

SITE PLAN

LEGEND
 ELEVATIONS ARE SHOWN THUS: \square = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- \square --- denotes Calculation points
- \square --- denotes Water Valve
- \square --- denotes Gas Valve
- \square --- denotes Manhole
- \square --- denotes Tree
- \square --- denotes Power Pole
- \square --- denotes Sign
- \square --- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- E- denotes Electrical Line
- AGT- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

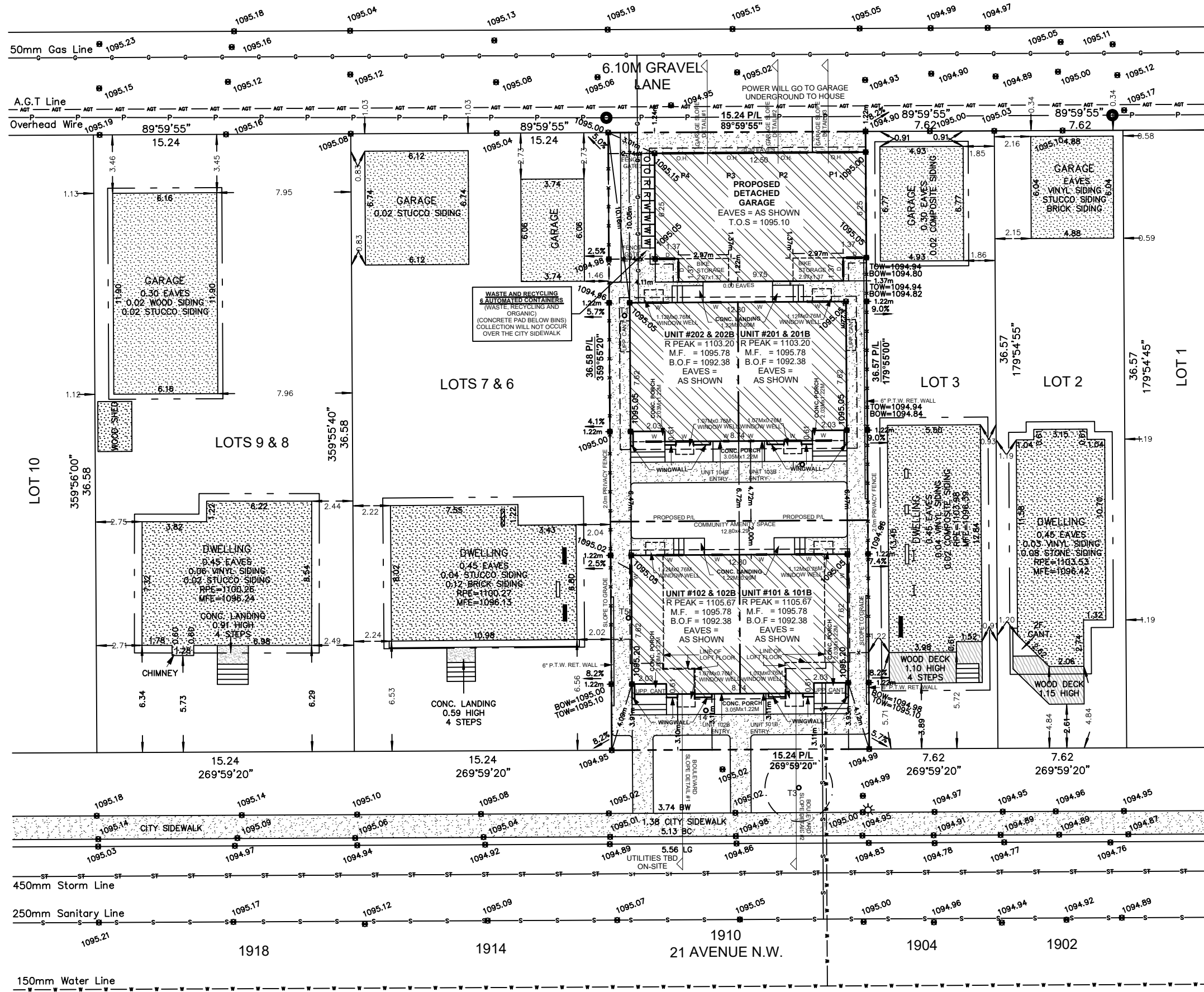
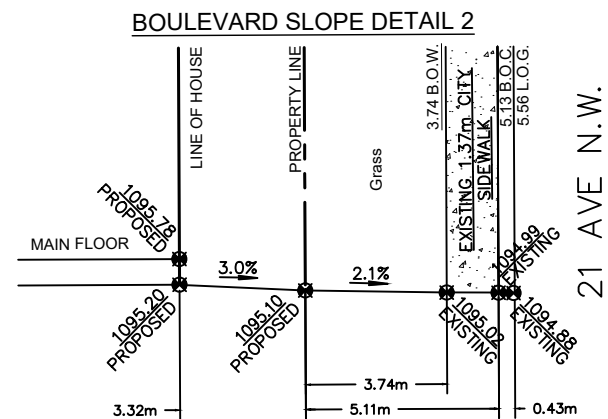
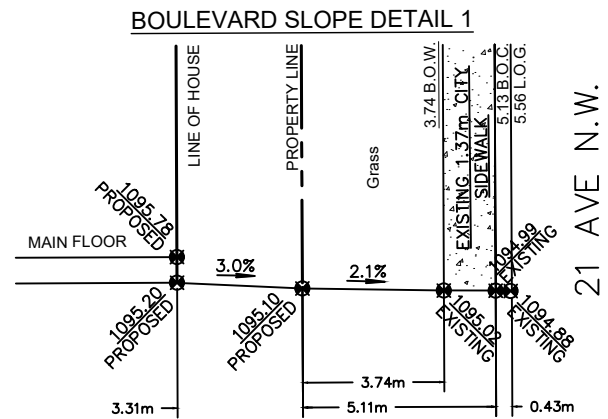
LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE: 1:200
LEGAL DESCRIPTION:

Lot 4 & 5
 Block 38
 Plan 8100 AF

MUNICIPAL ADDRESS:
 1910 21 Ave NW
 Calgary, Alberta

LOT COVERAGE DETAIL: (CLUSTER)	DENSITY:
LOT SIZE: 557.231 SQ M	TOTAL UNITS: 4
HOUSE SIZE: 205.749 SQ M	LOT SIZE: 557.231 SQ M (0.0557231 ha)
CANT.: 0.000 SQ M	DENSITY: 72 UNITS/ha
COVERED PORCH: 4.583 SQ M	PARKING:
GARAGE: 91.101 SQ M	PARKING PROVIDED: 4 STALLS
WINGWALL: 1.889 SQ M	
TOTAL: 303,322/557,231	
= 54.43%	



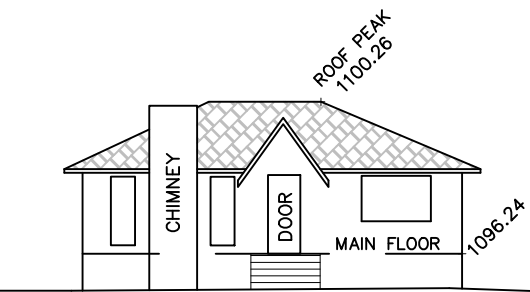
BOULEVARD SLOPE DETAILS
SCALE: NTS

BLOCK PLAN
SCALE: 1:250

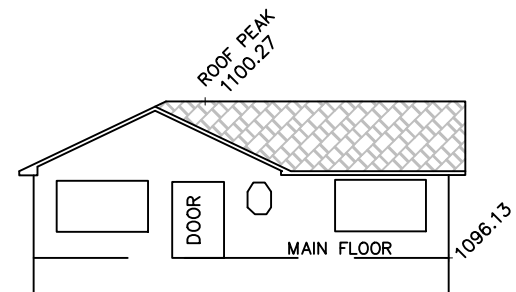
NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS	PROJECT	SCALE
01.	21/11/2025	DP PLANS	K.R.	1910 21st Ave NW Calgary, Alberta	CLUSTER HOUSE	1: 200
02.	--	--	--	Lot 4 & 5		
03.	--	--	--	Block 38		
04.	--	--	--	Plan 8100 AF		

DATE	DIVISION	NUMBER
NOVEMBER 21, 2025	S	02

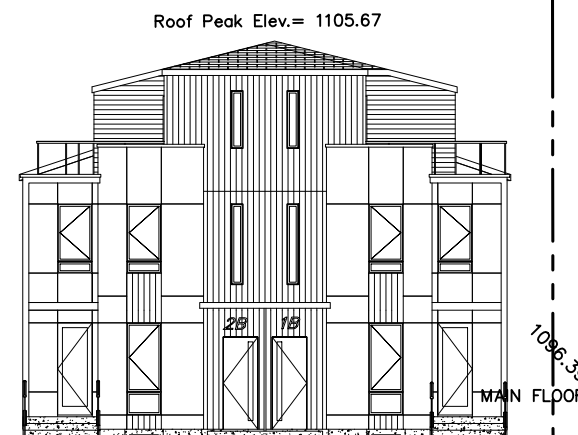
LOT 10



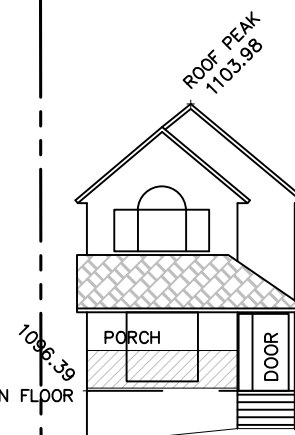
1918 21 AVENUE N.W.
 (LOTS 9 & 8, BLOCK 38, PLAN 8100 AF)
 FACING 21 AVENUE N.W.



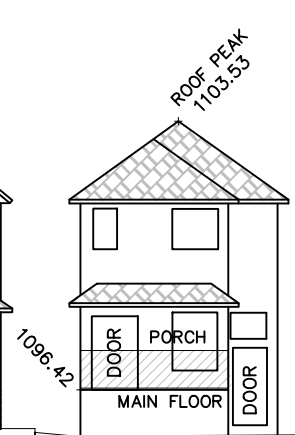
1914 21 AVENUE N.W.
 (LOTS 7 & 6, BLOCK 38, PLAN 8100 AF)
 FACING 21 AVENUE N.W.



1910 21 AVENUE N.W.
 (LOTS 5 & 4, BLOCK 38, PLAN 8100 AF)
 FACING 21 AVENUE N.W.



1904 21 AVENUE N.W.
 (LOT 3, BLOCK 38
 PLAN 8100 AF)
 FACING 21 AVENUE N.W.



1902 21 AVENUE N.W.
 (LOT 2, BLOCK 38
 PLAN 8100 AF)
 FACING 21 AVENUE N.W.

LOT 1

SOUTH STREETSCAPE

STREETSCAPE
 SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	21/11/2025	DP PLANS	K.R.	1910 21st Ave NW Calgary, Alberta	CLUSTER HOUSE	1: 200
02.	--	--	--	Lot 4 & 5 Block 38 Plan 8100 AF	DATE: NOVEMBER 21, 2025	DIVISION NUMBER: S 04
03.	--	--	--			
04.	--	--	--			



GENERAL NOTES:

MUNICIPAL ADDRESS:
 101, 102, 201 & 202
 1910 21 AVE NW.
 CALGARY, ALBERTA
 PROJECT:
 CLUSTER HOUSING

PROJECT NUMBER:
 457-25
 STATUS:
 DP



LIST OF DRAWINGS			
A-0.0	Cover Page		
A-1.0	Foundation Plan		
A-1.1	Basement Plan		
A-1.2	Main Floor Plan		
A-1.3	Upper Floor Plan		
A-1.4	Loft Floor Plan		
A-1.5	Roof Plan		
A-2.0	Front & Rear Elevation (Front)		
A-2.1	Front & Rear Elevation (Rear)		
A-2.2	Left & Right Elevation		
A-3.0	Garage Plan & Elevation		
A-3.1	Garage Section		

MAIN DWELLING FRONT
 BUILDING CODE:
 THE APPLICABLE CODE FOR THE BUILDING IS THE NBC 2023 AE
 OCCUPANCY CLASSIFICATION:
 GROUP C (RESIDENTIAL OCCUPANCY)
 BUILDING CLASSIFICATION:
 THE BUILDING CONFORMS WITH THE REQUIREMENTS OF PART 9 DIVISION B OF THE NBC 2023 AE (1.9.3.3)
 3 STOREYS OR LESS IN BUILDING HEIGHT
 BUILDING AREA NOT EXCEEDING 600 SQUARE METRE
 USED FOR MAJOR OCCUPANCY CLASSIFIED AS GROUP C

GARAGE
 BUILDING CODE:
 THE APPLICABLE CODE FOR THE BUILDING IS THE NBC 2023 AE
 OCCUPANCY CLASSIFICATION:
 GROUP F (DIVISION 3 STORAGE GARAGES)
 BUILDING CLASSIFICATION:
 THE BUILDING CONFORMS WITH THE REQUIREMENTS OF PART 9 DIVISION B OF THE NBC 2023 AE (3.2.2.90)
 STORAGE GARAGES UP TO 22m HIGH

MAIN DWELLING REAR
 BUILDING CODE:
 THE APPLICABLE CODE FOR THE BUILDING IS THE NBC 2023 AE
 OCCUPANCY CLASSIFICATION:
 GROUP C (RESIDENTIAL OCCUPANCY)
 BUILDING CLASSIFICATION:
 THE BUILDING CONFORMS WITH THE REQUIREMENTS OF PART 9 DIVISION B OF THE NBC 2023 AE (1.9.3.3)
 2 STOREYS OR LESS IN BUILDING HEIGHT
 BUILDING AREA NOT EXCEEDING 600 SQUARE METRE
 USED FOR MAJOR OCCUPANCY CLASSIFIED AS GROUP C

SPRINKLER SYSTEMS STANDARD - NFPA 13B:
 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS IN LOW-RISE RESIDENTIAL OCCUPANCIES

DO NOT SCALE DRAWINGS.
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03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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DRAWING SET:

SHEET NAME:
 Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

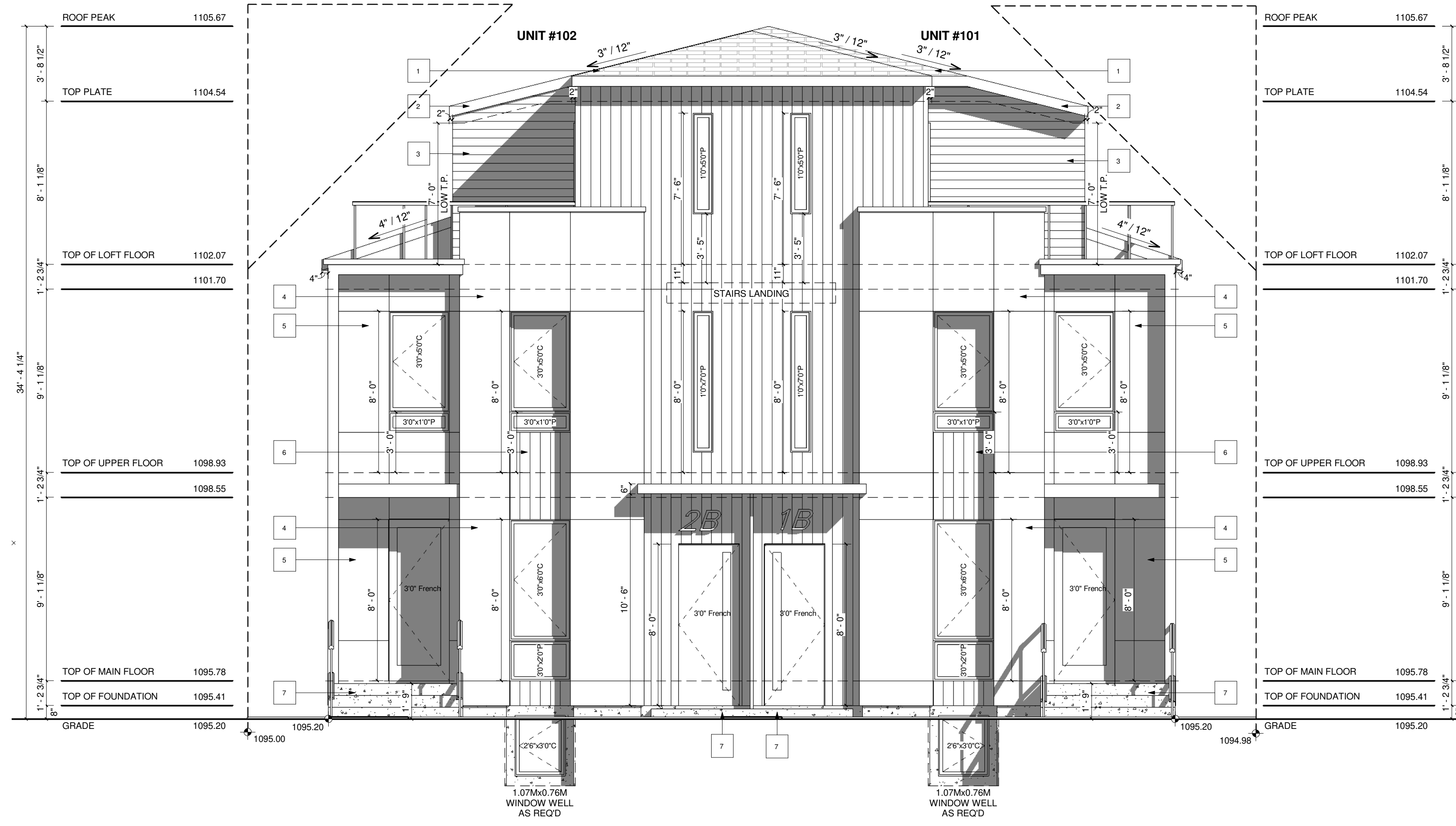
PRINTED: 2025-11-27 12:56:54 PM

SCALE:

PAGE: **A-0.0**

FLOOR AREA - unit #101B	FLOOR AREA - unit #102B	FLOOR AREA - unit #201B	FLOOR AREA - unit #202B
BASEMENT (SUITE) = 567.00 SQ. FT.	BASEMENT (SUITE) = 567.00 SQ. FT.	BASEMENT (SUITE) = 567.00 SQ. FT.	BASEMENT (SUITE) = 567.00 SQ. FT.
MAIN = 553.67 SQ. FT.	MAIN = 553.67 SQ. FT.	MAIN = 553.67 SQ. FT.	MAIN = 553.67 SQ. FT.
UPPER = 567.00 SQ. FT.	UPPER = 567.00 SQ. FT.	UPPER = 578.00 SQ. FT.	UPPER = 578.00 SQ. FT.
LOFT = 399.00 SQ. FT.	LOFT = 370.08 SQ. FT.		
TOTAL = 1519.67 SQ. FT.	TOTAL = 1490.75 SQ. FT.	TOTAL = 1120.67 SQ. FT.	TOTAL = 1120.67 SQ. FT.

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION (FRONT UNIT)
 SCALE: 1/4" = 1'-0"

VENTED SOFFIT NOTES:
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 (SOFFIT ARE PRE-FIN ALUM)



unit #101 WINDOW CALCULATION :
 @2.00m LIMITING DISTANCE
 WALL AREA = 645.09 SQ. FT.
 WINDOW AREA = 41.86 SQ. FT.
 TOTAL: 41.86 / 645.09 = 6.49%

unit #102 WINDOW CALCULATION :
 @2.00m LIMITING DISTANCE
 WALL AREA = 648.04 SQ. FT.
 WINDOW AREA = 42.58 SQ. FT.
 TOTAL: 42.58 / 648.04 = 6.57%

REAR ELEVATION (FRONT UNIT)
 SCALE: 1/4" = 1'-0"



GENERAL NOTES:

EXTERIOR FINISHES:

- 1 TORCH ON ROOF
- 2 6" ALUMINUM FASCIA - BLACK
- 3 HARDIE SIDING - BLACK/DRAK GREY
- 4 ACM PANEL - GRAY
- 5 ACM PANEL - BEIGE
- 6 HARDIE SIDING - VERTICAL BLACK/DRAK GREY
- 7 PRECAST CONCRETE
- 8 CONCRETE PAVING

MUNICIPAL ADDRESS:
 101, 102, 201 & 202
 1910 21 AVE NW.
 CALGARY, ALBERTA

PROJECT:
 CLUSTER HOUSING

PROJECT NUMBER:
 457-25

STATUS:
 DP

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DRAWING SET:

SHEET NAME:
 Front & Rear Elevation (Front)

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-11-27 12:57:06 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

unit #202 WINDOW CALCULATION :
 @ 4.72m LIMITING DISTANCE
 WALL AREA = 451.50 SQ. FT.
 WINDOW AREA = 91.24 SQ. FT.
 TOTAL: 91.24 / 451.50 = 20.21%

unit #201 WINDOW CALCULATION :
 @ 4.72m LIMITING DISTANCE
 WALL AREA = 448.88 SQ. FT.
 WINDOW AREA = 90.91 SQ. FT.
 TOTAL: 90.91 / 448.88 = 20.25%

FRONT ELEVATION (REAR UNIT)
 SCALE: 1/4" = 1'-0"



VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

unit #201 WINDOW CALCULATION :
 @ 1.20m LIMITING DISTANCE
 WALL AREA = 448.88 SQ. FT.
 WINDOW AREA = 29.55 SQ. FT.
 TOTAL: 29.55 / 448.88 = 6.58%

unit #202 WINDOW CALCULATION :
 @ 1.20m LIMITING DISTANCE
 WALL AREA = 451.50 SQ. FT.
 WINDOW AREA = 30.08 SQ. FT.
 TOTAL: 30.08 / 451.50 = 6.66%

REAR ELEVATION (REAR UNIT)
 SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
- EXTERIOR FINISHES:**
- 1 TORCH ON ROOF
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING - BLACK/DRAK GREY
 - 4 ACM PANEL - GRAY
 - 5 ACM PANEL - BEIGE
 - 6 HARDIE SIDING - VERTICAL - BLACK/DRAK GREY
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 - 8 CONCRETE PAVING

MUNICIPAL ADDRESS:
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DRAWING SET:

SHEET NAME:
 Front & Rear Elevation (Rear)

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

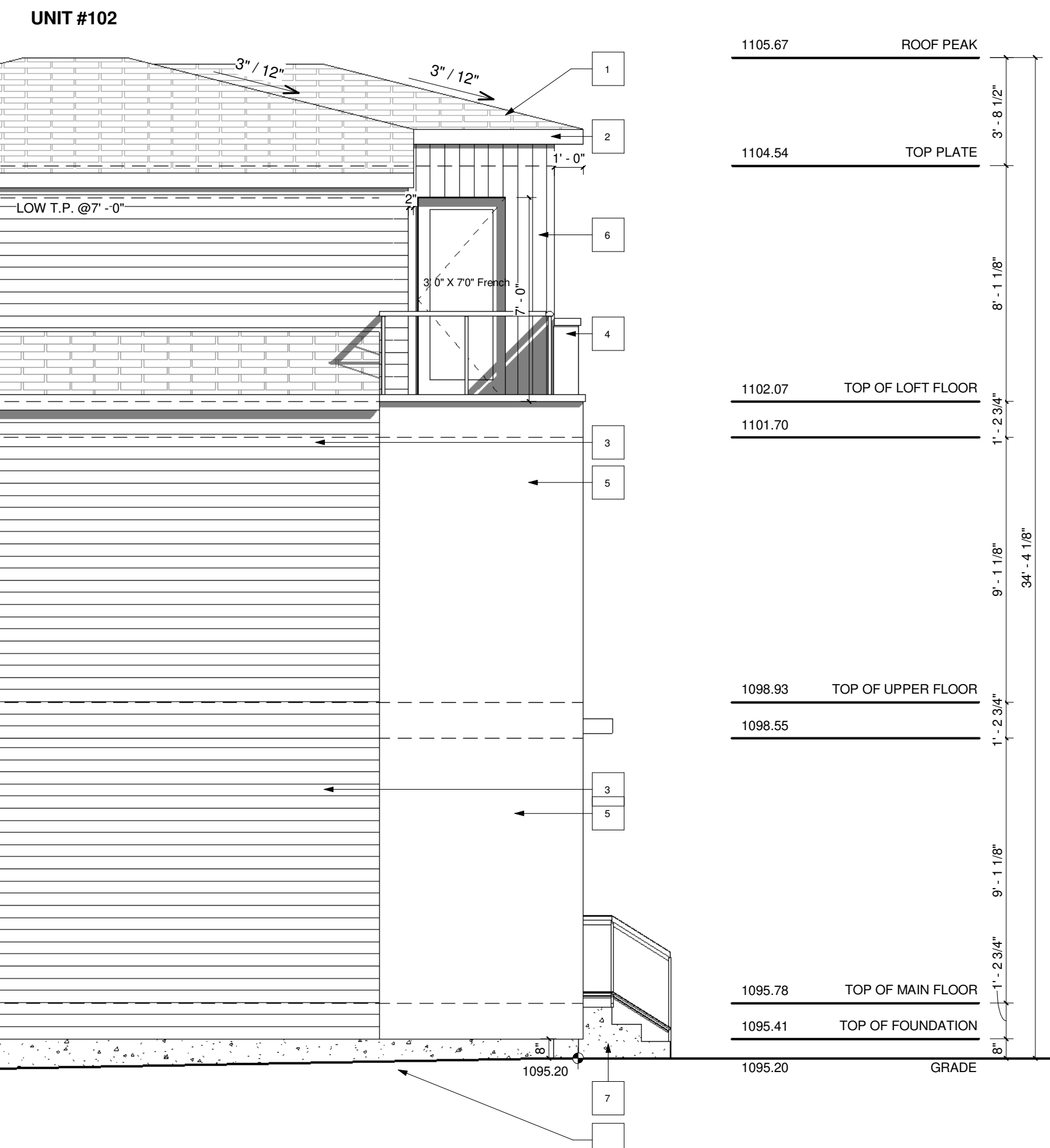
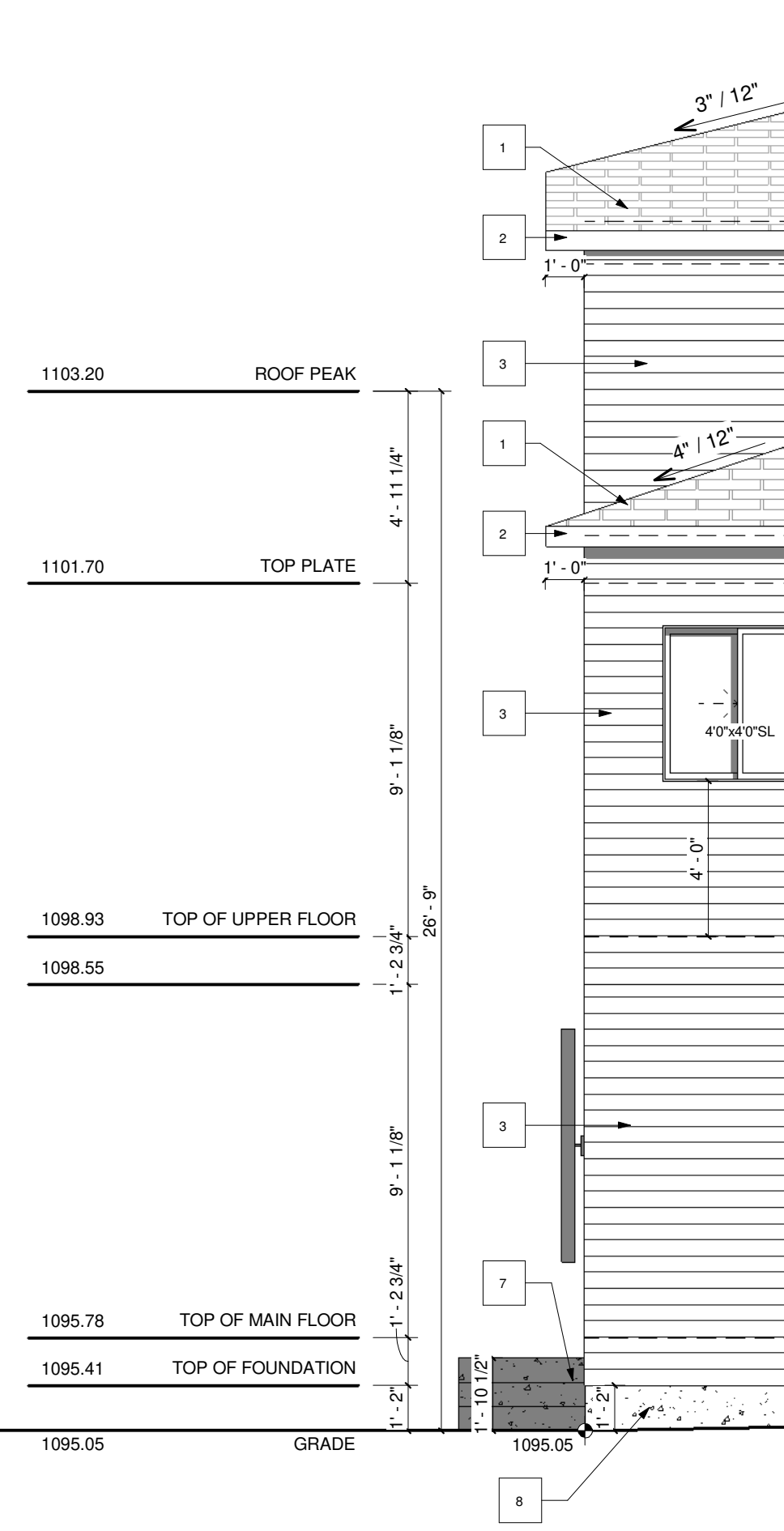
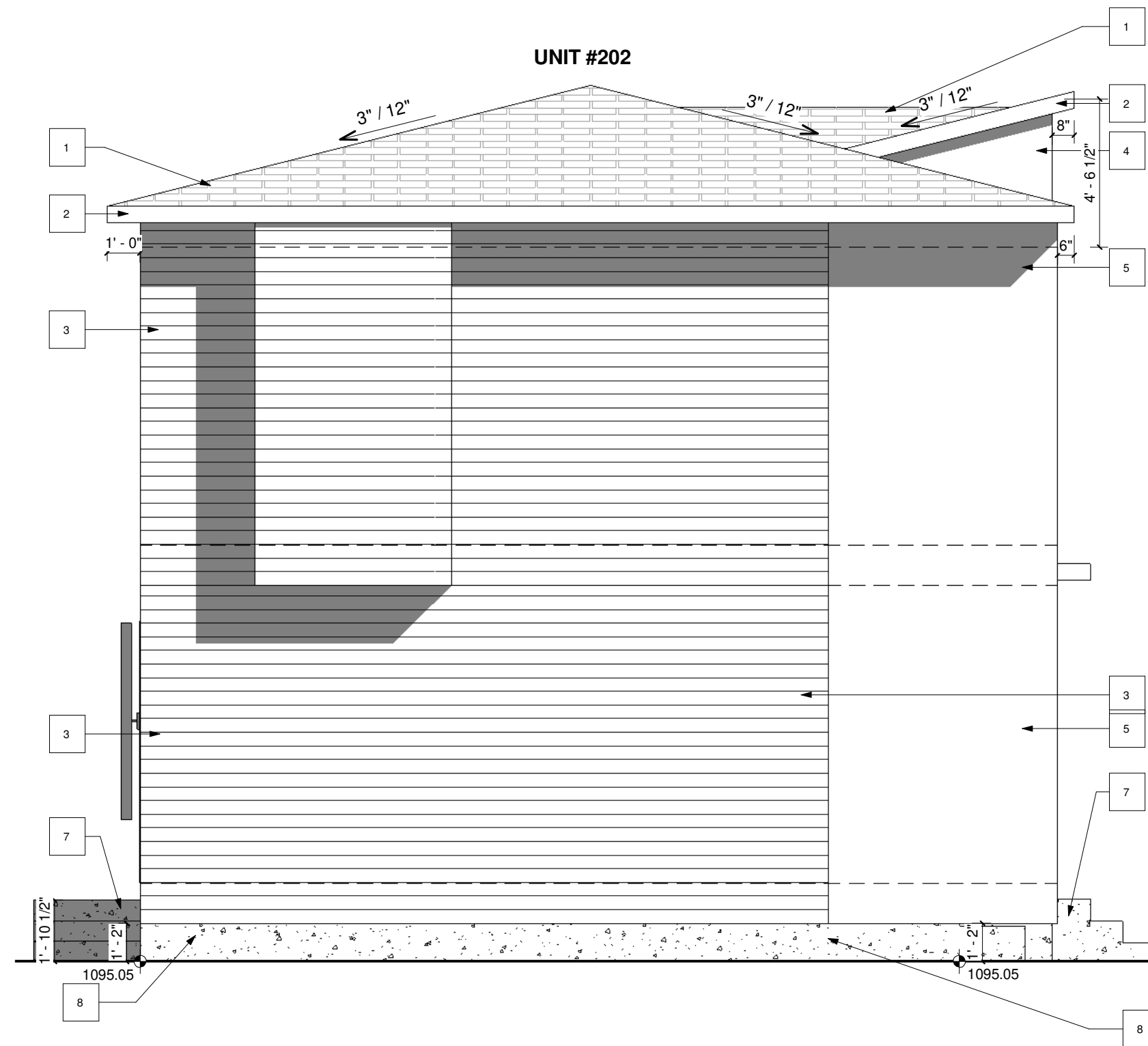
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SCALE: 1/4" = 1'-0"

PAGE: **A-2.1**

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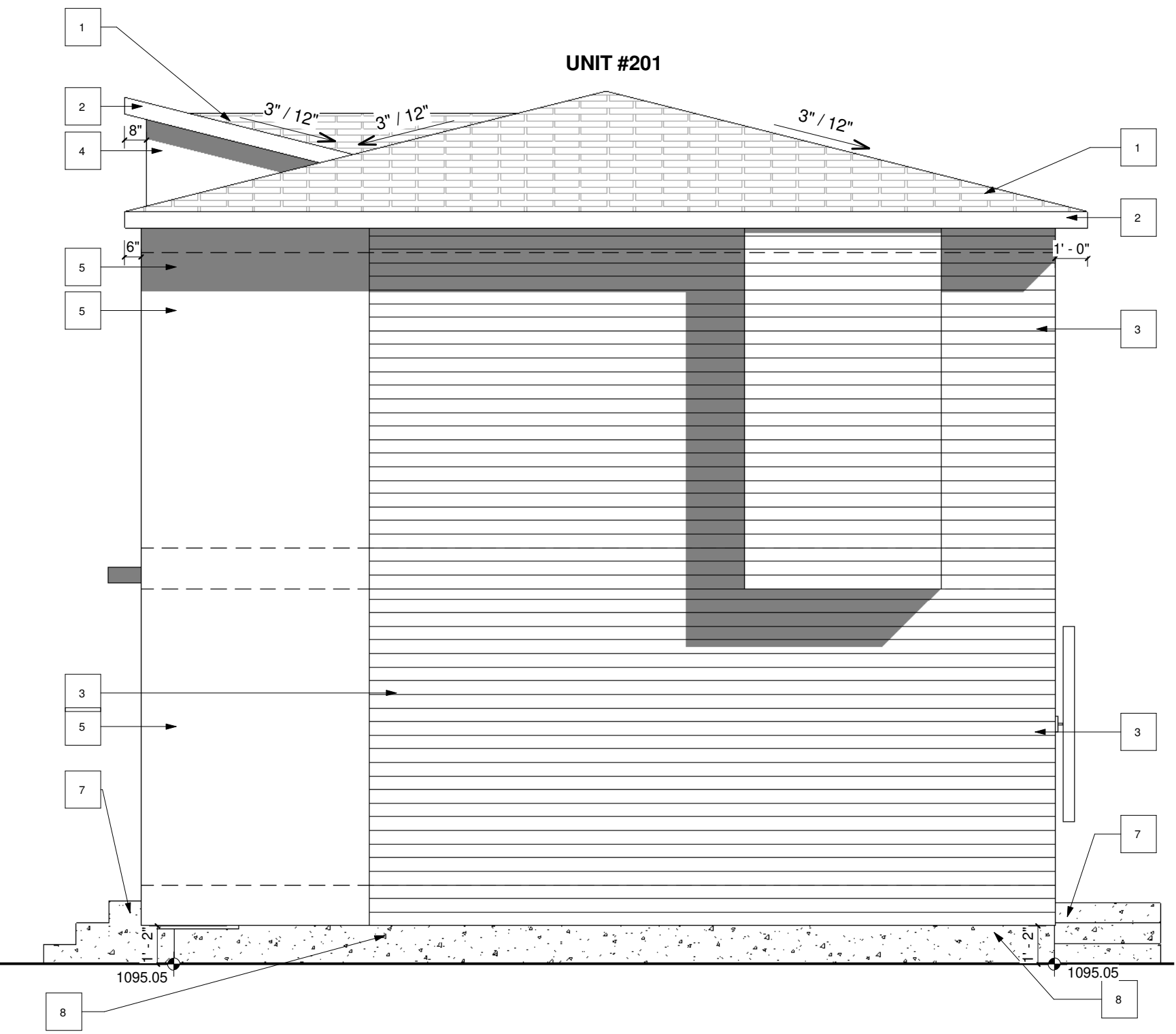
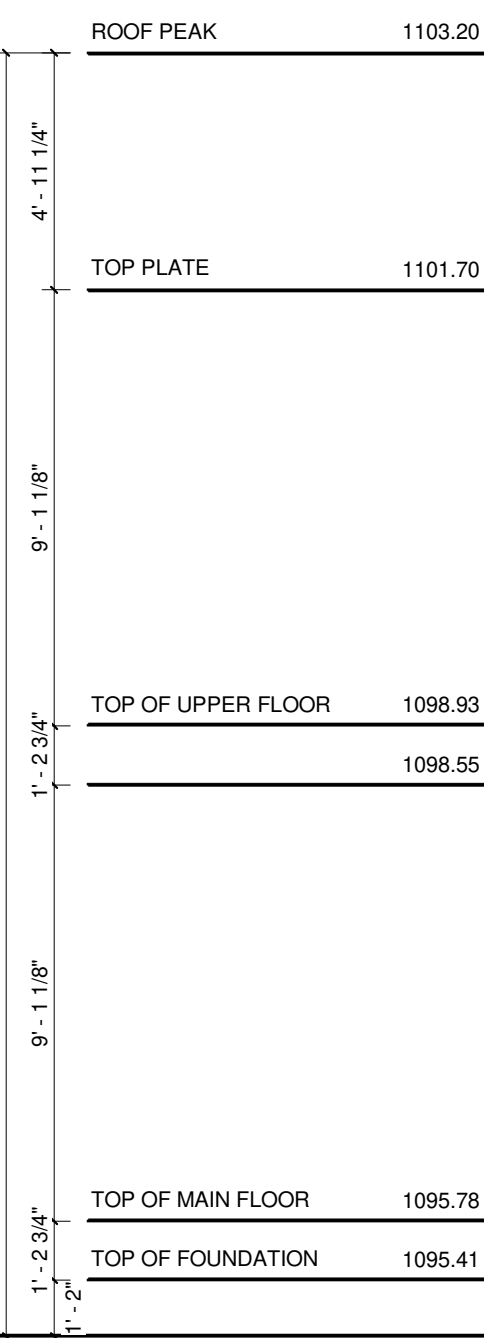
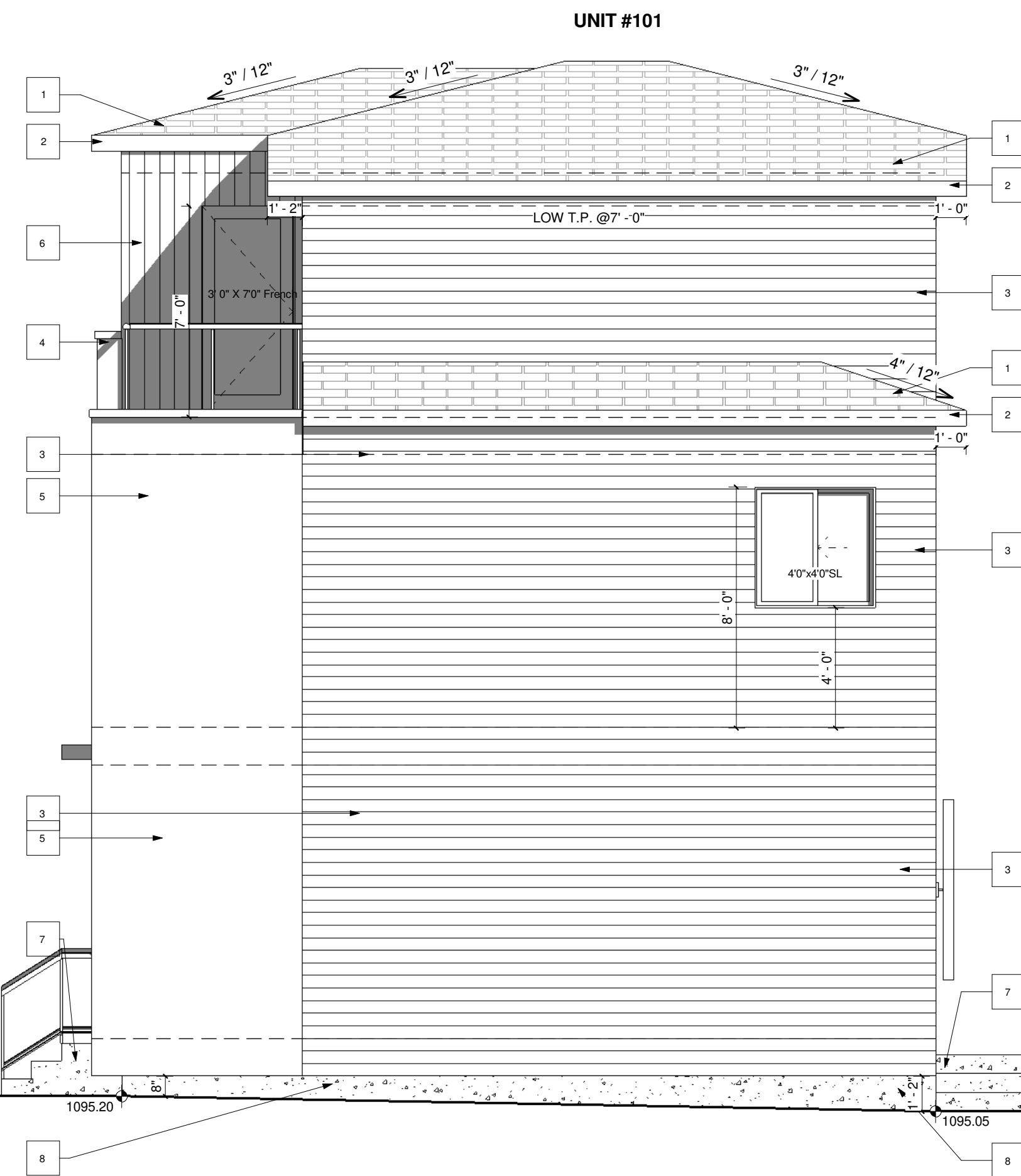
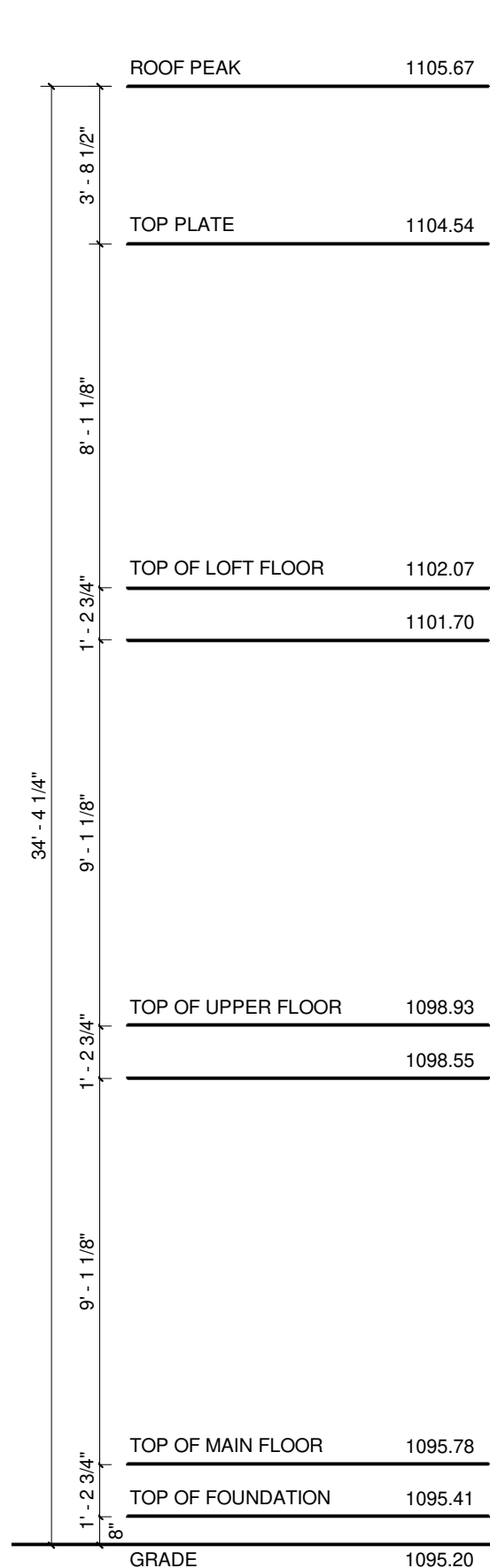
unit #102 WINDOW CALCULATION:
 @ 1.22m LIMITING DISTANCE
 WALL AREA = 864.66 SQ. FT.
 WINDOW AREA = 29.99 SQ. FT.
 TOTAL: 29.99 / 864.66 = 3.47%



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

VENTED SOFFIT NOTES:
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 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

unit #101 WINDOW CALCULATION:
 @ 1.22m LIMITING DISTANCE
 WALL AREA = 850.10 SQ. FT.
 WINDOW AREA = 29.99 SQ. FT.
 TOTAL: 29.99 / 850.10 = 3.53%



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
EXTERIOR FINISHES:
- 1 TORCH ON ROOF
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING - BLACK/DRAK GREY
 - 4 ACM PANEL - GRAY
 - 5 ACM PANEL - BEIGE
 - 6 HARDIE SIDING - VERTICAL - BLACK/DRAK GREY
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 - 8 CONCRETE PAVING

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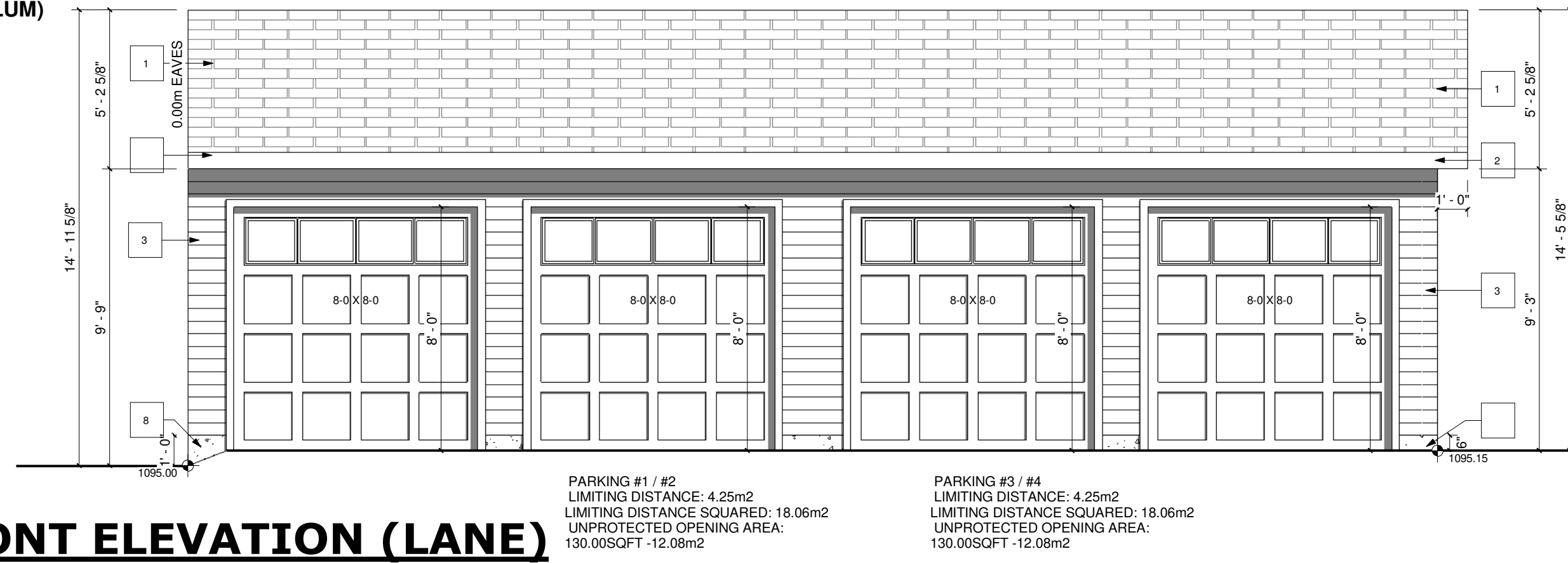
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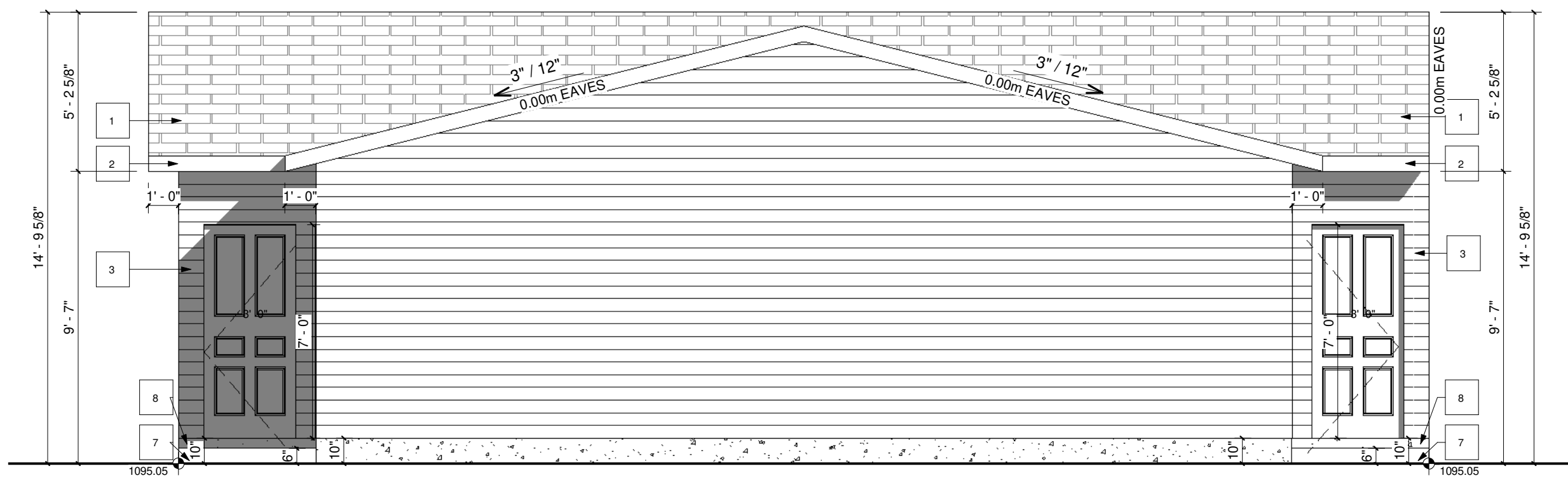
DRAWING SET:
SHEET NAME:
 Left & Right Elevation
DESIGN BY: JT
DRAWN BY: JT
LAST REVISION BY:
PRINTED: 2025-11-27 12:57:09 PM
SCALE: 1/4" = 1'-0"
PAGE: A-2.2

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



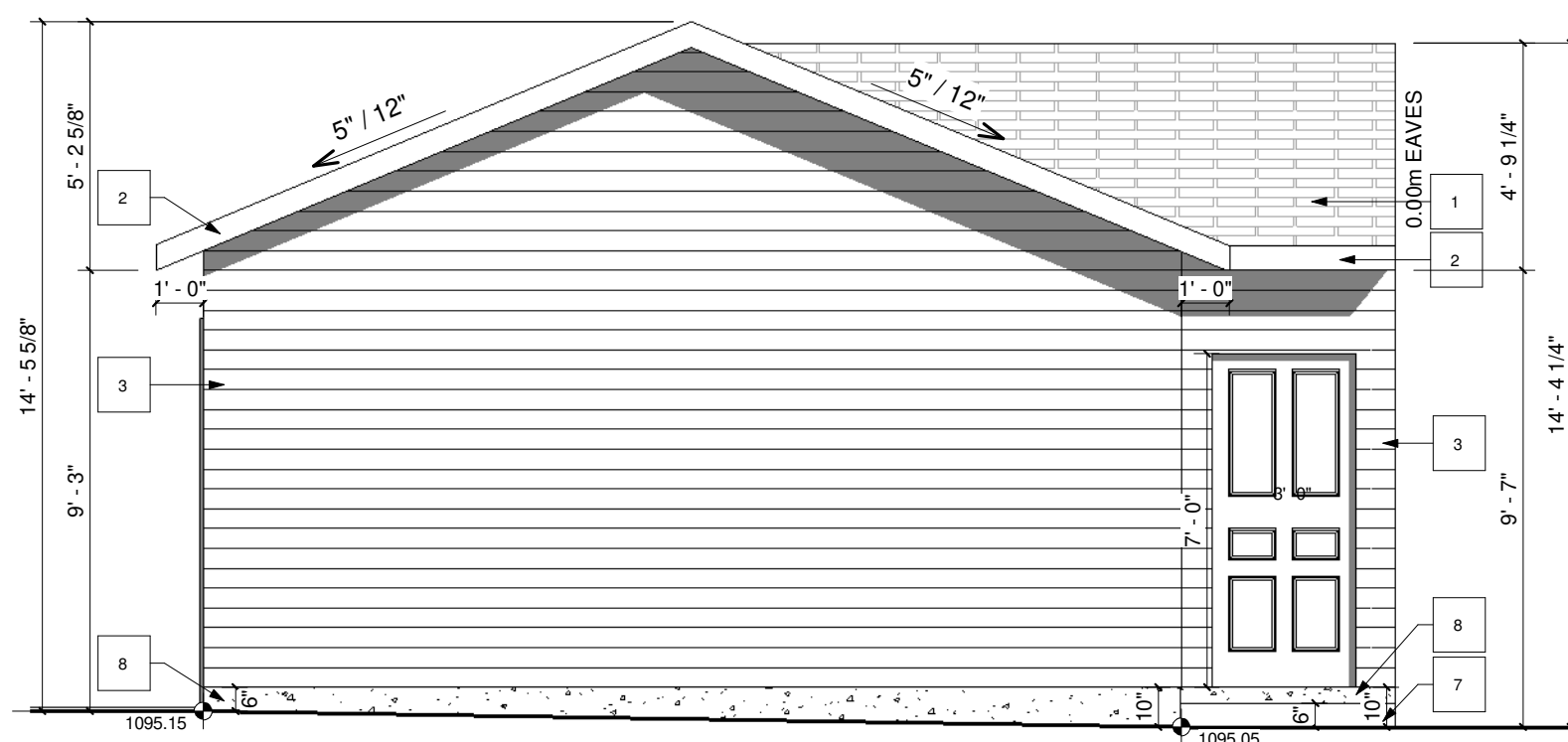
GARAGE FRONT ELEVATION (LANE)

SCALE: 1/4" = 1'-0"



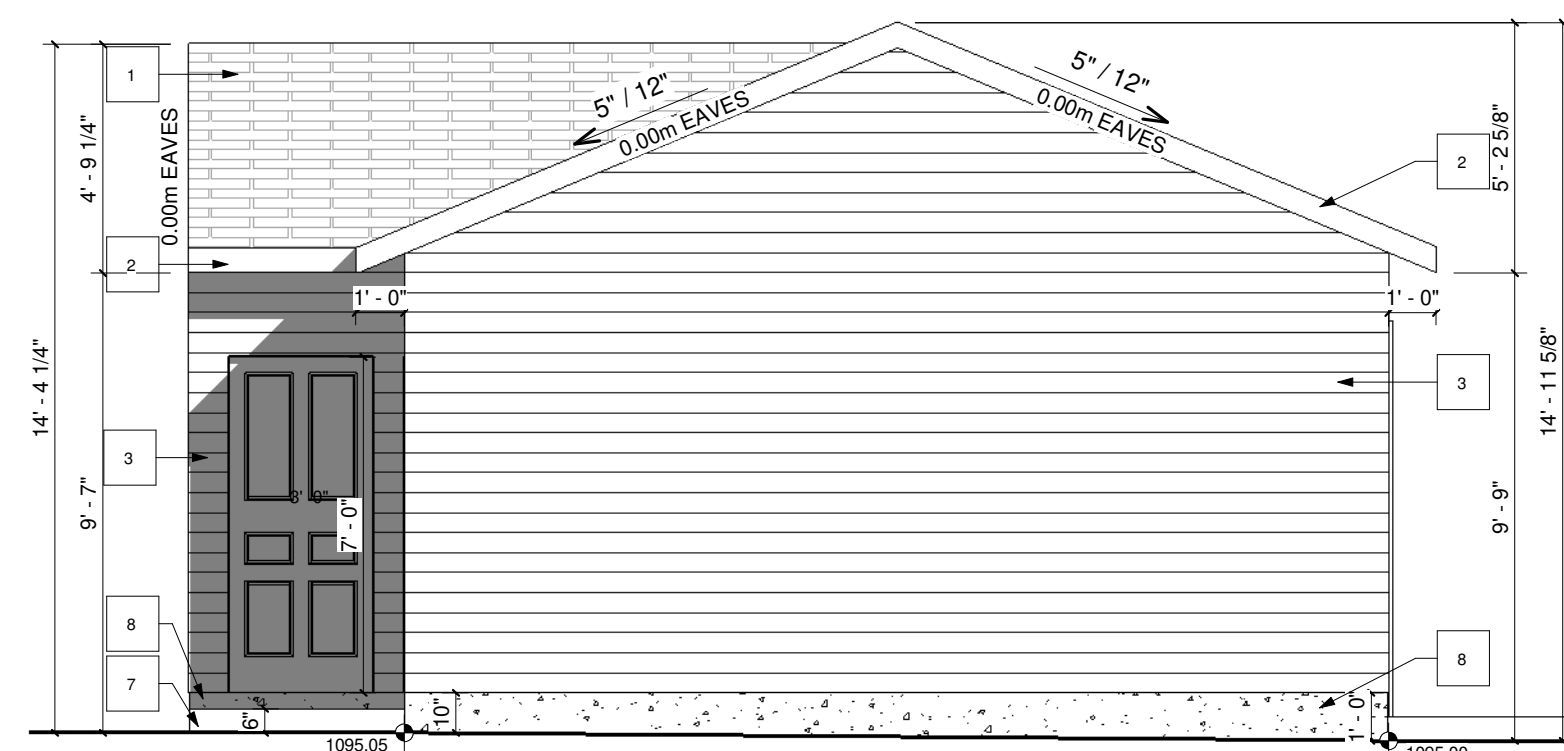
GARAGE REAR ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

EXTERIOR FINISHES:

- 1 TORCH ON ROOF
- 2 6" ALUMINUM FASCIA - BLACK
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- 5 ACM PANEL - BEIGE
- 6 HARDIE SIDING - VERTICAL - BLACK/DRAK GREY
- 7 PRECAST CONCRETE
- 8 CONCRETE PAVING

MUNICIPAL ADDRESS:
 101, 102, 201 & 202
 1910 21 AVE NW.
 CALGARY, ALBERTA

PROJECT:
 CLUSTER HOUSING

PROJECT NUMBER:
 457-25

STATUS:
 DP

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	21/11/2025	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

DRAWING SET:

SHEET NAME:
 Garage Plan & Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-11-27 12:57:12 PM

SCALE: As indicated

A-3.0

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