST AND PLATING DETAILS
6. 150 mm CONCRETE CURBS THROUGHOUT SITE, TYPICAL

KEYNOTE LEGEND

1. PROPOSED FIRE HYDRANT
2. PROPOSED FIRE DEPARTMENT CONNECTION
3. PROPOSED GARBAGE ENCLOSURE
4. EXISTING LOADING STALL - TO REMAIN
5. PROPOSED BARRIER FREE CURB CUT
6. PROPOSED PAINTED CROSSWALK
7. PROPOSED ROLL CURB - REFER TO DP 10.05
8. PROPOSED RAISED PAVEMENT PEDESTRAIN ZONE
9. PROPOSED 150mm RAMP - MAX. SLOPE 4%
10. PROPOSED CONCRETE WHEEL STOPS TYP.
11. PROPOSED BOLLARDS TYP.
12. PROPOSED CONCRETE RETAINING WALL - REFER TO DP51.0
13. PROPOSED FLAG POLE
14. EXISTING SIGNAGE TO REMAIN
15. EXISTING POWER SOURCE FOR SIGNAGE TO REMAIN
16. PROPOSED BARRIER FREE PARKING STALL SIGNAGE
17. PROPOSED DROP-OFF PARKING STALL SIGNAGE
18. PROPOSED GREASE AND ORGANIC WASTE PICKUP LOCATION
19. PROPOSED CURB CUT
20. PROPOSED PAINTED
21. PROPOSED BARRIER FREE RAMP
22. PROPOSED BOLLARDS - REFER TO DP10.05

SITE LEGEND

- EXISTING PARKING STALLS - TO REMAIN
- PROPOSED PARKING STALLS
- EXISTING ASPHALT - TO REMAIN, REFER TO CIVIL DRAWINGS FOR EXISTING GRADES
- EXISTING HEAVY DUTY ASPHALT - TO REMAIN, REFER TO CIVIL DRAWINGS FOR EXISTING GRADES
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED 150mm CONCRETE SIDEWALK
- PROPOSED RASIED PEDESTRAIN ZONE
- PROPOSED PRIMARY ENTRANCE
- PROPOSED BARRIER FREE PARKING STALL UNLOADING
- PROPOSED LANDSCAPING - REFER TO LANDSCAPE PLANS

DEVELOPMENT PERMIT 2025-11-28

No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project Project Number: 25050

CALGARY WINTER CLUB

RENOVATION

4611 14 STREET NW

CALGARY, ALBERTA T2K 5Y1

Legal Description Building Permit No.

1011446; 1; 3

Development Permit No. DSSP No.

350,140-10 Ave SE

Calgary, Alberta.

T2G 0R1

Ph: 403.233.2000

Fax: 403.264.2077

GGA-ARCHITECTURE

Drawing Title

PROPOSED SITE PLAN

Drawn by: Author Scale

Reviewed by: 1 : 300

Manager: Date (YYYY-MM-DD)

Tech Review:

Drawing Number Drawing Package

DP10.04 Revision Number

1 PROPOSED SITE PLAN  
DP10.04 1 : 300

- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing unless noted otherwise.
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**EXTERIOR ABBREVIATIONS**

|      |                                   |
|------|-----------------------------------|
| MT-1 | COMPOSITE METAL PANEL - DARK      |
| MT-2 | PAINTED METAL PANEL               |
| MT-3 | RAW STEEL - WAXED OR CLEAR FINISH |
| F    | FLASHING                          |
| GL-1 | GLAZING                           |
| GL-2 | SPANDRAL PANEL                    |
| MC-1 | MASONRY CLADDING                  |
| MD   | HOLLOW METAL DOOR                 |
| WT   | WINDOW TREATMENT                  |
| C    | EXPOSED CONCRETE                  |
| WS   | WOODLOOK SOFFIT                   |
| RL-1 | PAINTED METAL RAILING             |
| RL-2 | FRAMELESS GLASS RAILING           |
| FC   | FIBRE CEMENT PANEL                |

NOTE: REFER TO EXTERIOR FINISH MATERIAL LIST FOR ADDITIONAL INFORMATION & FINISH TYPES.

**GENERAL NOTES**

MATERIAL TAGS ONLY APPLIED TO NEW MATERIALS NOT WHAT IS EXISTING TO REMAIN.

DEVELOPMENT PERMIT 2025-11-28  
No. Description Date (YYYY-MM-DD)

**Issued For / Revisions**

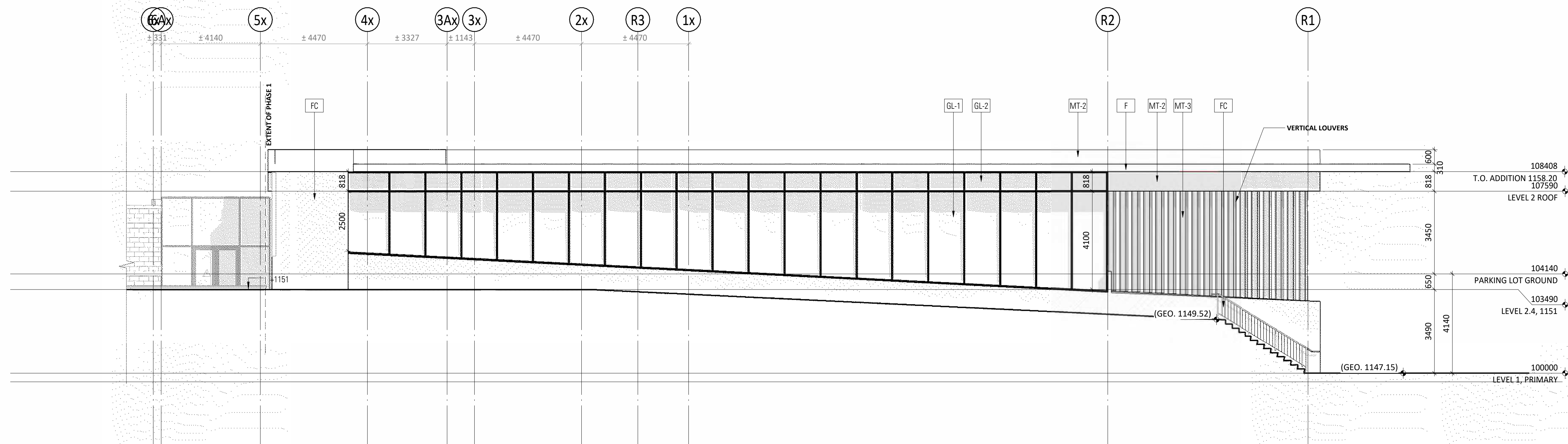
|                                               |                       |
|-----------------------------------------------|-----------------------|
| Project                                       | Project Number: 25050 |
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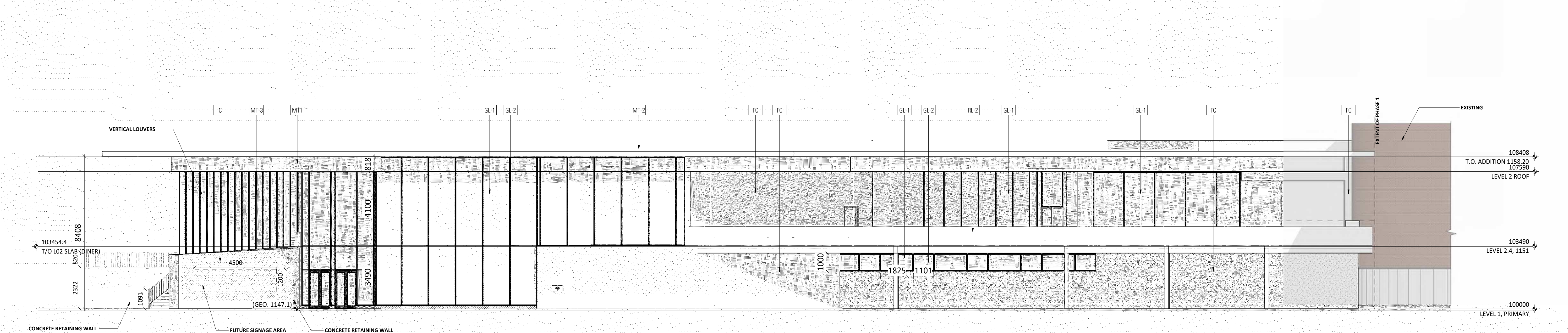
Drawing Title  
**BUILDING ELEVATIONS**

|                  |                   |
|------------------|-------------------|
| Drawn by: Author | Scale             |
| Reviewed by:     | As indicated      |
| Manager:         | Date (YYYY-MM-DD) |
| Tech Review:     |                   |

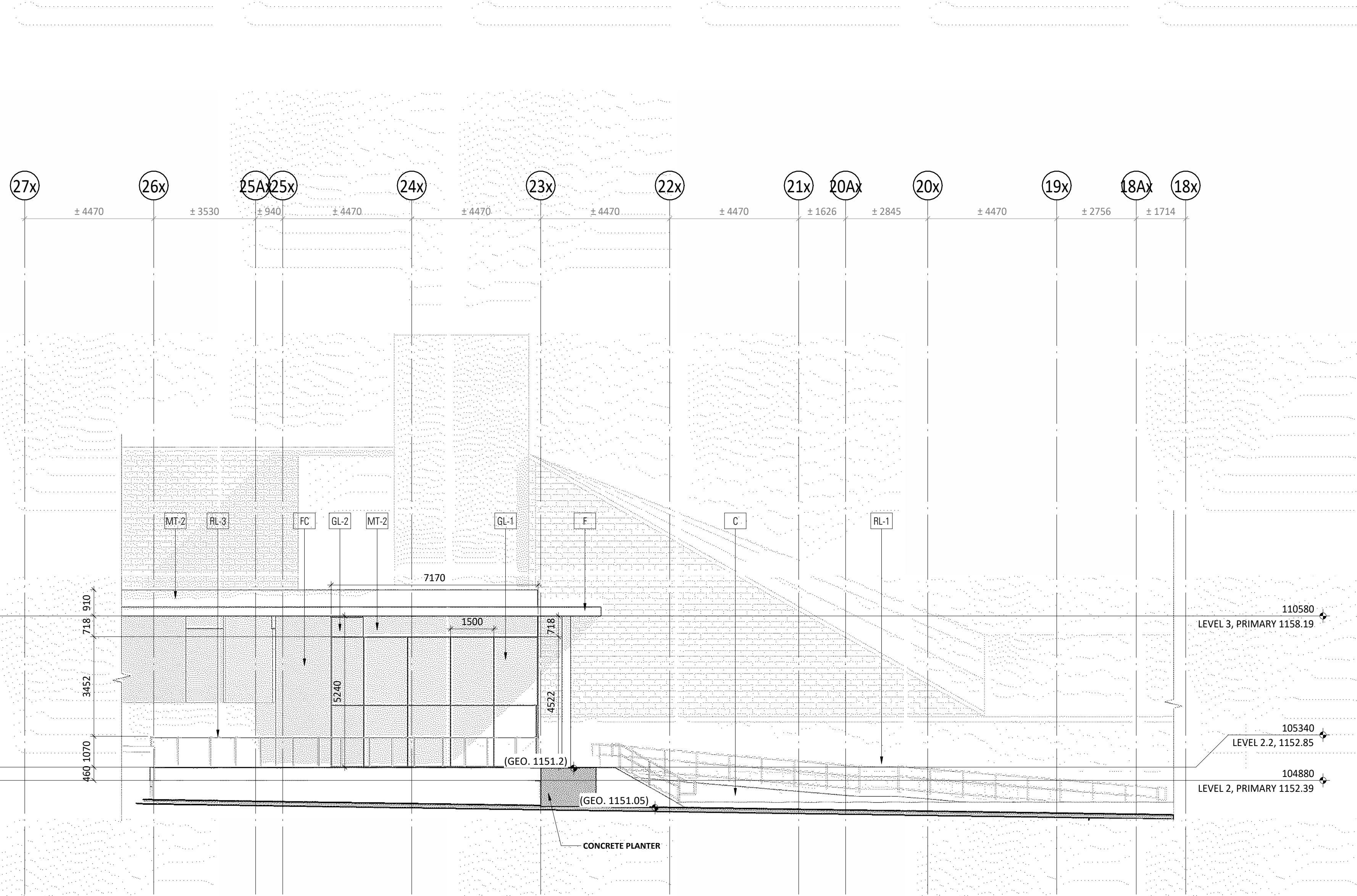
|                |                 |
|----------------|-----------------|
| Drawing Number | Drawing Package |
| <b>DP40.02</b> | Revision Number |



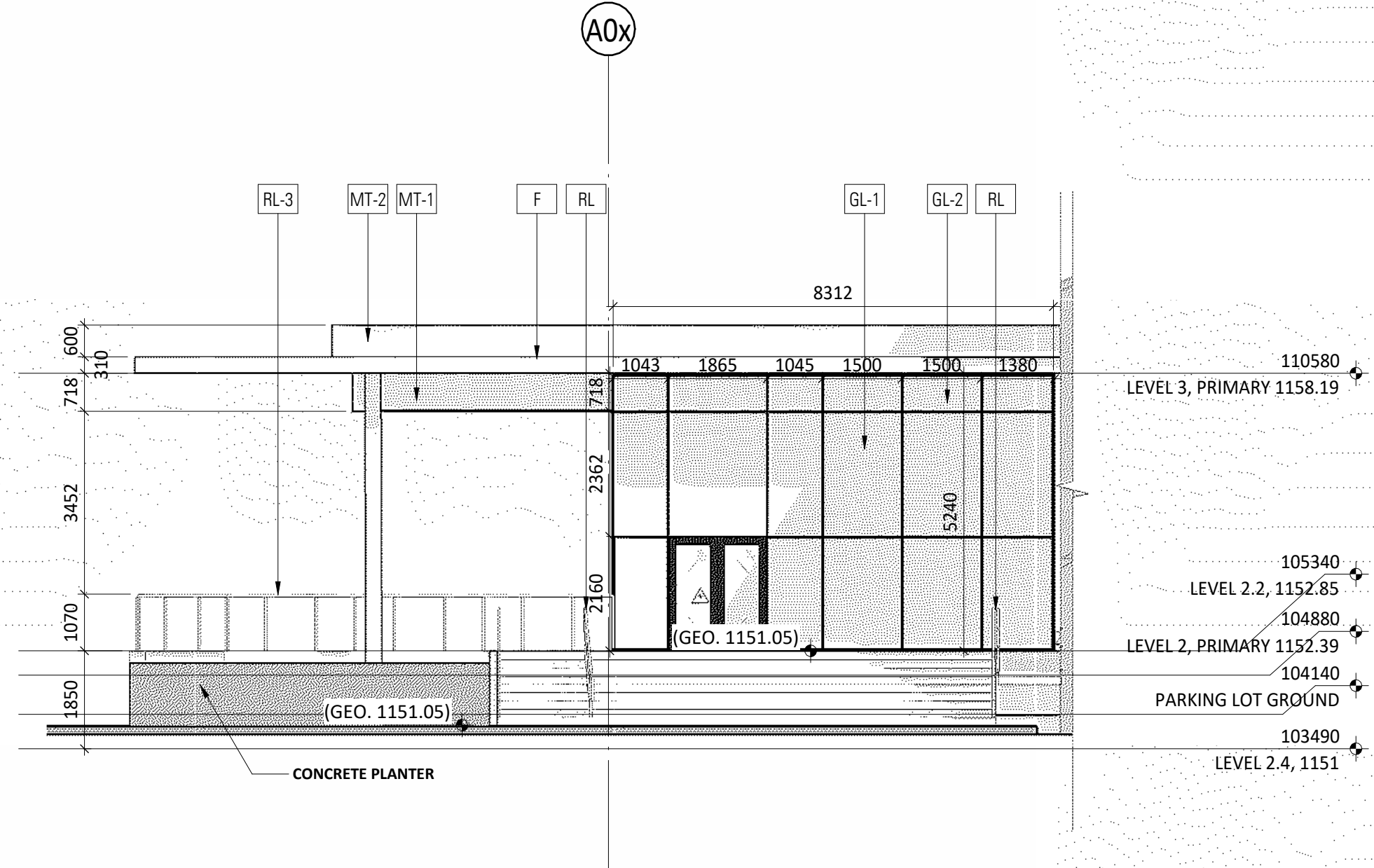
**1 MAIN LOBBY NORTH ELEVATION**  
DP40.02 1 : 100



**2 MAIN LOBBY SOUTH ELEVATION**  
DP40.02 1 : 100



**3 CHILDCARE LOBBY WEST ELEVATION**  
DP40.02 1 : 100



**4 CHILDCARE LOBBY NORTH ELEVATION**  
DP40.02 1 : 100