

CALGARY WINTER CLUB

RENOVATION



STRUCTURAL



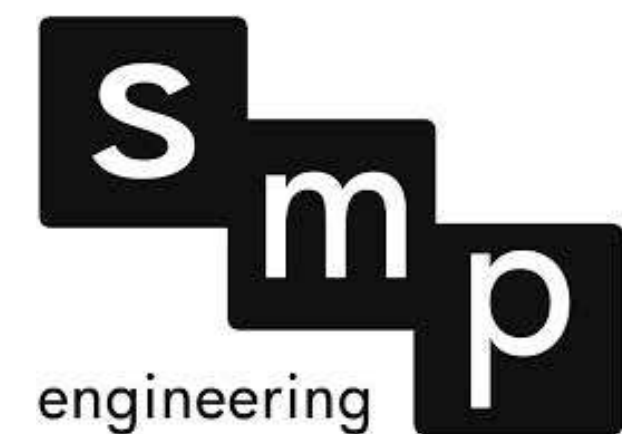
MECHANICAL



CIVIL



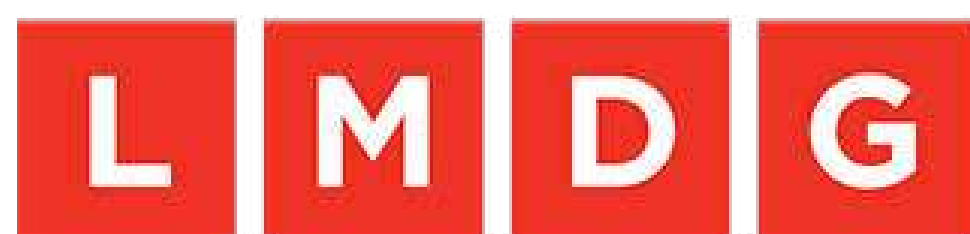
ELECTRICAL



LANDSCAPE



CODE



ISSUED FOR: DR2 RESPONSE COMMENTS
JUNE 23, 2026

DRAWING INDEX

ARCHITECTURE

DP00.00	COVER SHEET
DP10.01	CONTEXT PLAN & PROJECT STATISTICS
DP10.02	EXISTING SITE PLAN
DP10.03	PROPOSED SITE PLAN
DP10.04	SITE DETAILS
DP10.05	SITE DETAILS
DP20.01	LEVEL 01 FLOORPLAN - PHASE 1
DP20.02	LEVEL 01 FLOOR PLAN - PHASE 2
DP20.03	LEVEL 02 FLOORPLAN - PHASE 1
DP20.04	LEVEL 02 FLOORPLAN - PHASE 2
DP40.01	BUILDING ELEVATIONS
DP50.01	BUILDING SECTIONS

LANDSCAPE

L1	TREE INVENTORY AND PROTECTION PLAN
L2	LANDSCAPE PLAN
L3	SECTIONS

CIVIL

C-01	SITE SERVICING PLAN
C-02	SITE GRADING PLAN
C-03	SERVICING PLAN CROSS SECTION
C-04	BOUNDARY PROFILES AND SECTIONS

ELECTRICAL

DPE10.01	SITE PLAN - LIGHTING CALCULATIONS
DPE10.02	SITE PLAN - LIGHTING TAGS
DPE10.03	DETAILS

STRUCTURAL

DP51.0	SITE RETAINING WALL
--------	---------------------

GENERAL CONTRACTOR

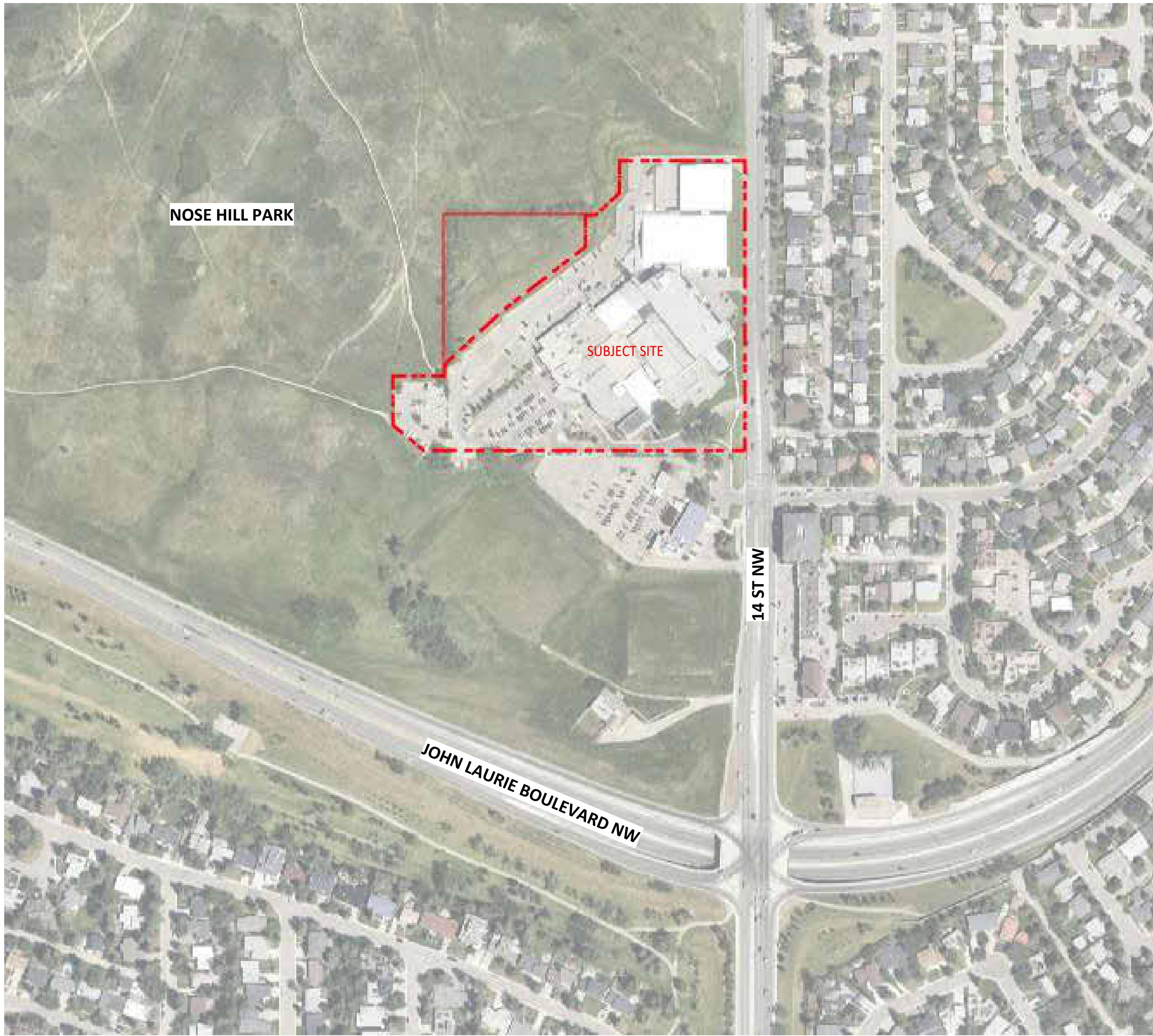
LOG-001	LOGISTICS PLAN - SITE PLAN
---------	----------------------------

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

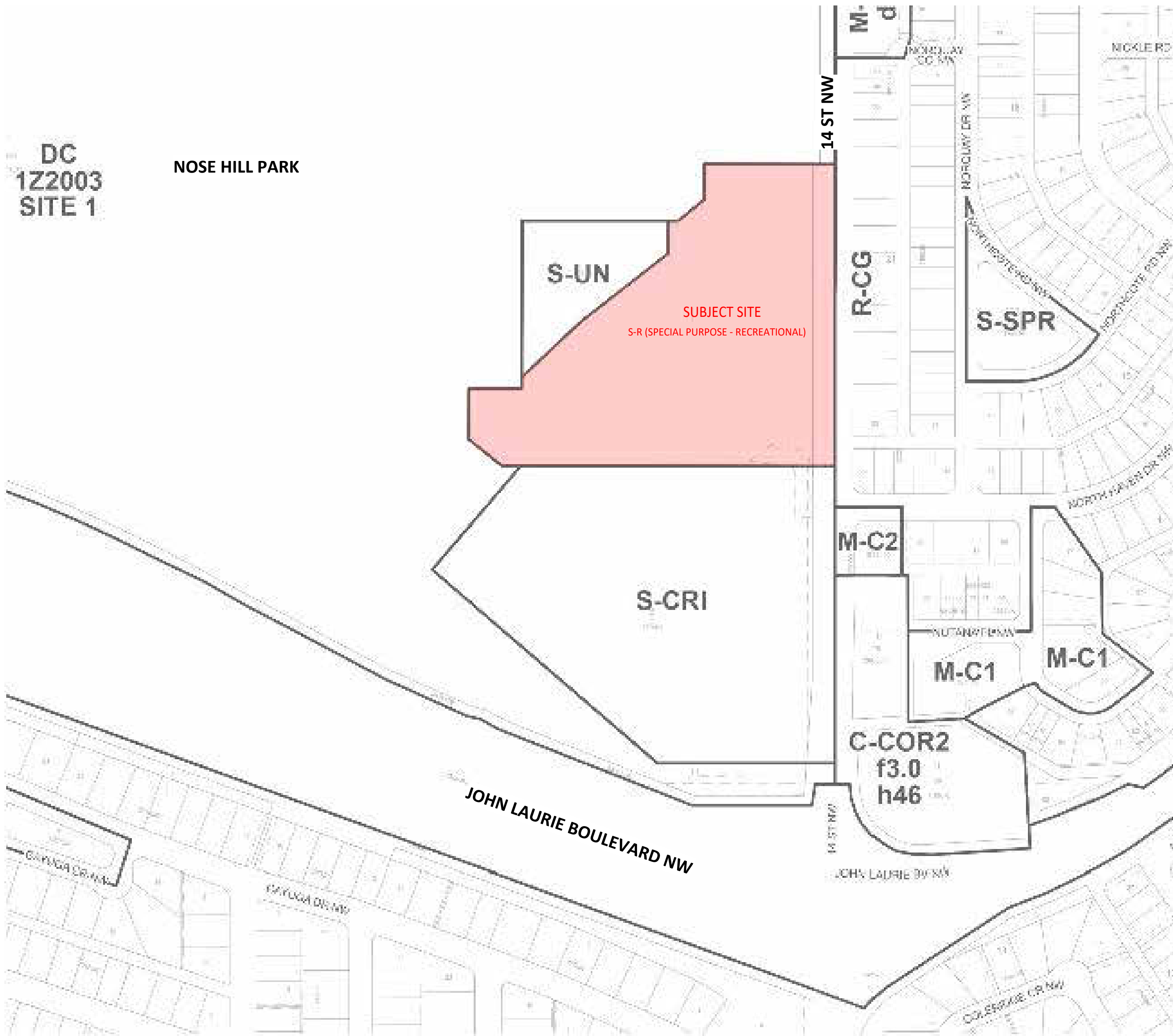


GGA-ARCHITECTURE
350 140 10 Avenue SE Calgary, AB. T2G 0R1
Phone: 403.233.2000 Fax: 403.264.2077

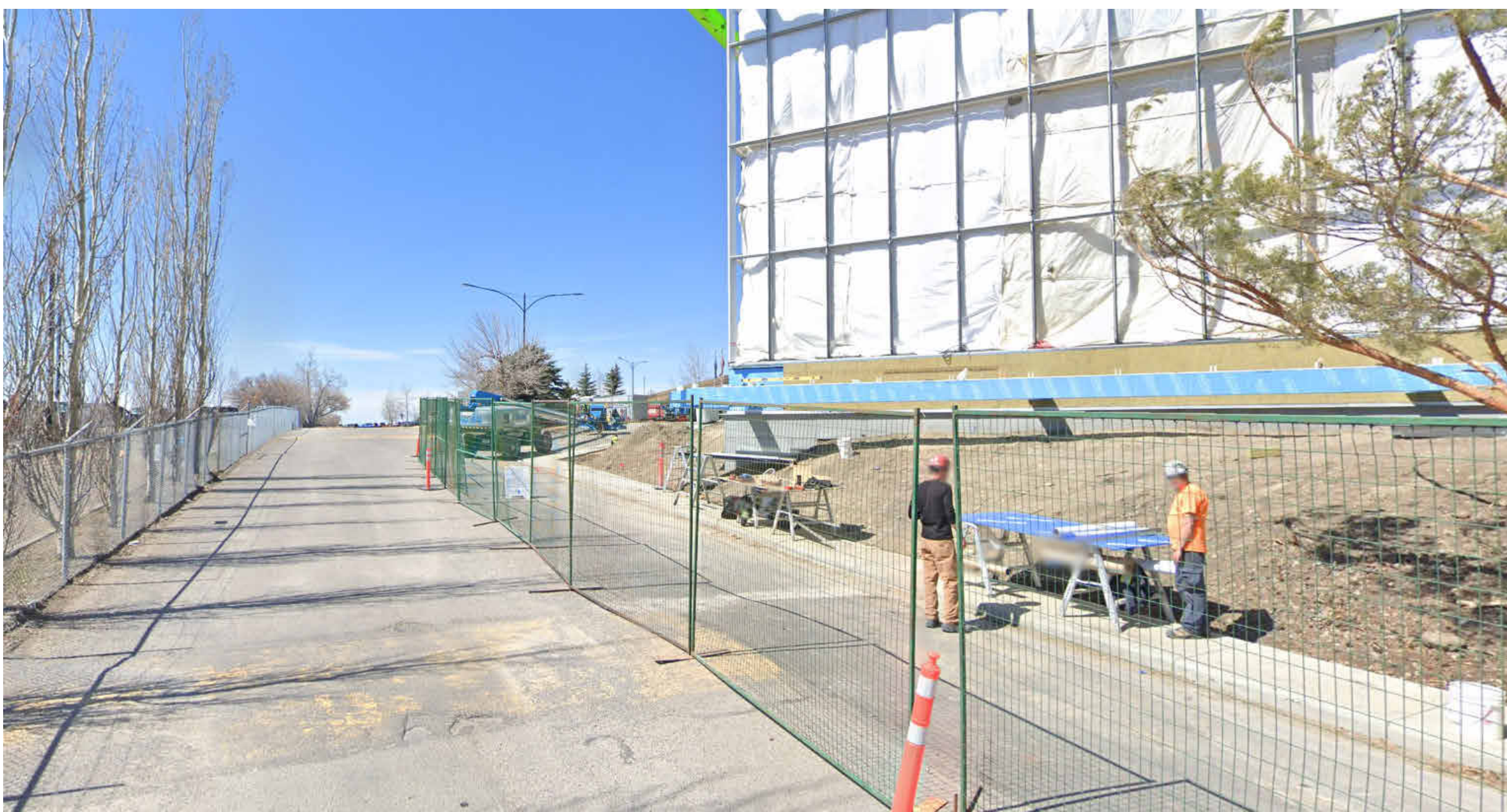
PROJECT NAME CALGARY WINTER CLUB RENOVATION	DEVELOPMENT PERMIT: 4611 14 STREET NW CALGARY, ALBERTA T2K 5Y1	PROJECT NUMBER: 25050	DP2025-06987
---	--	--------------------------	--------------



1 CONTEXT PLAN
DP10.01 / NTS
NORTH



2 LAND USE MAP
DP10.01 / NTS
NORTH



VIEW A



VIEW B



VIEW C



VIEW D

3 SITE PHOTOS
DP10.01

PROPERTY DESCRIPTION & ZONING

MUNICIPAL ADDRESS	4611 14 ST NW, CALGARY, AB
LEGAL DESCRIPTION	PLAN 1011446; BLOCK 1; LOT 3
LAND USE	S-R (SPECIAL PURPOSE - RECREATION)

SITE ANALYSIS

PARCEL AREA	±9.55 ACRES / ±3.87 HA
SITE AREA	38, 639.975 m ²
GROSS FLOOR AREA F.A.R.	35,179.00 m ² G.F.A. / SITE 35,179m ² /38,700 m ² 0.91
BUILDING FOOTPRINT	16,288.13 m ²
NEW FLOOR AREA GROUND LEVEL SECOND LEVEL TOTAL	863.3 m ² 698.3 m ² 1097.7 m ²
SITE COVERAGE	42%
BUILDING SETBACK	FRONT 3.0 m SIDE 3.0 m REAR 3.0 m

VEHICLE PARKING

GROUP B (INDOOR RECREATION FACILITY) USE REQUIREMENT 4.0 STALLS PER 100 SQM. OF GROSS USABLE FLOOR AREA.

REQUIRED VEHICLE PARKING	35,179.004 SQM / 100.0 SQM = 351.79 x 4.0 STALLS = 1408 STALLS
--------------------------	--

EXISTING PARKING STALLS	462 STALLS
EXISTING BARRIER FREE STALLS	11 STALLS

TOTAL PROPOSED PARKING	472 STALLS
PROPOSED NEW BARRIER FREE	11 STALLS
NEW STALLS NET GAIN	+10 STALLS

REQUIRED LOADING STALL	4.0
EXISTING LOADING STALLS	1.0
PROPOSED LOADING STALLS	2.0

A relaxation of this parking stall requirement and loading stall requirement is sought for Calgary Winter Club.

BICYCLE PARKING

GROUP B (INDOOR RECREATION FACILITY) DOES NOT REQUIRE CLASS 1 BICYCLE PARKING STALLS. FOR CLASS 2 INDOOR RECREATIONAL FACILITY REQUIRES 0.5 BICYCLE PARKING STALLS PER 100.0 SQM OF GROSS USABLE FLOOR AREA.

= 35,179.004 SQM / 100.0 SQM
= 351.79 x 0.5 STALLS
= 176 CLASS 2 BICYCLE STALLS

EXISTING STALLS	12
PROPOSED STALLS	36

A relaxation for class 2 bicycle parking is also sought in the development permit for the Calgary Winter Club.

Notes:
• Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing unless noted otherwise.
• Note when required minimum clear dimensions will be identified.
• Verify all dimensions, elevations, and datum; report any errors and/ or discrepancies to the architect prior to construction.
• Do not scale drawings.
• This drawing supercedes previous issues.
• Do not use alphabetic revision iterations for pricing.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DR 2
DR 1
DEVELOPMENT PERMIT
No. / Description
Issued For / Revisions
Project
Project Number: 25050
CALGARY WINTER CLUB RENOVATION
4611 14 STREET NW
CALGARY, ALBERTA T2K 5Y1
Legal Description
1011446; 1; 3
Building Permit No.
BP2026-04733
Development Permit No.
DP2025-06987
DSSP No.
350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
Fax: 403.264.2077
GGA-ARCHITECTURE
Drawing Title
CONTEXT PLAN & PROJECT STATISTICS
Drawn by: MD
Reviewed by: BC
Manager:
Tech Review:
Scale
Date (YYYY-MM-DD)
2026-05-07
Drawing Number
DP10.01
Drawing Package
Revision Number

Copyright © 2022 GGA-Architecture
All Rights Reserved
6/23/2025 8:22:02 AM

- Notes:
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing unless noted otherwise.
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supersedes previous issues.
 - Do not use alphabetic revision iterations for pricing.

KEYNOTE LEGEND

1. EXISTING POWER POLE TO REMAIN
2. EXISTING STREET SIGNAGE TO REMAIN
3. EXISTING HYDRANT TO REMAIN
4. EXISTING DRIVEWAY TO REMAIN
5. EXISTING WOOD FENCE TO REMAIN
6. EXISTING CHAINLINK FENCE TO REMAIN
7. EXISTING PUBLIC WASHROOMS TO REMAIN
8. EXISTING CONNECTION TO NOSE HILL PARK TRAIL TO REMAIN
9. EXISTING LANDSCAPING TO REMAIN
10. EXISTING CURB/SLAND TO REMAIN
11. EXISTING SITE SERVING TO REMAIN
12. EXISTING UTILITY BOX TO REMAIN
13. EXISTING LIGHT STANDARD TO REMAIN
14. EXISTING CONCRETE RETAINING WALL TO REMAIN
15. EXISTING SIGNAGE TO BE DEMOLISHED
16. EXISTING CURB/SLAND TO BE DEMOLISHED
17. EXISTING FENCE TO BE DEMOLISHED
18. EXISTING LIGHT STANDARD TO BE DEMOLISHED
19. EXISTING UTILITY VAULT TO REMAIN
20. EXISTING HYDRANT TO BE RELOCATED
21. EXISTING CLASS 2 BICYCLE PARKING STALLS TO REMAIN (12 STALLS)

Notes:

- DISTANCES ARE IN METERS AND DECIMALS THEREOF.
- COORDINATES ARE BASED ON GNSS TIES TO ASCM 135632.
- COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999725
- PROJECTION: 3° DEGREE TRANSVERSE MERCATOR (3TM)
- HORIZONTAL DATUM: NORTH AMERICA DATUM 1983 (NAD83)
- ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CVDS28) VIA HT2.0 GEOID MODEL
- ORTHOMETRIC REFERENCE MERIDIAN: 114° W.
- PRIOR TO DIGGING, UNDERGROUND UTILITIES MUST BE LOCATED.
- THE CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UTILITIES AND CONCEALED STRUCTURES AND TO CONTACT THE VARIOUS OWNERS/OPERATORS/AUTHORITIES FOR ON-SITE INFORMATION AS TO THE ACTUAL LOCATION OF ALL EXISTING UTILITIES OR CONCEALED STRUCTURES.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE OWNERS/OPERATORS/AUTHORITIES OF ITS INTENTION TO CARRY OUT OPERATIONS IN THE AREA.

Legend:

- MAJOR CONTOUR 0.5m INTERVAL
- MINOR CONTOUR 0.5m INTERVAL
- SPOT ELEVATION (5m GRID)
- FOUND STATUTORY IRON POST
- FOUND I.BAR
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- FENCE
- POWER POLE
- GUY WIRE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- VALVE
- BIOM
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS PIPELINE - HIGH PRESSURE
- GAS - CO-OP LINE
- SANITARY LINE
- TELLUS - BURIED LINE
- TELLUS - OVERHEAD LINE
- WATER MAIN
- CULVERT
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES

NO.	REVISION TO SUBMIT	BY	DATE	APPROVED
1	REVISION DESCRIPTION			

TOPOGRAPHIC SITE SURVEY

Job Description:
LOT 3, BLOCK 1, PLAN 101 1446
4611 14 STREET N.W.,
CALGARY, ALBERTA

Client:
CALGARY WINTER CLUB
4611 14 STREET NW,
CALGARY, ALBERTA

WATT
Consulting Group
Watt Consulting Group Ltd.
1300, 736 6th Avenue S.W.
Calgary, AB, T2P 3T7
T: 403.273.0001
F: 403.273.3440
www.wattconsultinggroup.com

Drawn: K.K. / M.P.	Field Surveyor(s): A.T./R.H.
Draft Date: N/A	Survey Date: 8/24, 25, 2024 - 8/29, 29, 2024
Approved: J.B.	Date: 09/11/2024
Scale: 1:500	File #: 24.0876

Sheet: 01 of 01

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DR 2	2026-06-23
DR 1	2026-05-07
DEVELOPMENT PERMIT	2025-11-28

No. Description By Date

Issued For / Revisions

Project Project Number: 25050

CALGARY WINTER CLUB

RENOVATION

4611 14 STREET NW

CALGARY, ALBERTA T2K 5Y1

Legal Description Building Permit No.

1011446; 1; 3 BP2026-04733

Development Permit No. DSPP No.

DP2025-06987

350,140-10 Ave SE

Calgary, Alberta.

T2G 0R1

Ph: 403.233.2000

GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title

EXISTING SITE PLAN

Drawn by: MD Scale

Reviewed by: BC

Manager: Date (YYYY-MM-DD)

Tech Review: 2026-05-07

Drawing Number

Drawing Package

DP10.02

Revision Number



- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing unless noted otherwise.
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supercedes previous issues.
 - Do not use alphabetic revision iterations for pricing.

GENERAL NOTES

1. REFER TO CIVIL DRAWINGS FOR ASPHALT REQUIREMENTS
2. REFER TO CIVIL DRAWINGS FOR MAIN FLOOR GEODETICS
3. REFER TO CIVIL DRAWINGS FOR SITE WORK AND DETAILS INCLUDING, BUT NOT LIMITED TO CATCH BASIN, MANHOLES, GRADES, LOCATION OF CURBS & TYPES OF CURBS, CONCRETE RETAINING WALL
4. REFER TO ELECTRICAL DRAWINGS FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO LIGHTING LAYOUT AND FIXTURE TYPES
5. REFER TO LANDSCAPE DRAWINGS FOR SITE WORK AND DETAILS INCLUDING BUT LIMITED TO PLANT LIST AND PLANTING DETAILS
6. 150 mm CONCRETE CURBS THROUGHOUT SITE, TYPICAL, UNLESS OTHERWISE STATED

KEYNOTE LEGEND

1. PROPOSED FIRE HYDRANT
2. PROPOSED FIRE DEPARTMENT CONNECTION
3. PROPOSED GARBAGE ENCLOSURE
4. PROPOSED DO NOT ENTER SIGNAGE
5. PROPOSED BARRIER FREE CURB CUT - REFER TO DP 10.04
6. PROPOSED PAINTED CROSSWALK
7. PROPOSED PAINTED LINE
8. PROPOSED RAISED PAVEMENT PEDESTRIAN ZONE
9. PROPOSED 150mm RAMP - MAX. SLOPE 4%
10. PROPOSED CONCRETE WHEEL STOPS TYP
11. PROPOSED CLASS 2 BICYCLE RACKS [24] - REFER TO DP10.06
12. PROPOSED CONCRETE RETAINING WALL - REFER TO DP10.0
13. PROPOSED GUARDRAIL - TYPE 2
14. PROPOSED WIDE HILL PARKING SIGNAGE
15. PROPOSED BARRIER FREE PARKING STALL SIGNAGE
16. PROPOSED DROP-OFF PARKING STALL SIGNAGE
17. PROPOSED GREASE + ORGANICS PICK-UP STAGING AREA
18. PROPOSED CURB CUT
19. PROPOSED PAINTED DIAGONAL LINES
20. EXISTING PRE-FABRICATED GREASE SHED TO BE RELOCATED
21. REGRADE EXISTING PATHWAY - REFER TO C02
22. PROPOSED CONCRETE LANDSCAPE WALL (0.89m MAX) - REFER TO I.3
23. EXISTING FENCE TO REMAIN
24. RELOCATED ANNUNCIATOR PANEL, BY OWNER
25. RELOCATED FIRE DEPARTMENT LOCK BOX, BY OWNER
26. PROPOSED NEW WEATHERPROOF STROBE, BY OWNER
27. PROPOSED SECONDARY ANNUNCIATOR PANEL
28. PROPOSED FENCE

SITE LEGEND

- EXISTING PARKING STALLS - TO REMAIN
- PROPOSED PARKING STALLS
- EXISTING ASPHALT - TO REMAIN REFER TO CIVIL DRAWINGS FOR EXISTING GRADES
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED CONCRETE 150 CONCRETE SIDEWALK
- EXISTING SIDEWALK - TO REMAIN, REFER TO CIVIL DRAWINGS FOR EXISTING GRADES
- PROPOSED PRIMARY ENTRANCE
- PROPOSED BARRIER FREE STALL UNLOADING
- PROPOSED LANDSCAPING - REFER TO LANDSCAPE PLANS
- PROPOSED BOLLARD TYPICAL - REFER TO DP 10.04
- PROPOSED DISTURBANCE AREA - BEYOND PROPERTY LINE
- PROPOSED ENVIRONMENTAL RESTORATION AREA - EXISTING OUTFALL - BEYOND PROPERTY LINE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DR 2	2026-06-23
DR 1	2026-05-07
DEVELOPMENT PERMIT	2025-11-28

No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project	Project Number: 25050
CALGARY WINTER CLUB RENOVATION	
4611 14 STREET NW CALGARY, ALBERTA T2K 5Y1	
Legal Description 1011446; 1; 3	Building Permit No. BP2026-04733
Development Permit No. DP2025-06987	DSSP No.

350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title
PROPOSED SITE PLAN

Drawn by: MD	Scale
Reviewed by: BC	1 : 350
Manager:	Date (YYYY-MM-DD)
Tech Review:	2026-05-07

Drawing Number	Drawing Package
DP10.03	Revision Number

1 PROPOSED SITE PLAN
DP10.03 1 : 350

- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing unless noted otherwise.
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/ or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supercedes previous issues.
 - Do not use alphabetic revision iterations for pricing.

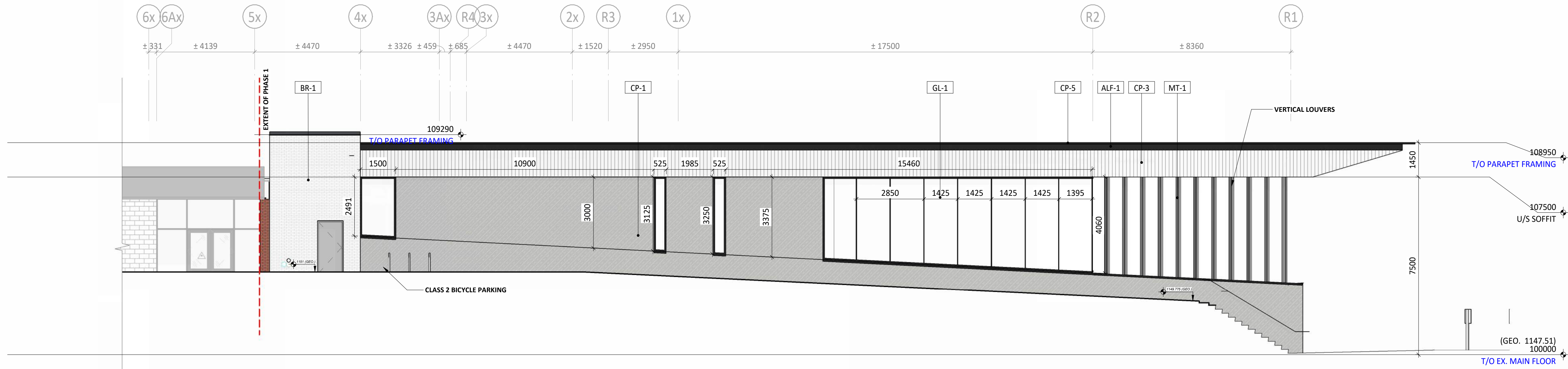
GENERAL NOTES

MATERIAL TAGS ONLY APPLIED TO NEW MATERIALS - NOT WHAT IS EXISTING TO REMAIN.

KEYNOTE LEGEND

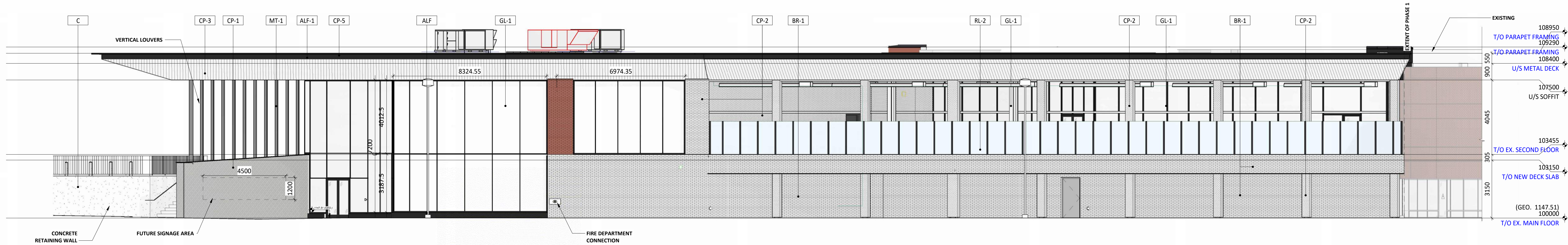
CP-1	FIBRE CEMENT PANEL
CP-2	COMPOSITE METAL PANEL - DARK
CP-3	WOOD LOOK METAL PANEL
CP-4	METAL CLADDING - DARK
CP-5	STANDING SEAM METAL PANEL - DARK
MT-1	FLASHING
ALF-1	RAW STEEL - WAXED OR CLEAR FINISH
AL-1	ALUMINUM - DARK
GL-1	GLAZING
BR-1	MASONRY CLADDING
C	EXPOSED CONCRETE
RL-1	PAINTED METAL RAILING
RL-2	FRAMELESS GLASS RAILING

NOTE: REFER TO EXTERIOR FINISH MATERIAL LIST FOR ADDITIONAL INFORMATION & FINISH TYPES.



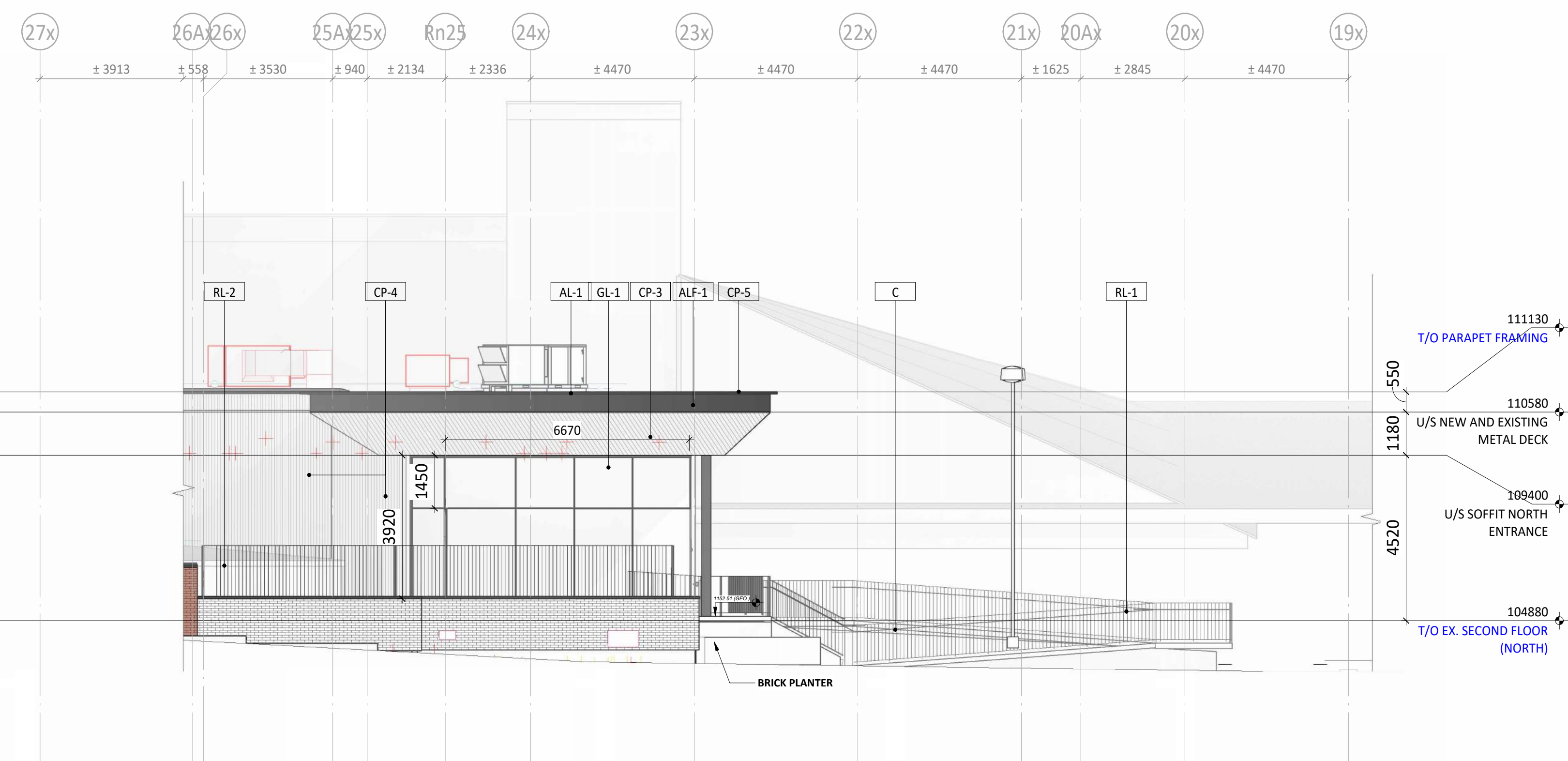
1 MAIN LOBBY - ELEVATION NORTH

DP40.01 1 : 100



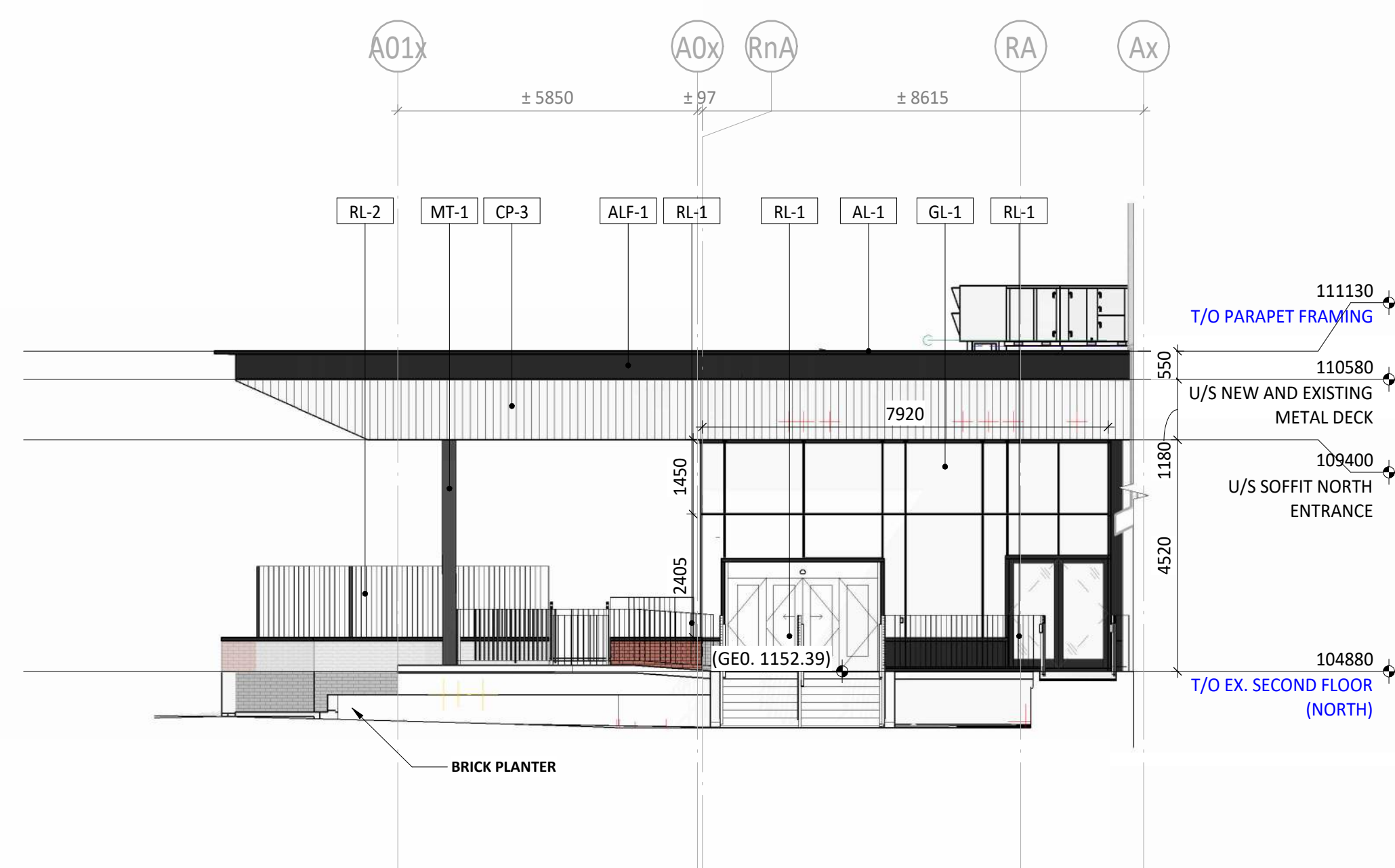
2 MAIN LOBBY - ELEVATION SOUTH

DP40.01 1 : 100



3 NORTH LOBBY - ELEVATION WEST

DP40.01 1 : 100



4 NORTH LOBBY - ELEVATION NORTH

DP40.01 1 : 100

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DR 2	2026-06-23
DR 1	2026-05-07
DEVELOPMENT PERMIT	2025-11-28

No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project	Project Number: 25050
CALGARY WINTER CLUB RENOVATION	
4611 14 STREET NW CALGARY, ALBERTA T2K 5Y1	
Legal Description 1011446; 1; 3	Building Permit No. BP2026-04733
Development Permit No. DP2025-06987	DSSP No.

GGA-ARCHITECTURE
350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
Fax: 403.264.2077

Drawing Title
BUILDING ELEVATIONS

Drawn by: MD	Scale 1 : 100
Reviewed by: BC	Date (YYYY-MM-DD) 2026-05-07
Manager:	Tech Review:

Drawing Number DP40.01	Drawing Package Revision Number
----------------------------------	------------------------------------

symbol	description
	property line
	setback line
	existing fence to remain
	existing fence to be removed
	public parking boundary
	limit of disturbance

symbol	description
	concrete - refer to arch
	existing vegetation to be retained
	existing vegetation to be removed
	existing tree to be retained
	existing tree to be removed

Id	species	Tree ID	status/notes
01	aspen, quaking	T-50731600	retain
02	aspen, quaking	T-50731602	retain
03	aspen, quaking	T-50731604	retain
04	manitoba maple	T-5158161	remove
05	aspen, quaking	T-50729874	remove
06	aspen, quaking	T-50729875	remove
07	aspen, quaking	T-50729876	remove
08	aspen, quaking	T-50731597	remove
09	aspen, quaking	T-50729877	remove
10	aspen, quaking	T-50729880	remove
11	aspen, quaking	T-50729870	remove
12	aspen, quaking	T-50729868	remove
13	aspen, quaking	T-50729873	remove
14	aspen, quaking	T-50729872	remove
15	aspen, quaking	T-50731599	remove
16	aspen, quaking	T-50729879	remove
17	aspen, quaking	T-50729878	remove

tree requirements for this development are based on part 9 special purpose districts, division 5 – Recreation (S-R) district bylaw IP2007, City of Calgary

requirement summary

when a setback area shares a property line with a lane or parcel designated for a commercial, industrial or special purpose district, the setback must provide a minimum of 1 tree and 2 shrubs for every 45m² of total area of trees and shrubs per parking island

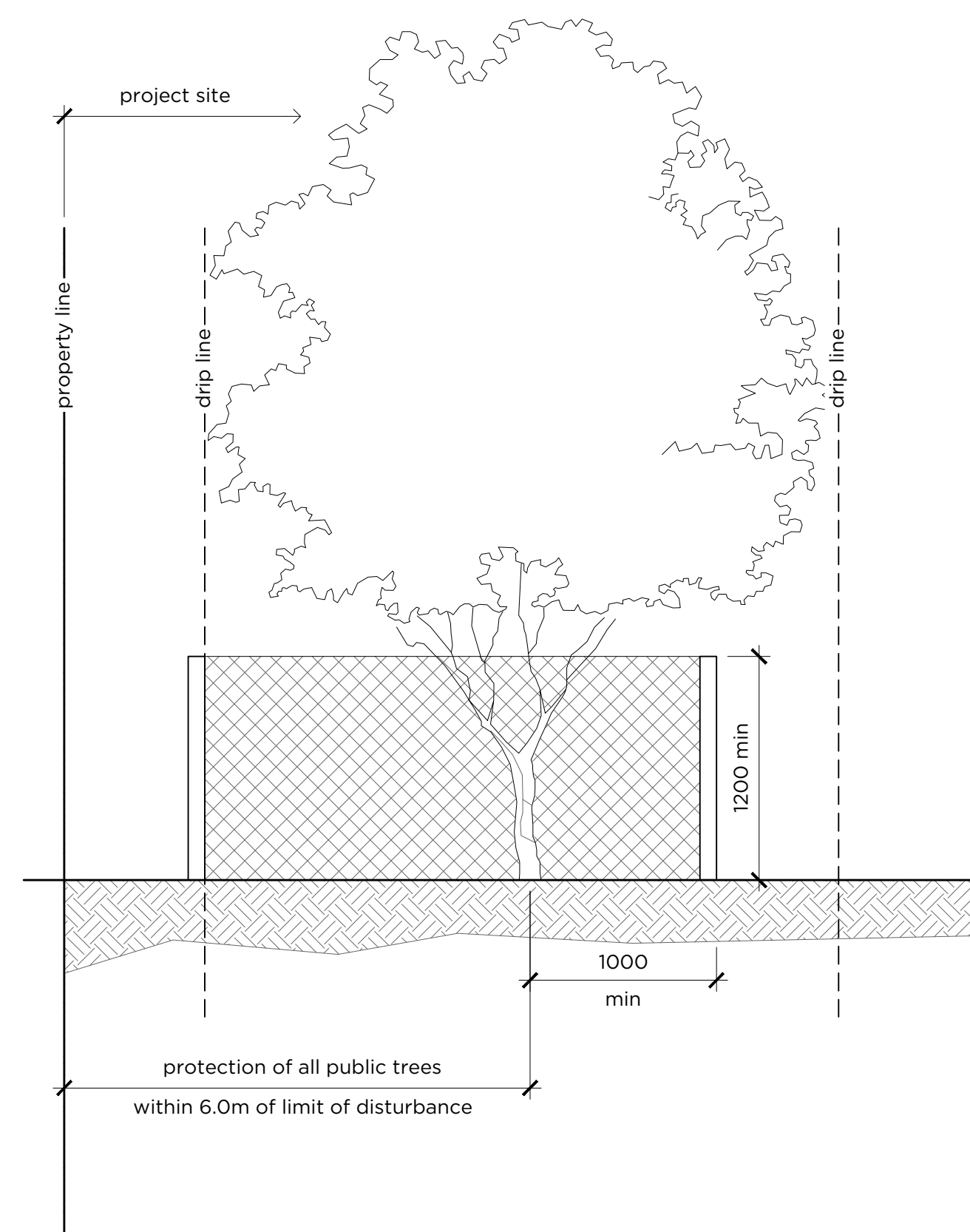
- 25% of trees must be coniferous

total setback area	= 429m ²
total number of planting required for setback	= 9.5 trees, 19 shrubs
total number of parking islands	= 2
total number of planting required for parking islands	= 4 trees, 40 shrubs
total trees required	= 23.5
total shrubs required	= 59
total trees provided	= 36
total shrubs provided	= 63

vegetation to remain

vegetation to be removed

© 2024 Eagleview



A1	Tree Protection Detail
L1	Scale 1:30

1. site plan prepared using information provided by SGA Architecture received March 3rd, 2026 contains errors and omissions, including, but not limited to, incorrect dimensions, setbacks, and protecting same from damage during construction. Contractor shall be responsible for contacting SGA Architecture at (800)-242-5447, commencement of work, to correct errors and omissions.

2. all drawings are property of landscape architect; site clean-up is incidental to the work. Contractor shall remain responsible for the work between site conditions shown and to those existing at time of construction. Contractor's owner's representative.

3. any discrepancies exist between drawings, the largest scale shall be taken as correct. final construction belongs to the landscape architect.

4. contractor to coordinate and attend all inspections and approvals with the owner.

5. all drawings are metric unless otherwise noted. all layout shall be approved on site by landscape architect or owner's representative.

6. contractor to notify owner's representative 24 hours prior to start of work.

7. contractor shall refer to related disciplines as indicated on plan where applicable.

8. all off-site drainage areas are to be protected to ensure positive drainage away from structures, including but not limited to:

9. all grades provided all to finished grade, top of tank, etc. Contractor shall be responsible for any disturbance outside limit of construction line to existing conditions to satisfaction of the owner's representative.

contractor to verify limits of disturbance and reconcile field conditions with drawings and schedules if discrepancies exist.

the contractor shall report any discrepancies between site conditions illustrated to those existing at the time of construction to the owner's representative.

contractor is responsible for locating utilities and protecting same from damage during construction. The contractor shall install a minimum of 36" x 36" x 1/4" steel plate for installation of tree protection fencing. tree protection fencing is to be: installed 4' away from tree trunk, where space is available; a minimum of 1.2m height a bright, contrasting colour and durable.

tree protection fencing will be installed and maintained is to be approached with caution and consult owner's representative prior to construction.

fencing must not interfere with access to fire hydrants, intersections or traffic signage.

tree protection fencing to be implemented and maintained for the duration of the project.

contractor to ensure signage indicating the protected tree status provided by the City of Calgary is attached to each protective fence.

contractor to conduct tree and root-protect-construction tree care measures including watering, mulch and soil aeration to ensure existing trees don't die from soil disturbance

contractor to maintain tree protection fencing throughout the active growing season.

contractor to use anti-compaction devices to minimize root damage when working in close proximity to protective barriers.

contractor to ensure construction methods and equipment will be used on City of Calgary lands to stub and decommission existing park irrigation from the project area and make adjustments to the boulevard to accommodate parking lot lighting.

contractor to ensure disturbance management includes all proposed land disturbances: excavation zones, trenching and grade changes.

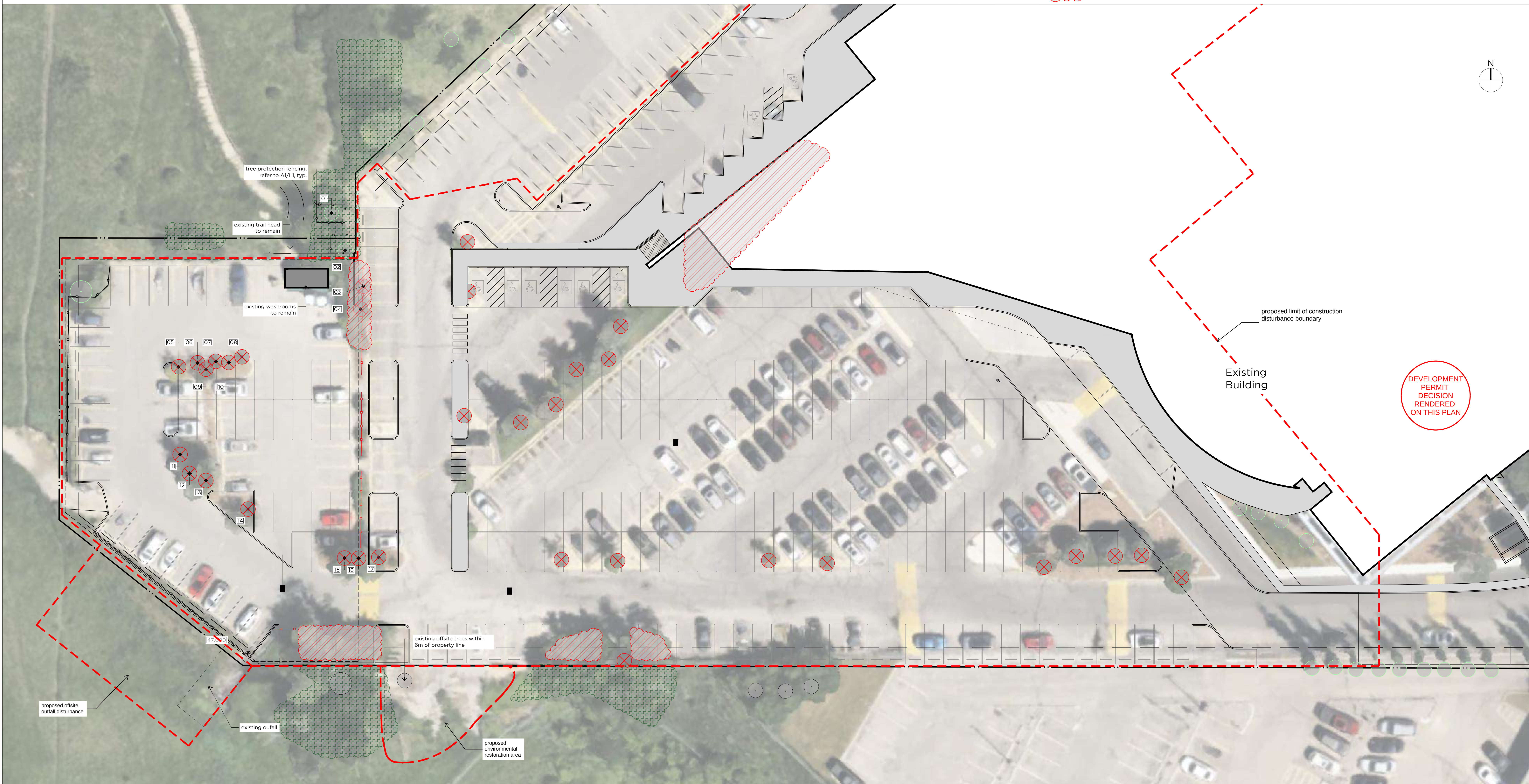
changes to existing street lighting, fire hydrants or utility boxes are proposed.

if canopy clearance or root pruning is necessary, Urban Forestry shall be given a minimum two days notice through 311. An approved tree contractor shall complete the work at the contractor's expense.

contractor to provide a copy of the approved tree protection plan to the City of Calgary.

contact information for the Contractor responsible for ensuring work adheres to the approved Tree Protection Plan will be provided upon project award. Prior to construction, the following individual may be contacted for inquiries:

Jonathan Sagn, LA, ground@csd.com, landscape architects
jonathan.sagn@groundincubed.com



A2	Tree Inventory & Protection Plan
L1	Scale 1:200

Notes:

- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise
- Note when required minimum clear dimensions will be identified.
- Verify all dimensions, elevations, and datum; report any errors and/ or discrepancies to the architect prior to construction.
- Do not scale drawings.
- This drawing supercedes previous issues.



O	TP1 - TP-2-90%, BP RESUBMISSION	2026-05-29
H	TP1 - 90%	2026-05-01
G	75% Re-Insurance	2026-04-15
F	Issued for Building Permit	2026-03-26
E	Issued for 75% Review	2026-03-01
D	Issued for 60% Review	2026-02-17
C	Issued for 30% Review	2026-01-15
A	Issued for Development Permit	2025-11-28
No. Description		Date

Project	Project Number: 24.309
---------	------------------------

Calgary Winter Club

Legal Description	Building Permit No. BP2026-04733
-------------------	-------------------------------------

GGA-ARCHITECTURE

Drawing Title

**Tree Inventory
and Protection Plan**

Drawn by:	CS	Scale
Reviewed by:	JS	1:250
Manager:	JS	Date (YYYY-MM-DD)
Tech Review:		2026.05.29

Drawing Number	
11	

Utility & Linetype Legend

symbol	description
---	property line
---	setback line
---	existing fence
---	public parking boundary

Legend

symbol	description
---	kentucky blue grass sod on 300mm depth topsoil
---	proposed concrete refer to arch
---	75mm coniferous bark mulch on 600mm depth soil
---	existing vegetation to be retained
---	area to be remediated if disturbed
---	proposed soil cell (196 m²)
---	existing tree to be retained

Tree Planting Schedule

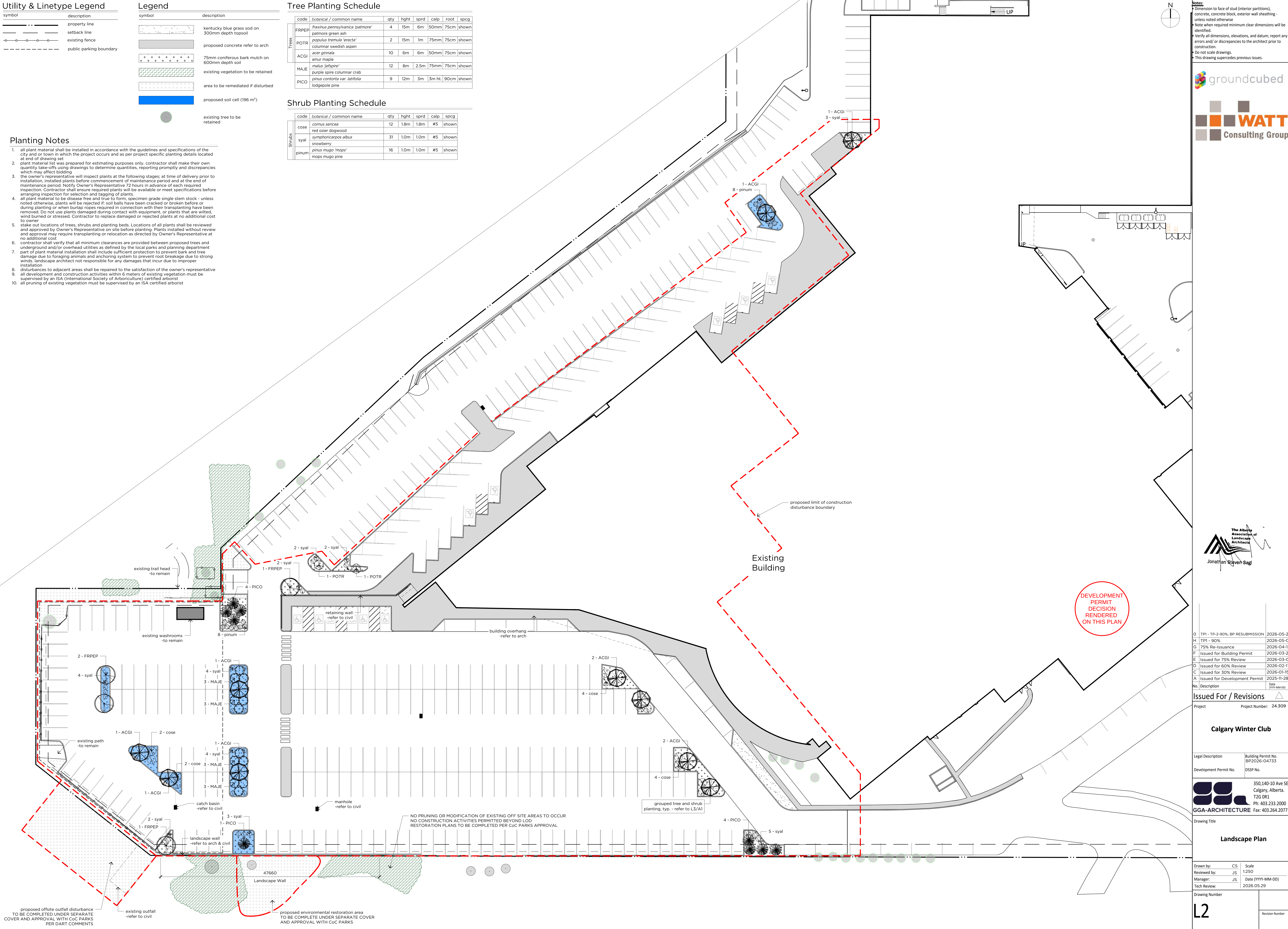
code	botanical / common name	qty	hght	sprd	calp	root	spcg
FRPEP	fraxinus pennsylvanica 'patmore'	4	15m	6m	50mm	75cm	shown
POTR	populus tremula 'erecta'	2	15m	1m	75mm	75cm	shown
ACGI	acer ginnala	10	6m	6m	50mm	75cm	shown
MAJE	malus 'elfspire'	12	8m	2.5m	75mm	75cm	shown
PICO	pinus contorta var. latifolia	9	12m	3m	3m ht.	90cm	shown

Shrub Planting Schedule

code	botanical / common name	qty	hght	sprd	calp	spcg
cose	cornus sericea	12	1.8m	1.8m	#5	shown
syal	symphoricarpos albus	31	1.0m	1.0m	#5	shown
pinum	pinus mugo 'mops'	16	1.0m	1.0m	#5	shown

Planting Notes

- all plant material shall be installed in accordance with the guidelines and specifications of the city and or town in which the project occurs and as per project specific planting details located at end of drawing set
- plant material list was prepared for estimating purposes only, contractor shall make their own quantity take-offs using drawings to determine quantities, reporting promptly and discrepancies which may affect bidding
- the owner's representative will inspect plants at the following stages: at time of delivery prior to installation, installed plants before commencement of maintenance period and at the end of maintenance period. Notify Owner's Representative 72 hours in advance of each required inspection. Contractor shall ensure required plants will be available or meet specifications before arranging inspection for selection and logging of plants.
- all plant material to be disease free and true to form, specimen grade single stem stock - unless noted otherwise, plants will be rejected if: soil balls have been cracked or broken before or during planting or when burlap ropes required in connection with their transplanting have been removed. Do not use plants damaged during contact with equipment, or plants that are wilted, wind burned or stressed. Contractor to replace damaged or rejected plants at no additional cost to owner.
- stake out locations of trees, shrubs and planting beds. Locations of all plants shall be reviewed and approved by Owner's Representative on site before planting. Plants installed without review and approval may require transplanting or relocation as directed by Owner's Representative at no additional cost.
- contractor shall verify that all minimum clearances are provided between proposed trees and underground and/or overhead utilities as defined by the local parks and planning department.
- part of plant material installation shall include sufficient protection to prevent bark and tree damage due to foraging animals and anchoring system to prevent root breakage due to strong winds. landscape architect not responsible for any damages that incur due to improper installation.
- disturbances to adjacent areas shall be repaired to the satisfaction of the owner's representative.
- all development and construction activities within 6 meters of existing vegetation must be supervised by an ISA (International Society of Arboriculture) certified arborist.
- all pruning of existing vegetation must be supervised by an ISA certified arborist.



- Notes:
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise.
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supercedes previous issues.



O	TP1 - TP 2-90%, BP RESUBMISSION	2026-05-29
H	TP1 - 90%	2026-05-06
G	75% Re-Issuance	2026-04-15
F	Issued for Building Permit	2026-03-26
E	Issued for 75% Review	2026-03-05
D	Issued for 60% Review	2026-02-17
C	Issued for 30% Review	2026-01-15
A	Issued for Development Permit	2025-11-28

Issued For / Revisions

Project	Project Number: 24.309
---------	------------------------

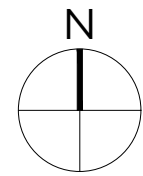
Calgary Winter Club

Legal Description	Building Permit No. BP2026-04733
Development Permit No.	DSP No.
350,140-10 Ave SE	Calgary, Alberta, T2G 0R1
Ph: 403.233.2000	Fax: 403.264.2077

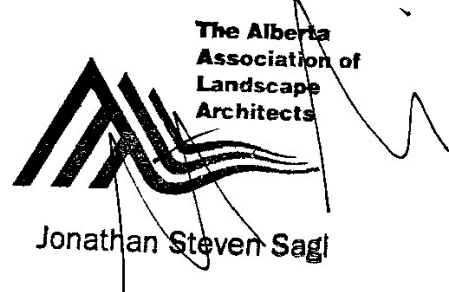
Landscape Plan

Drawn by:	CS	Scale
Reviewed by:	JS	1:250
Manager:	JS	Date (YYYY-MM-DD)
Tech Review:		2026.05.29

Drawing Number	Revision Number
L2	



- Notes:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/ or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supercedes previous issues.



O	TP1 - TP 2-90%, BP RESUBMISSION	2026-05-29
H	TP1 - 90%	2026-05-06
G	75% Re-issuance	2026-04-15
F	Issued for Building Permit	2026-03-26
E	Issued for 75% Review	2026-03-05
D	Issued for 60% Review	2026-02-17
C	Issued for 30% Review	2026-01-15
A	Issued for Development Permit	2025-11-28
No.	Description	Date (YYYY-MM-DD)

Issued For / Revisions

Project Project Number: 24.309

Calgary Winter Club

Legal Description Building Permit No. BP2026-04733
Development Permit No. DSSP No.

350,140-10 Ave SE
Calgary, Alberta.
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title

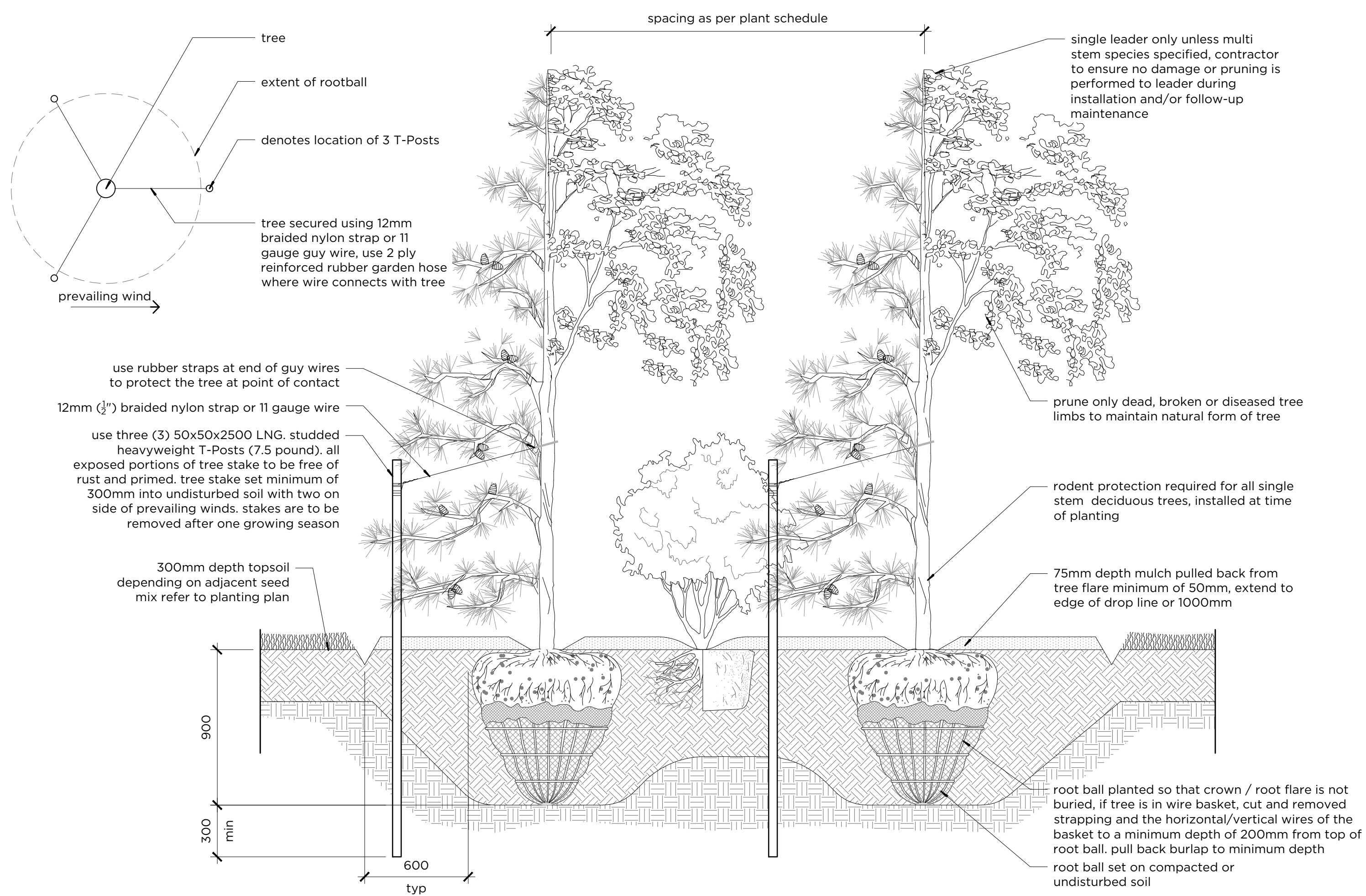
Sections

Drawn by: CS Scale
Reviewed by: JS 1:250
Manager: JS Date (YYYY-MM-DD)
Tech Review: 2026.05.29

Drawing Number

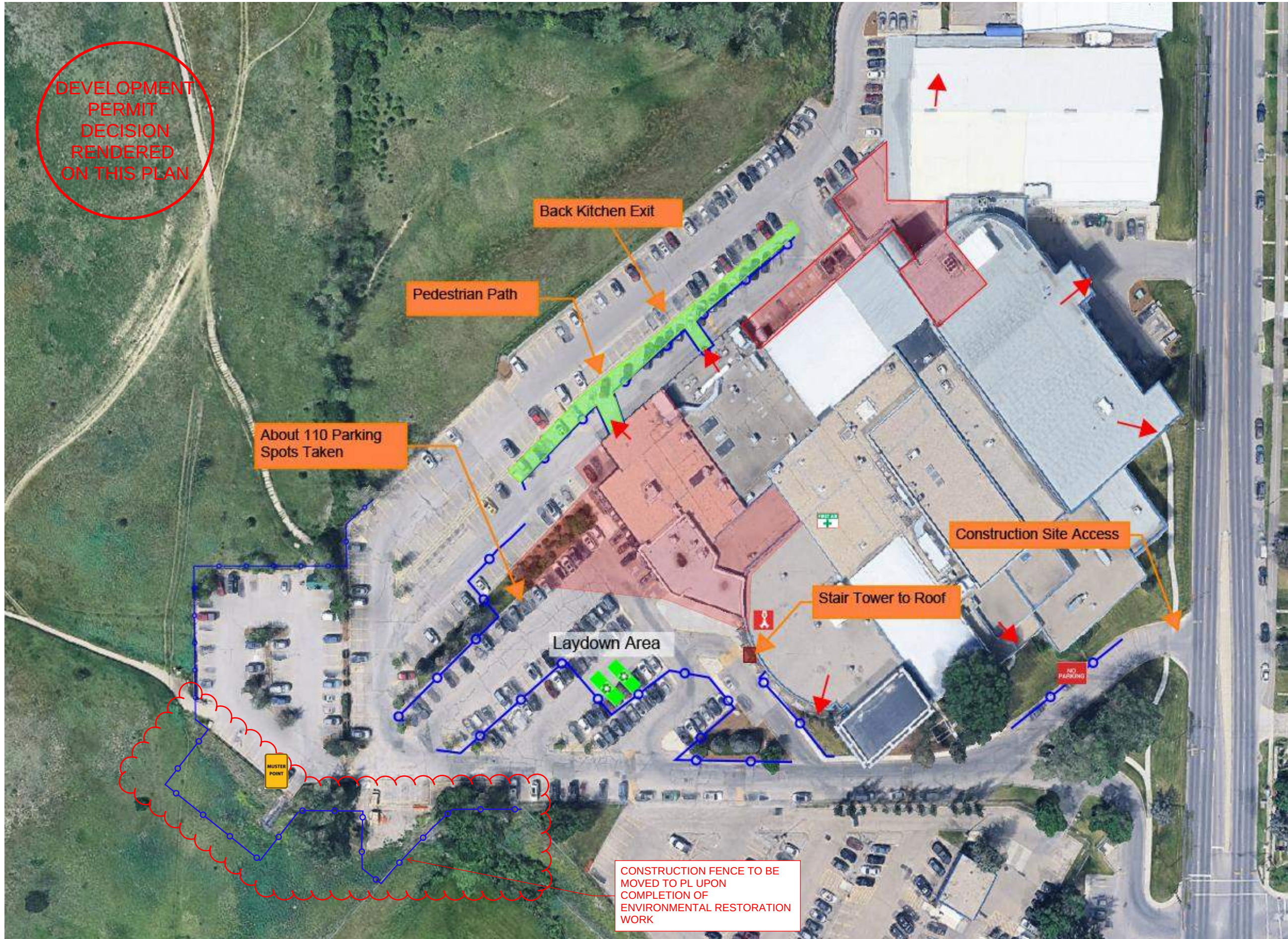
L3

Revision Number



A1 Tree & Shrub Planting Bed
L3 Scale 1:20

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



LEGEND

- CONSTRUCTION FENCE w. SILT PROTECTION FABRIC
 - 1. Fencing shall be installed prior to the commencement of any development activity or stripping and grading operations
 - 2. Fencing is to be inspected and approved by the Parks Development Inspector
- CONSTRUCTION ACCESS GATE (10m WIDE)
- SECONDARY ACCESS GATE (MANGATE)
- EXTENDED MUDMAT (GRAVEL BASE)
- CONSTRUCTION OFFICE TRAILER
- CONSTRUCTION TRAILER (TRADES)
- CONSTRUCTION VEHICLE TRAFFIC FLOW
- PROJECT CONSTRUCTION SIGNAGE
 - CATTLE GUARD FOR MUD/DIRT KNOCK OFF
 - WASTE AND RECYCLING BINS
 - FIRST AID STATION
 - MUSTER POINT
 - SIAMESE CONNECTION
 - NO PARKING

GENERAL NOTES

- NOTE 1: WEEKLY COMMUNICATION WITH CALGARY WINTER CLUB TO COORDINATE CONSTRUCTION ACTIVITIES TO LIMIT IMPACT TO THE FACILITY
- NOTE 2: PROJECT SIGNAGE / WAYFINDING WILL BE PLACED AT STRATEGIC LOCATIONS IN ORDER TO INFORM THE GENERAL PUBLIC OF THE PROJECT AND NAVIGATE CONSTRUCTION
- NOTE 3: THIS LOGISTICS PLAN REPRESENTS AN INITIAL CONCEPTUAL CONFIGURATION WHICH WILL BE SUBJECT TO A COLLABORATIVE REVIEW WITH CWC, CONSULTANTS, AND INTERESTED PARTIES AS A KEY COMPONENT OF THE PRECONSTRUCTION PHASE

PROJECT:
CALGARY WINTER CLUB - PHASE 1

PROJECT ADDRESS: 4611 14 St NW, Calgary, AB T2K 5Y1	PROJECT NUMBER:
---	-----------------



DRAWING DESCRIPTION:
LOGISTICS PLAN - SITE PLAN

SCALE: NOT TO SCALE	DRAWING NUMBER:
DATE: 2025.10.03	LOG - 001