

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: \square = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- X--- denotes Fence
- S--- denotes Sanitary Line
- ST--- denotes Storm Line
- W--- denotes Water Line
- G--- denotes Gas Line
- E--- denotes Electrical Line
- AGT--- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE: 1:200

LEGAL DESCRIPTION:
 Lot 4 & 5
 Block 38
 Plan 8100 AF

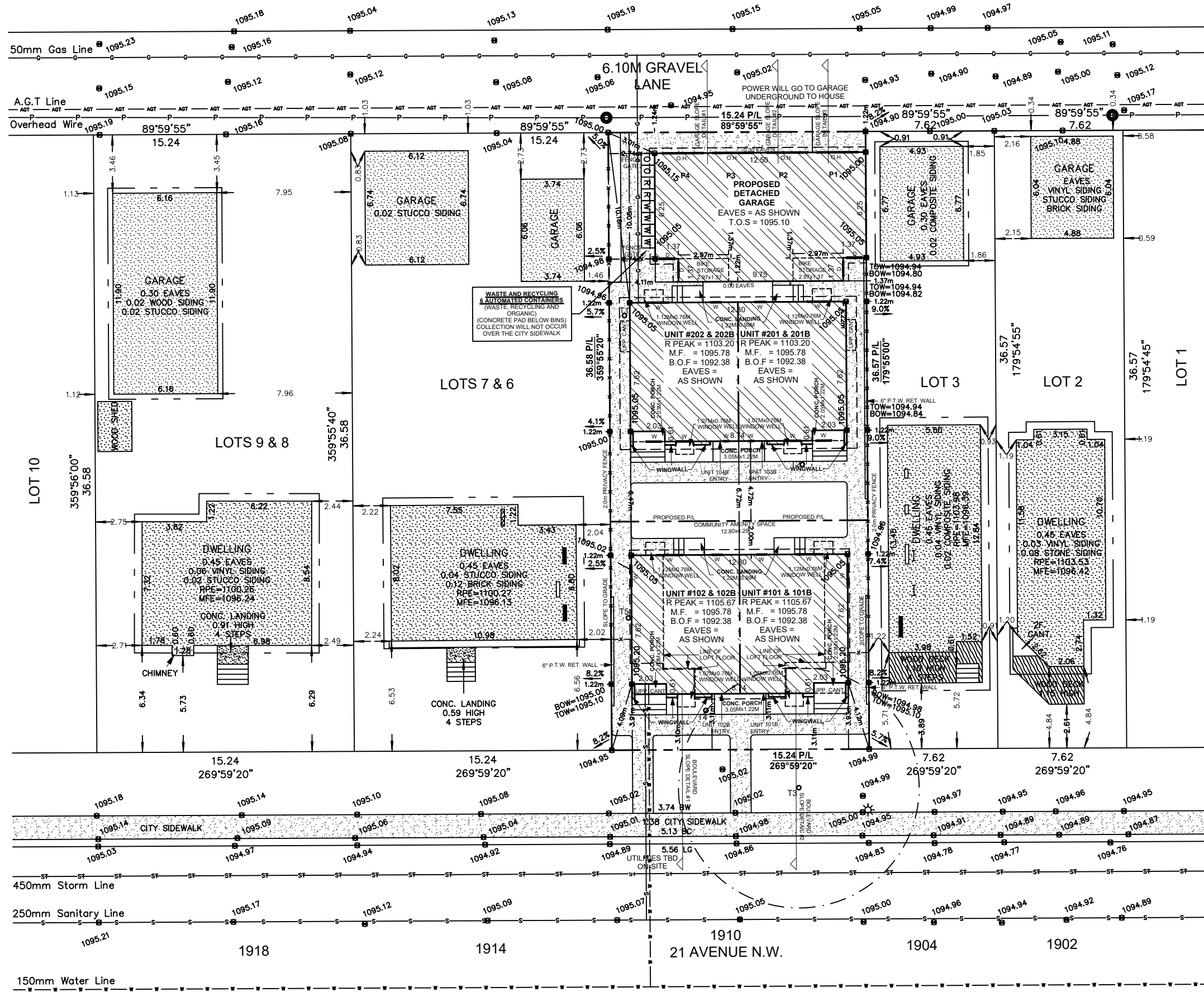
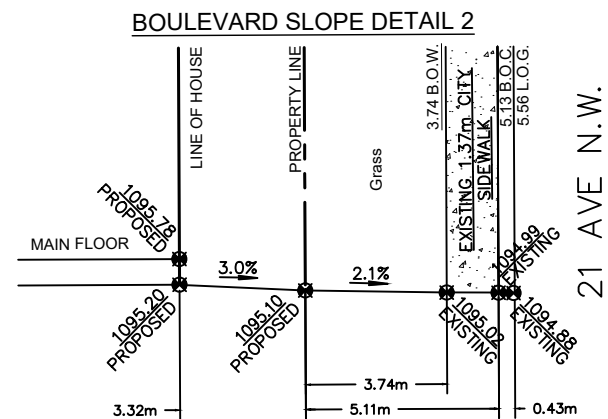
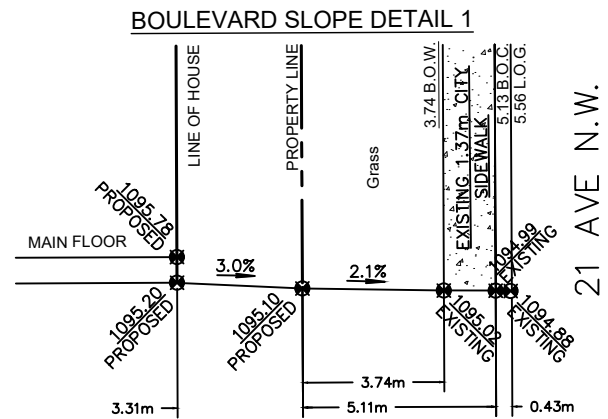
MUNICIPAL ADDRESS:
 1910 21 Ave NW
 Calgary, Alberta

LOT COVERAGE DETAIL:
 (CLUSTER)
 LOT SIZE: 557.231 SQ M
 HOUSE SIZE: 205.749 SQ M
 CANT.: 0.000 SQ M
 COVERED PORCH: 4.583 SQ M
 GARAGE: 91.101 SQ M
 WINGWALL: 1.889 SQ M
 TOTAL: 303.322/557.231
 = 54.43%

DENSITY:
 TOTAL UNITS: 4
 LOT SIZE: 557.231 SQ M (0.0557231 ha)
 DENSITY: 72 UNITS/ha

PARKING:
 PARKING PROVIDED: 4 STALLS

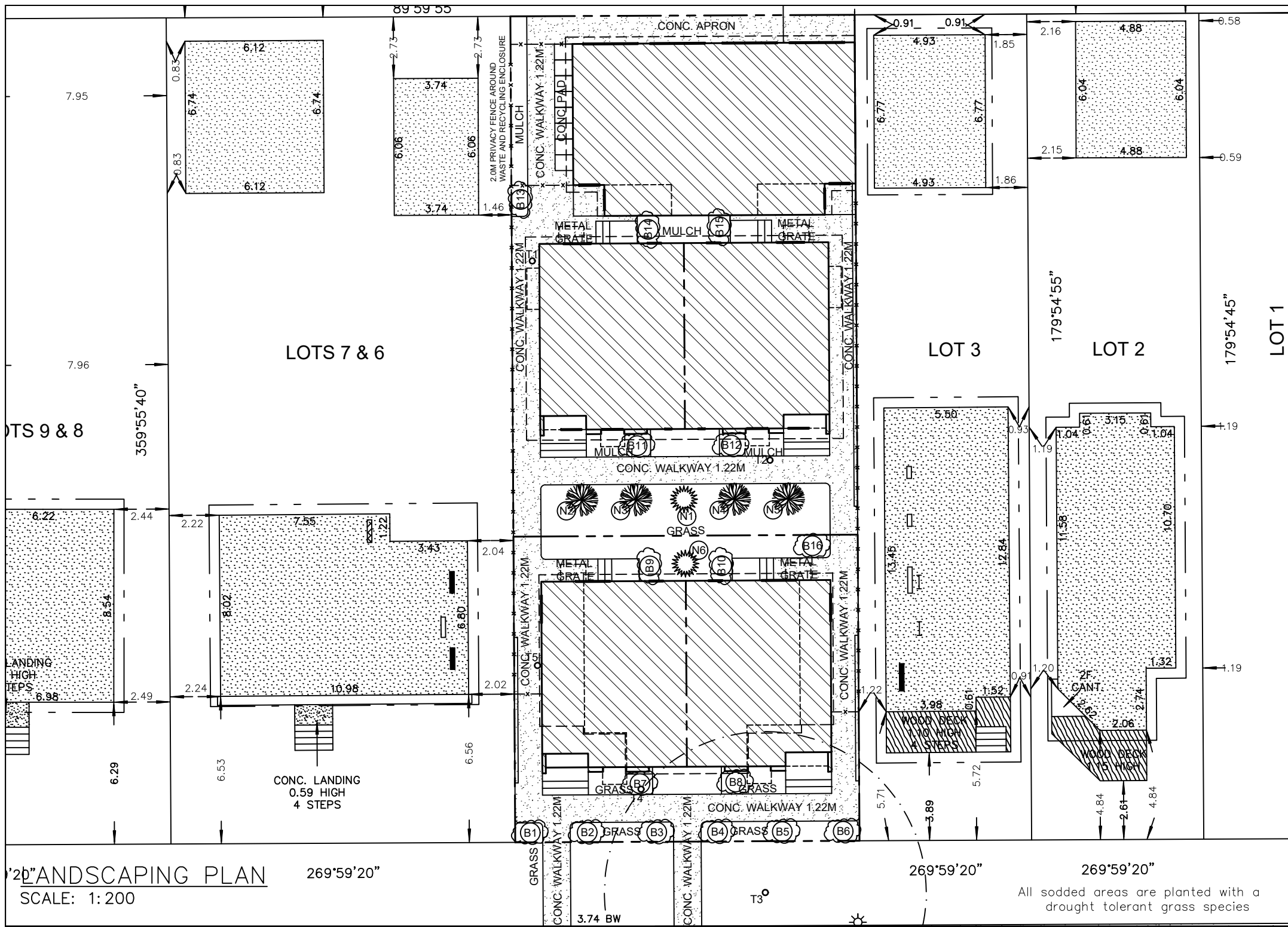
SITE PLAN SCALE: 1:200		1918		1914		1910 21 AVENUE N.W.		1904		1902	
NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:				PROJECT:	SCALE:		
01.	21/11/2025	DP PLANS	K.R.	1910 21st Ave NW Calgary, Alberta				CLUSTER HOUSE	1:200		
02.	--	--	--	Lot 4 & 5				DATE:	DIVISION NUMBER		
03.	--	--	--	Block 38				NOVEMBER 21, 2025	S 01		
04.	--	--	--	Plan 8100 AF							



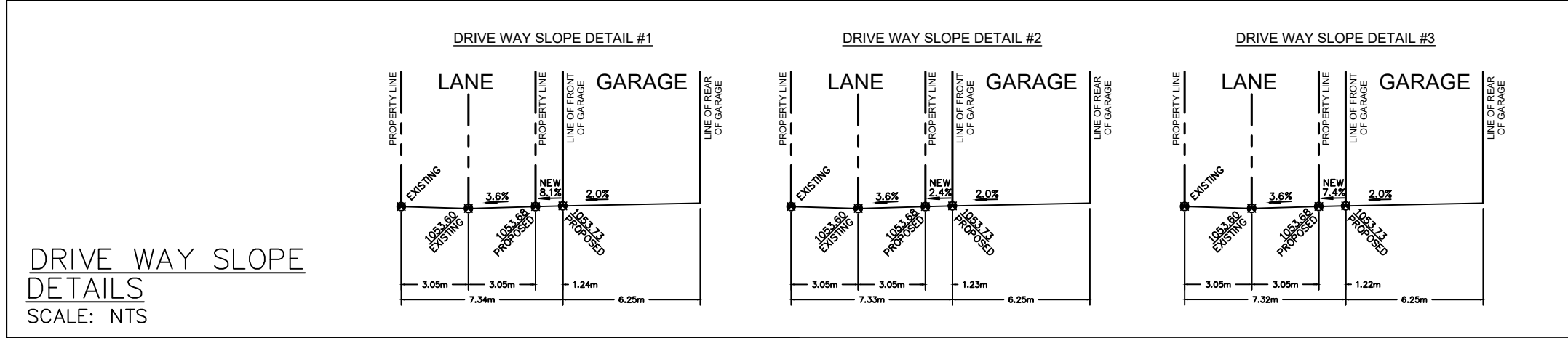
BOULEVARD SLOPE DETAILS
SCALE: NTS

BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	21/11/2025	DP PLANS	K.R.	1910 21st Ave NW Calgary, Alberta	CLUSTER HOUSE	1: 200
02.	--	--	--	Lot 4 & 5 Block 38 Plan 8100 AF	DATE: NOVEMBER 21, 2025	DIVISION NUMBER: S 02
03.	--	--				
04.	--	--				



LANDSCAPING PLAN
SCALE: 1:200



DRIVE WAY SLOPE DETAILS
SCALE: NTS

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Columnar Spruce (Coniferous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
B1	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B2	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B3	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B4	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B5	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B6	Mugo Pine (Shrub)	---	0.61	0.61	In Subject Property	New
B7	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B8	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B9	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B10	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B11	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B12	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B13	Lilac (Shrub)	---	0.61	0.61	In Subject Property	New
B14	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New
B15	Hawthorn (Shrub)	---	0.61	0.61	In Subject Property	New

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs

EXISTING TREE SCHEDULE

Tree No.	Variety	Trunk (±)	Canopy (±)	Height (±)	Location	DISPOSITION
T1	Bush	---	1.00	3.00	In Subject Property	To Be Removed
T2	Coniferous	0.30	3.00	8.00	In Subject Property	To Be Removed
T3	American Elm	0.60	4.00	8.00	In City Property	To Stay
T4	Coniferous	0.20	1.00	6.00	In Subject Property	To Be Removed
T5	Bush	---	0.50	1.50	In Subject Property	To Be Removed

LANDSCAPE COVERAGE

LOT SIZE = 557,231 SQ. M
 LANDSCAPE AREA = 253,909 SQ. M
 HARD LANDSCAPE (CONC. WALKWAY AND CONC. PADS) = 172,625 SQ. M
 SOFT LANDSCAPE (GRASS + MULCH) = 81,284 SQ. M
 81,284 / 253,909 = 32.02% OF SOFT LANDSCAPE
 172,625 / 253,909 = 67.98% OF HARD LANDSCAPE

NOTE: All soft surfaced landscape area will be irrigated by an underground irrigation system.
 NOTE: Minimum 300mm topsoil is required in all pervious areas.
 Minimum 600mm topsoil depth for tree and shrub beds.

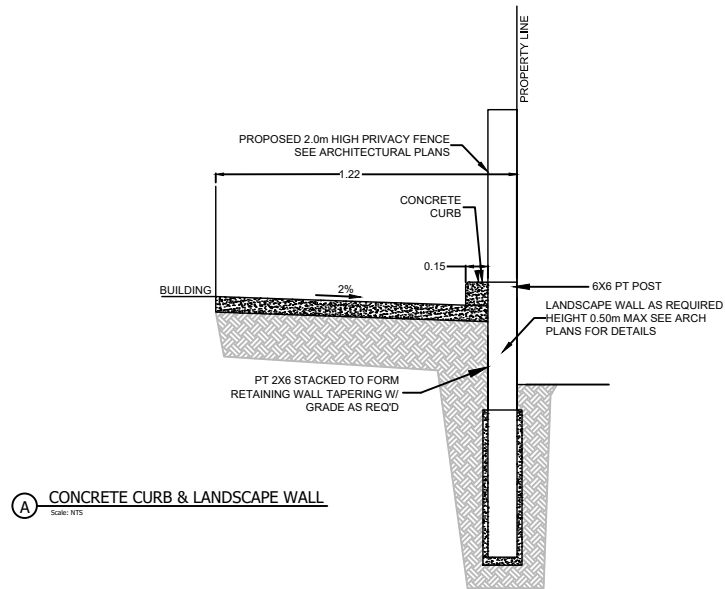
An urban forestry technician will need to be onsite during excavation to determine the level of impact and if the tree can be retained. Plans should be undertaken by the developer to have an estimate for possible tree removal ahead of the excavation date.

"If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

"An Urban Forestry Technician must be onsite to mitigate possible root damage to adjacent public trees during excavation. Please contact Urban Forestry at 311 to make arrangements. Urban Forestry requires minimum two business days' notice prior to meeting onsite".

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	21/11/2025	DP PLANS	K.R.	1910 21st Ave NW Calgary, Alberta	CLUSTER HOUSE	1: 200
02.	--	--	--	Lot 4 & 5 Block 38 Plan 8100 AF	NOVEMBER 21, 2025	DIVISION NUMBER S 03
03.	--	--	--			
04.	--	--	--			

IF APPLICABLE



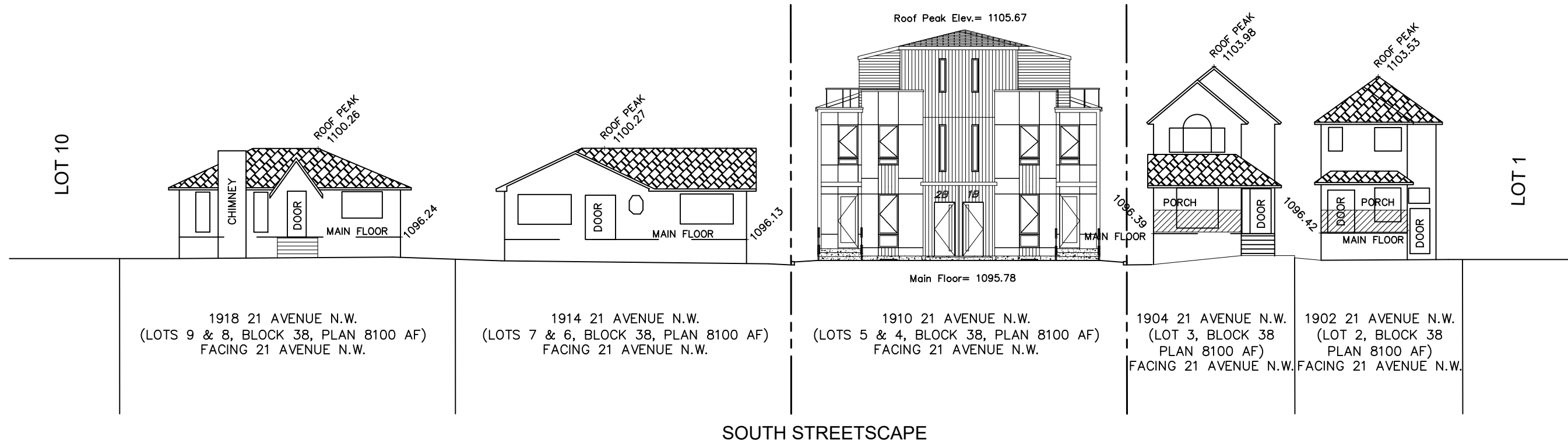
(A) CONCRETE CURB & LANDSCAPE WALL
Scale: NTS

NOTE: USE ON SITE ONLY WHERE APPLICABLE

FENCE SECTION DETAIL

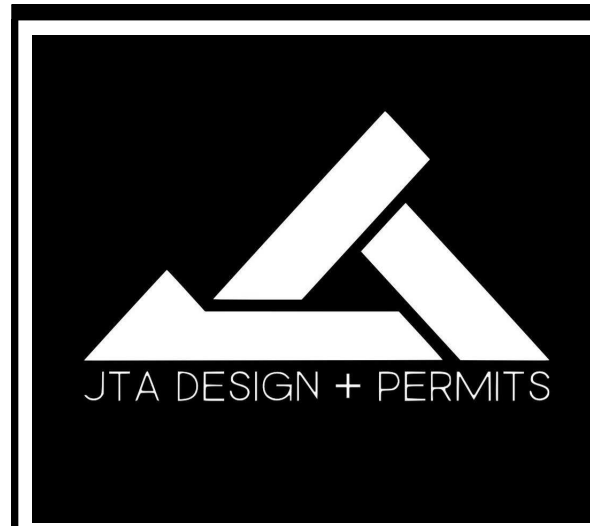
GROSS FLOOR AREAS

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA	UNIT #4 AREA
BASEMENT	567.00 SQ FT	567.00 SQ FT	567.00 SQ FT	567.00 SQ FT
MAIN FLOOR	553.67 SQ FT	553.67 SQ FT	553.67 SQ FT	553.67 SQ FT
UPPER FLOOR	567.00 SQ FT	567.00 SQ FT	578.00 SQ FT	578.00 SQ FT
LOFT	399.00 SQ FT	370.08 SQ FT	N/A	N/A
TOTAL AREA	1519.67 SQ FT	1490.75 SQ FT	1131.67 SQ FT	1131.67 SQ FT



STREETSCAPE
SCALE: 1:200

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02.	--	--	--	Lot 4 & 5 Block 38 Plan 8100 AF	DATE: NOVEMBER 21, 2025	DIVISION NUMBER: S 04
03.	--	--				
04.	--	--				



GENERAL NOTES:

MUNICIPAL ADDRESS:
101, 102, 201 & 202
1910 21 AVE NW.
CALGARY, ALBERTA
 PROJECT:
CLUSTER HOUSING

PROJECT NUMBER:
457-25
 STATUS:
DP



LIST OF DRAWINGS			
A-0.0	Cover Page		
A-1.0	Foundation Plan		
A-1.1	Basement Plan		
A-1.2	Main Floor Plan		
A-1.3	Upper Floor Plan		
A-1.4	Loft Floor Plan		
A-1.5	Roof Plan		
A-2.0	Front & Rear Elevation (Front)		
A-2.1	Front & Rear Elevation (Rear)		
A-2.2	Left & Right Elevation		
A-3.0	Garage Plan & Elevation		
A-3.1	Garage Section		

MAIN DWELLING FRONT
 BUILDING CODE:
 THE APPLICABLE CODE FOR THE BUILDING IS THE NBC 2023 AE
 OCCUPANCY CLASSIFICATION:
 GROUP C (RESIDENTIAL OCCUPANCY)
 BUILDING CLASSIFICATION:
 THE BUILDING CONFORMS WITH THE REQUIREMENTS OF PART 9 DIVISION B OF THE NBC 2023 AE (1.9.3.3)
 3 STOREYS OR LESS IN BUILDING HEIGHT
 BUILDING AREA NOT EXCEEDING 600 SQUARE METRE
 USED FOR MAJOR OCCUPANCY CLASSIFIED AS GROUP C

MAIN DWELLING REAR
 BUILDING CODE:
 THE APPLICABLE CODE FOR THE BUILDING IS THE NBC 2023 AE
 OCCUPANCY CLASSIFICATION:
 GROUP C (RESIDENTIAL OCCUPANCY)
 BUILDING CLASSIFICATION:
 THE BUILDING CONFORMS WITH THE REQUIREMENTS OF PART 9 DIVISION B OF THE NBC 2023 AE (1.9.3.3)
 2 STOREYS OR LESS IN BUILDING HEIGHT
 BUILDING AREA NOT EXCEEDING 600 SQUARE METRE
 USED FOR MAJOR OCCUPANCY CLASSIFIED AS GROUP C

GARAGE
 BUILDING CODE:
 THE APPLICABLE CODE FOR THE BUILDING IS THE NBC 2023 AE
 OCCUPANCY CLASSIFICATION:
 GROUP F (DIVISION 3 STORAGE GARAGES)
 BUILDING CLASSIFICATION:
 THE BUILDING CONFORMS WITH THE REQUIREMENTS OF PART 9 DIVISION B OF THE NBC 2023 AE (3.2.2.90)
 STORAGE GARAGES UP TO 22m HIGH

SPRINKLER SYSTEMS STANDARD - NFPA 13B:
 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS IN LOW-RISE RESIDENTIAL OCCUPANCIES

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04.	--	--	--
05.	--	--	--
06.	--	--	--

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ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

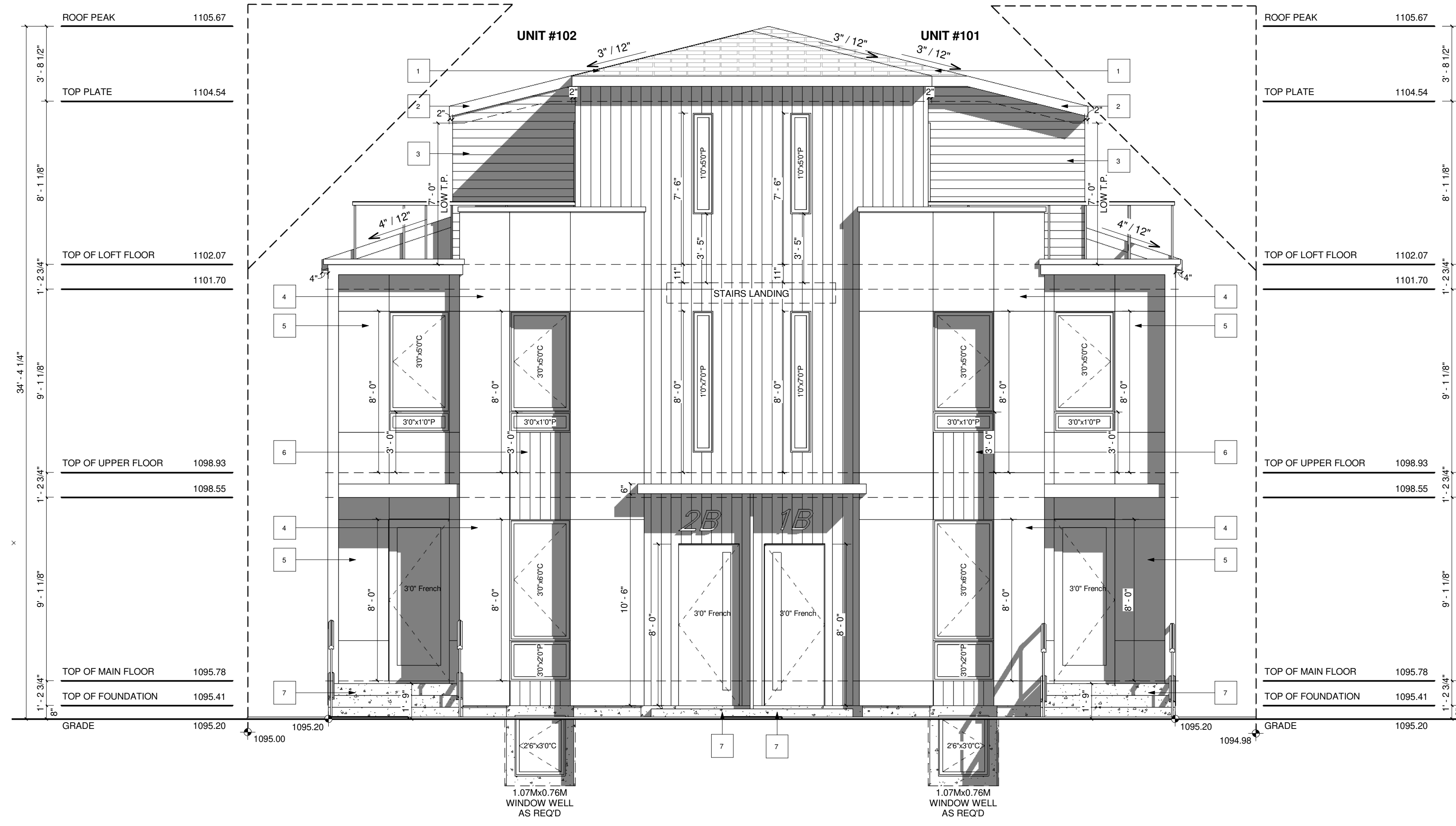
PRINTED: 2025-11-27 12:56:54 PM

SCALE:

PAGE: **A-0.0**

FLOOR AREA - unit #101B	FLOOR AREA - unit #102B	FLOOR AREA - unit #201B	FLOOR AREA - unit #202B
BASEMENT (SUITE) = 567.00 SQ. FT.	BASEMENT (SUITE) = 567.00 SQ. FT.	BASEMENT (SUITE) = 567.00 SQ. FT.	BASEMENT (SUITE) = 567.00 SQ. FT.
FLOOR AREA - unit #101	FLOOR AREA - unit #102	FLOOR AREA - unit #201	FLOOR AREA - unit #202
MAIN = 553.67 SQ. FT.	MAIN = 553.67 SQ. FT.	MAIN = 553.67 SQ. FT.	MAIN = 553.67 SQ. FT.
UPPER = 567.00 SQ. FT.	UPPER = 567.00 SQ. FT.	UPPER = 578.00 SQ. FT.	UPPER = 578.00 SQ. FT.
LOFT = 399.00 SQ. FT.	LOFT = 370.08 SQ. FT.		
TOTAL = 1519.67 SQ. FT.	TOTAL = 1490.75 SQ. FT.	TOTAL = 1120.67 SQ. FT.	TOTAL = 1120.67 SQ. FT.

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION (FRONT UNIT)
 SCALE: 1/4" = 1'-0"

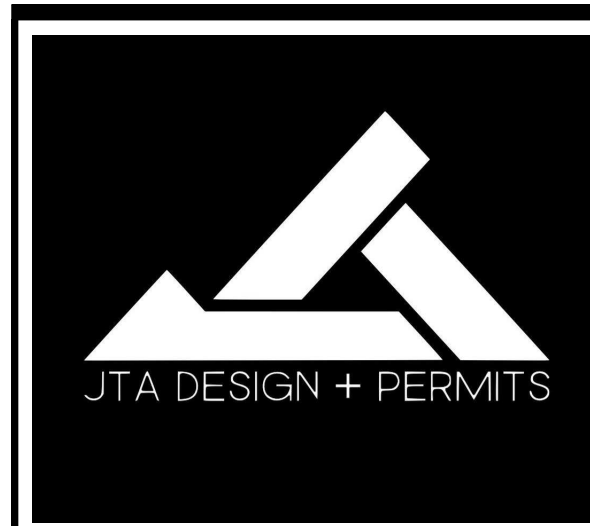
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unit #101 WINDOW CALCULATION :
 @2.00m LIMITING DISTANCE
 WALL AREA = 645.09 SQ. FT.
 WINDOW AREA = 41.86 SQ. FT.
 TOTAL: 41.86 / 645.09 = 6.49%

unit #102 WINDOW CALCULATION :
 @2.00m LIMITING DISTANCE
 WALL AREA = 648.04 SQ. FT.
 WINDOW AREA = 42.58 SQ. FT.
 TOTAL: 42.58 / 648.04 = 6.57%

REAR ELEVATION (FRONT UNIT)
 SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
- EXTERIOR FINISHES:**
- 1 TORCH ON ROOF
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING - BLACK/DRAK GREY
 - 4 ACM PANEL - GRAY
 - 5 ACM PANEL - BEIGE
 - 6 HARDIE SIDING - VERTICAL - BLACK/DRAK GREY
 - 7 PRECAST CONCRETE
 - 8 CONCRETE PAVING

MUNICIPAL ADDRESS:
 101, 102, 201 & 202
 1910 21 AVE NW.
 CALGARY, ALBERTA

PROJECT:
 CLUSTER HOUSING

PROJECT NUMBER:
 457-25

STATUS:
 DP

DO NOT SCALE DRAWINGS.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	21/11/2025	DP PLANS	K.R.
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03.	--	--	--
04.	--	--	--
05.	--	--	--
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DRAWING SET:

SHEET NAME:
 Front & Rear Elevation (Front)

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-11-27 12:57:06 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



- GENERAL NOTES:**
- EXTERIOR FINISHES:**
- 1 TORCH ON ROOF
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING BLACK/DRAK GREY
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 - 5 ACM PANEL - BEIGE
 - 6 HARDIE SIDING - VERTICAL BLACK/DRAK GREY
 - 7 PRECAST CONCRETE
 - 8 CONCRETE PAVING

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06.	--	--	--

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DRAWING SET:

SHEET NAME:
 Front & Rear Elevation (Rear)

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-11-27 12:57:07 PM

SCALE: 1/4" = 1'-0"

PAGE: A-2.1



unit #202 WINDOW CALCULATION :
 @ 4.72m LIMITING DISTANCE
 WALL AREA = 451.50 SQ. FT.
 WINDOW AREA = 91.24 SQ. FT.
 TOTAL: 91.24 / 451.50 = 20.21%

FRONT ELEVATION (REAR UNIT)
 SCALE: 1/4" = 1'-0"

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

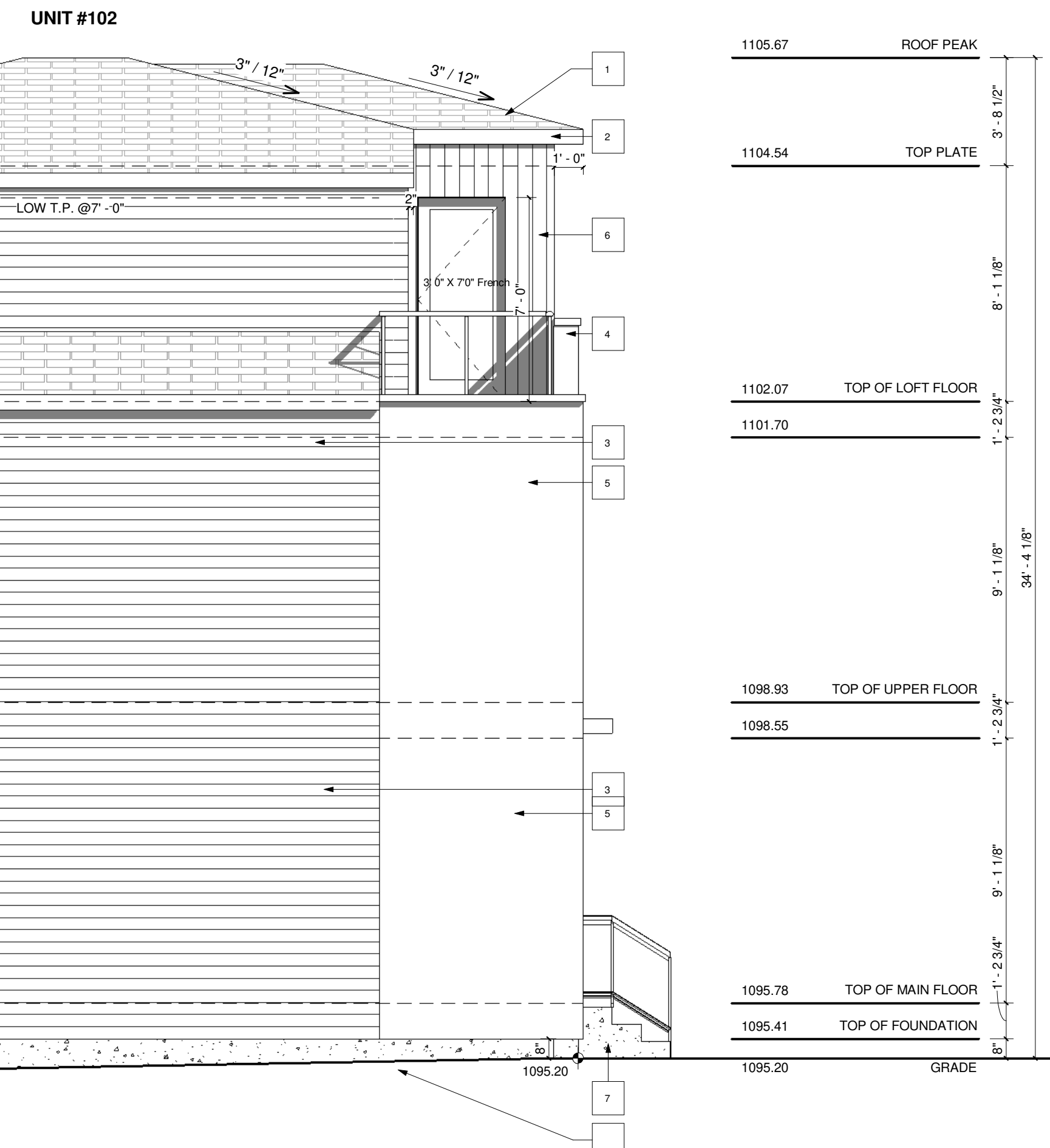
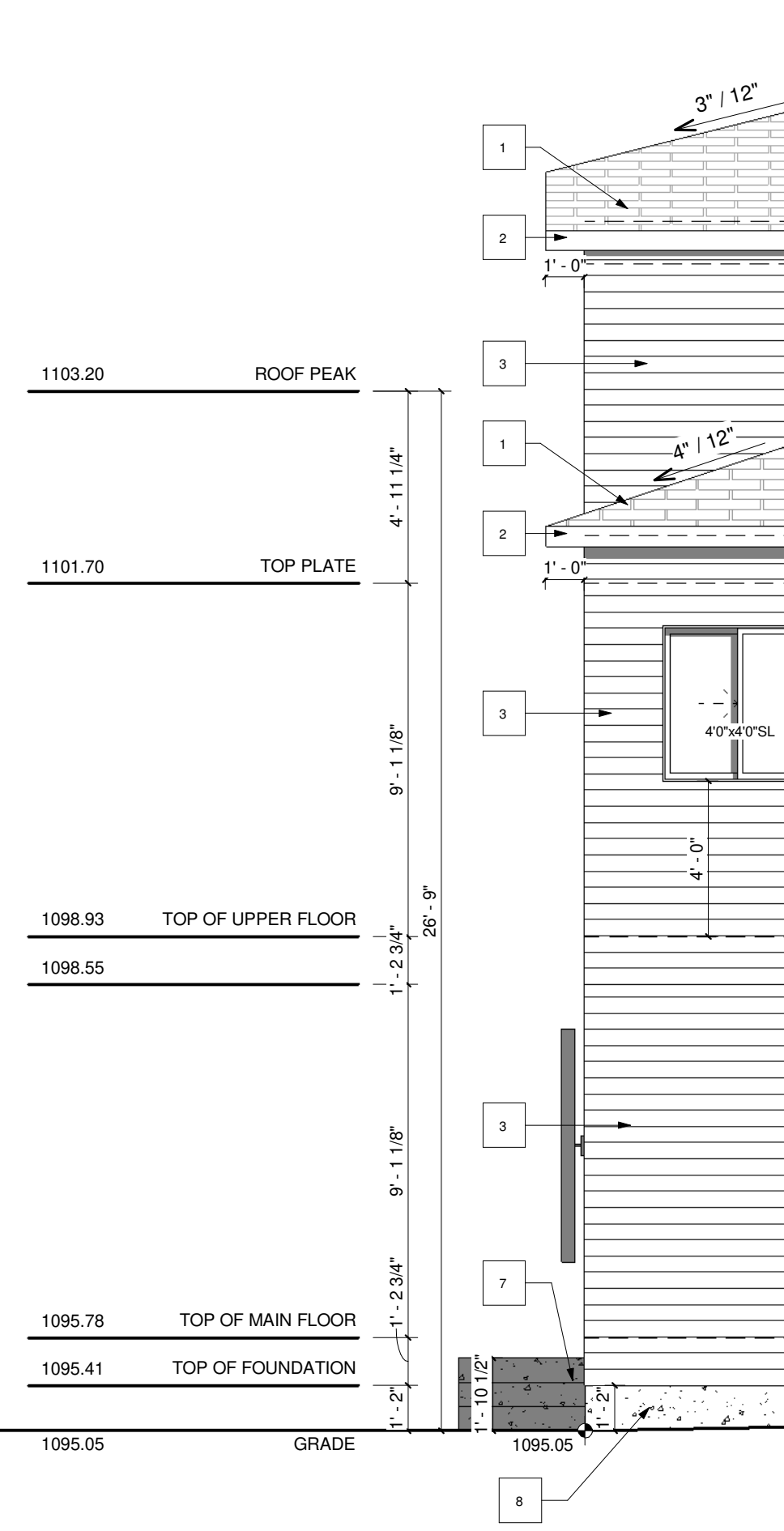
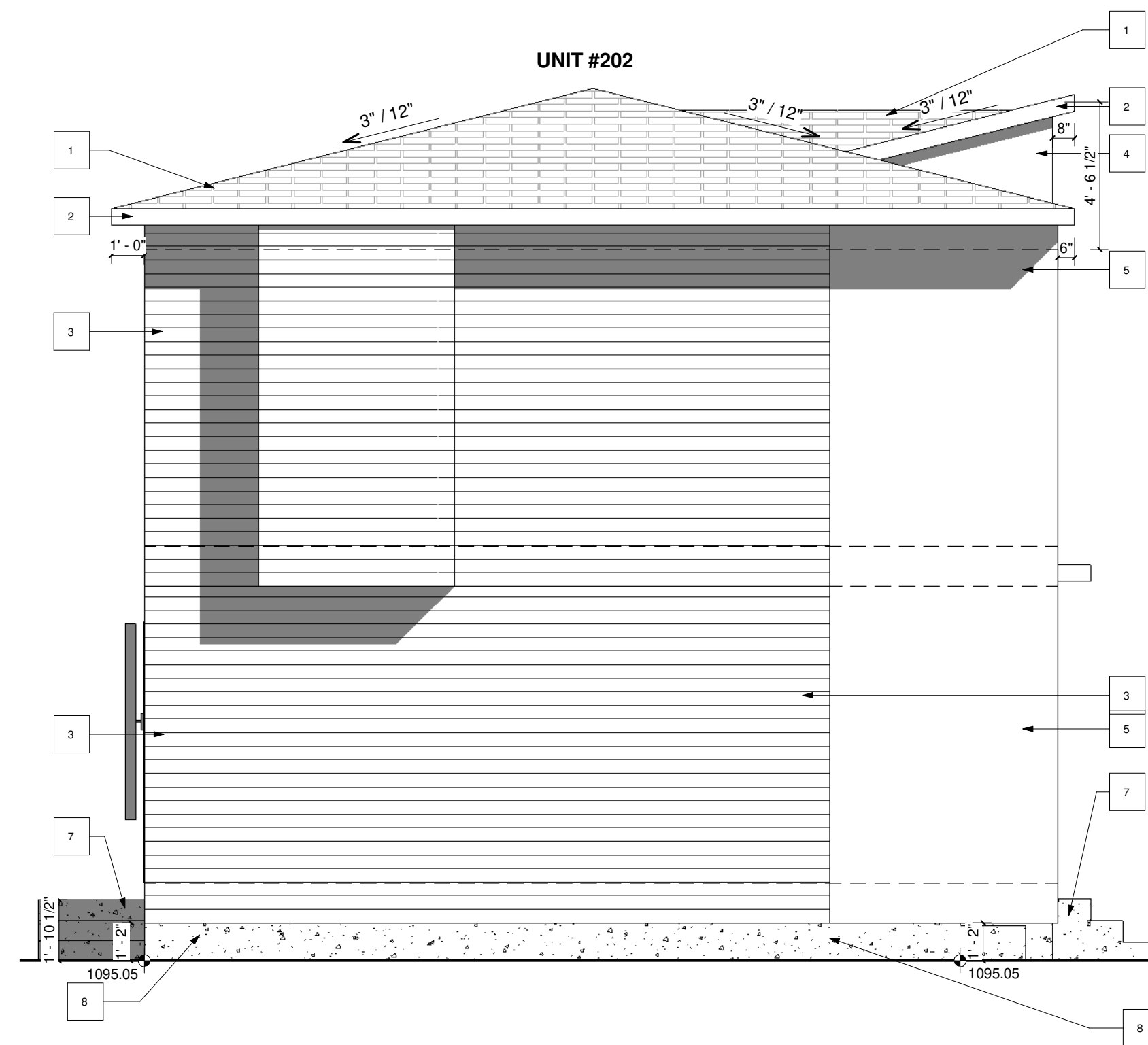


unit #201 WINDOW CALCULATION :
 @ 1.20m LIMITING DISTANCE
 WALL AREA = 448.88 SQ. FT.
 WINDOW AREA = 29.55 SQ. FT.
 TOTAL: 29.55 / 448.88 = 6.58%

REAR ELEVATION (REAR UNIT)
 SCALE: 1/4" = 1'-0"

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
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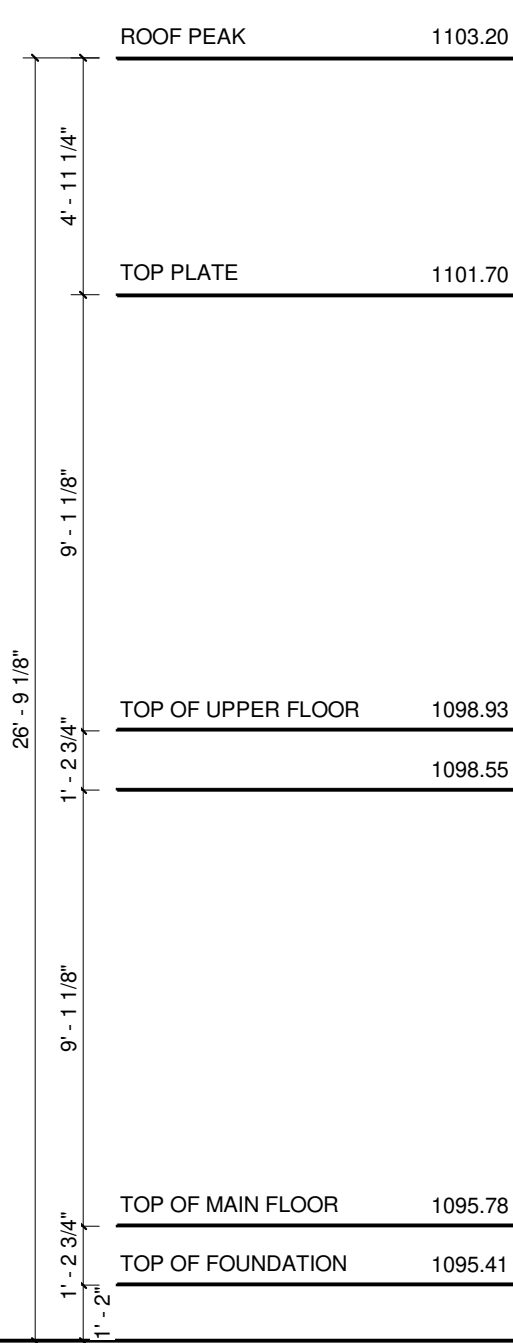
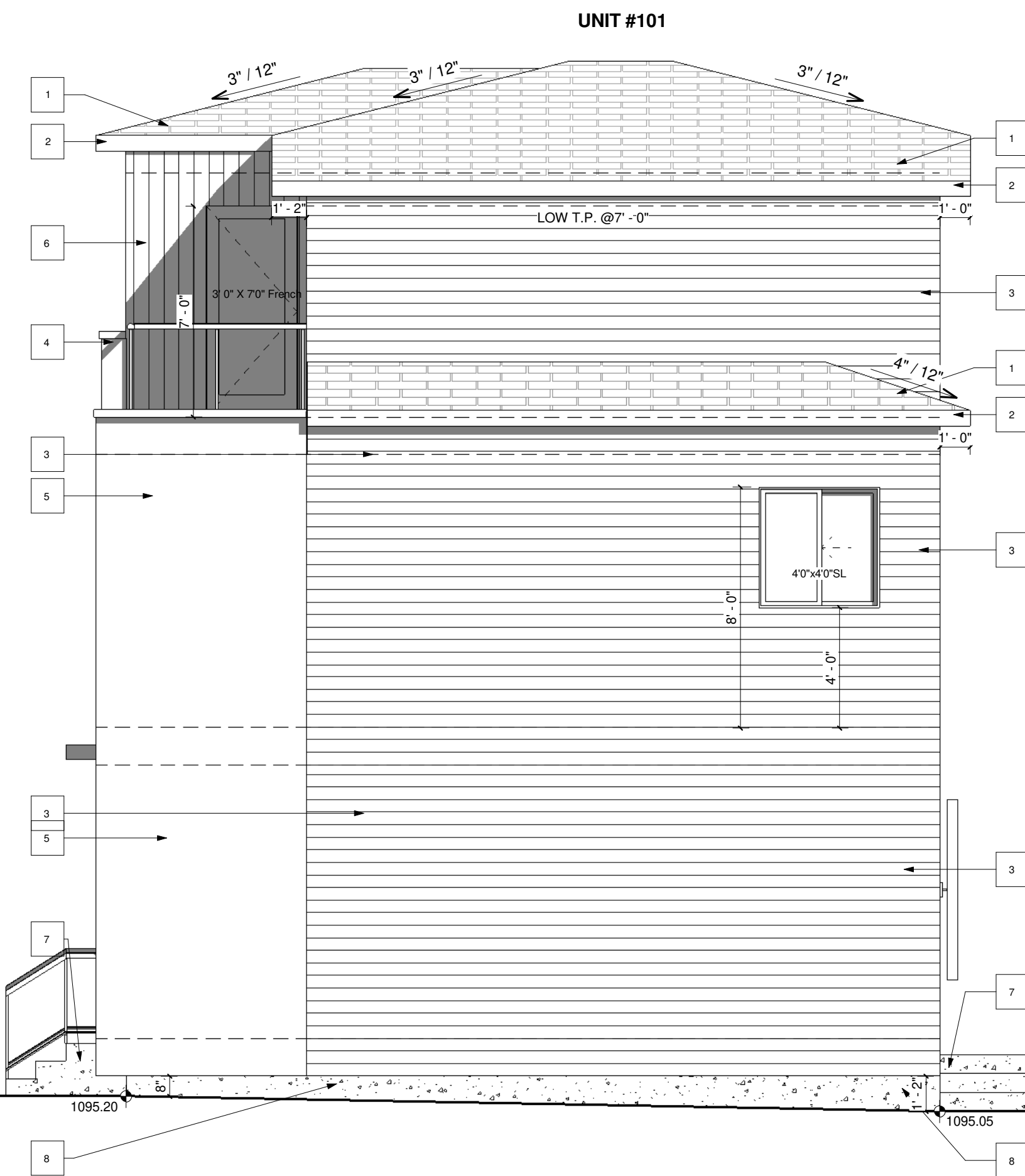
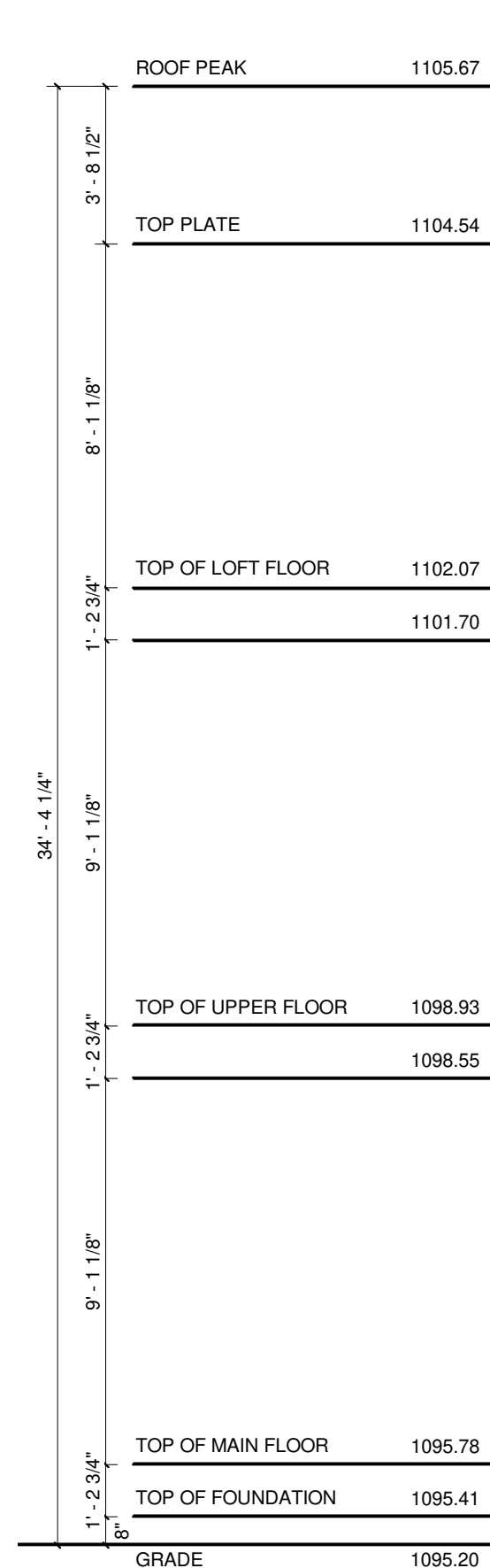
Unit #102 WINDOW CALCULATION:
 @ 1.22m LIMITING DISTANCE
 WALL AREA = 864.66 SQ. FT.
 WINDOW AREA = 29.99 SQ. FT.
 TOTAL: 29.99 / 864.66 = 3.47%



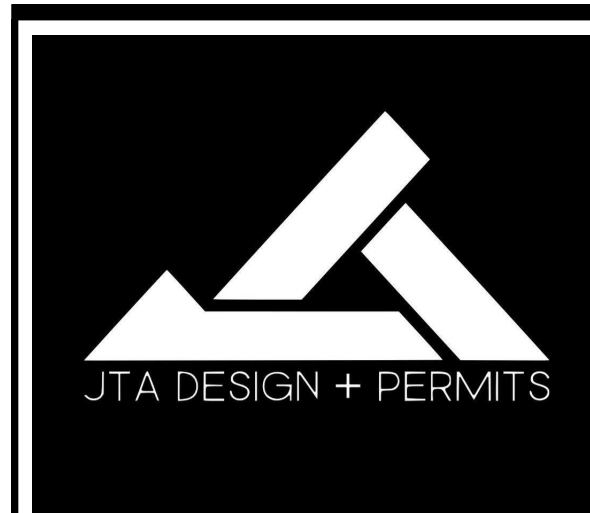
LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

Unit #101 WINDOW CALCULATION:
 @ 1.22m LIMITING DISTANCE
 WALL AREA = 850.10 SQ. FT.
 WINDOW AREA = 29.99 SQ. FT.
 TOTAL: 29.99 / 850.10 = 3.53%



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
EXTERIOR FINISHES:
- 1 TORCH ON ROOF
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING - BLACK/DRAK GREY
 - 4 ACM PANEL - GRAY
 - 5 ACM PANEL - BEIGE
 - 6 HARDIE SIDING - VERTICAL - BLACK/DRAK GREY
 - 7 PRECAST CONCRETE
 - 8 CONCRETE PAVING

MUNICIPAL ADDRESS:
 101, 102, 201 & 202
 1910 21 AVE NW.
 CALGARY, ALBERTA

PROJECT:
 CLUSTER HOUSING

PROJECT NUMBER:
 457-25

STATUS:
 DP

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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NO.	DATE(D/M/Y)	DETAIL	BY
01.	21/11/2025	DP PLANS	K.R.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

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DRAWING SET:

SHEET NAME:
 Left & Right Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-11-27 12:57:09 PM

SCALE: 1/4" = 1'-0"

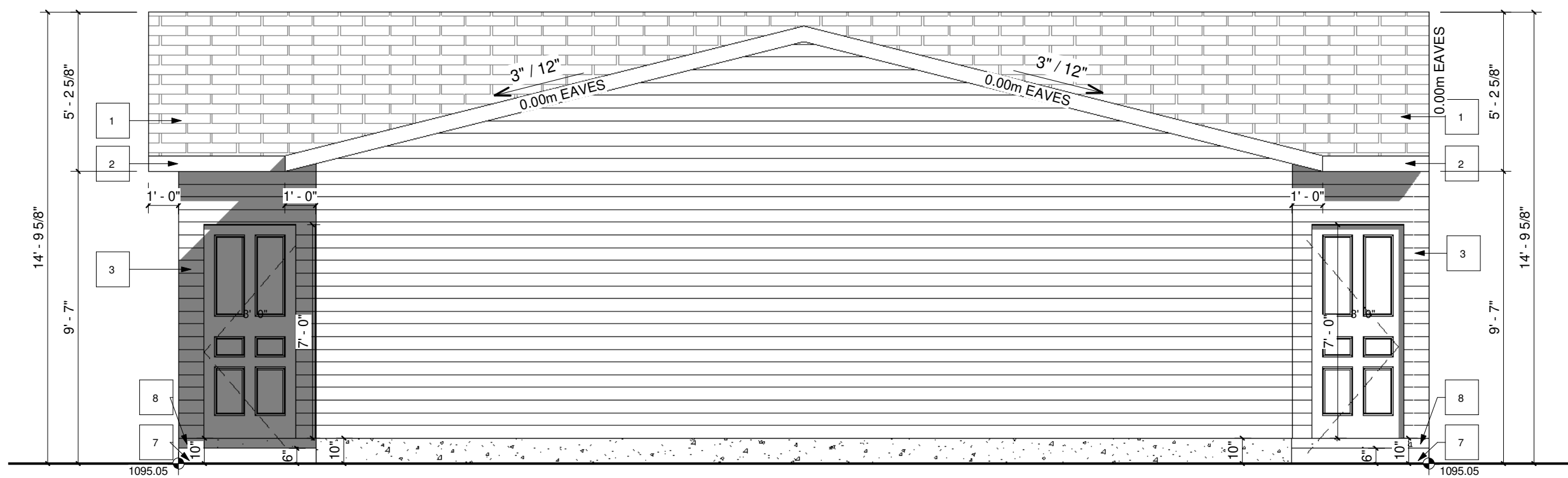
PAGE: **A-2.2**

VENTED SOFFIT NOTES:
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 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



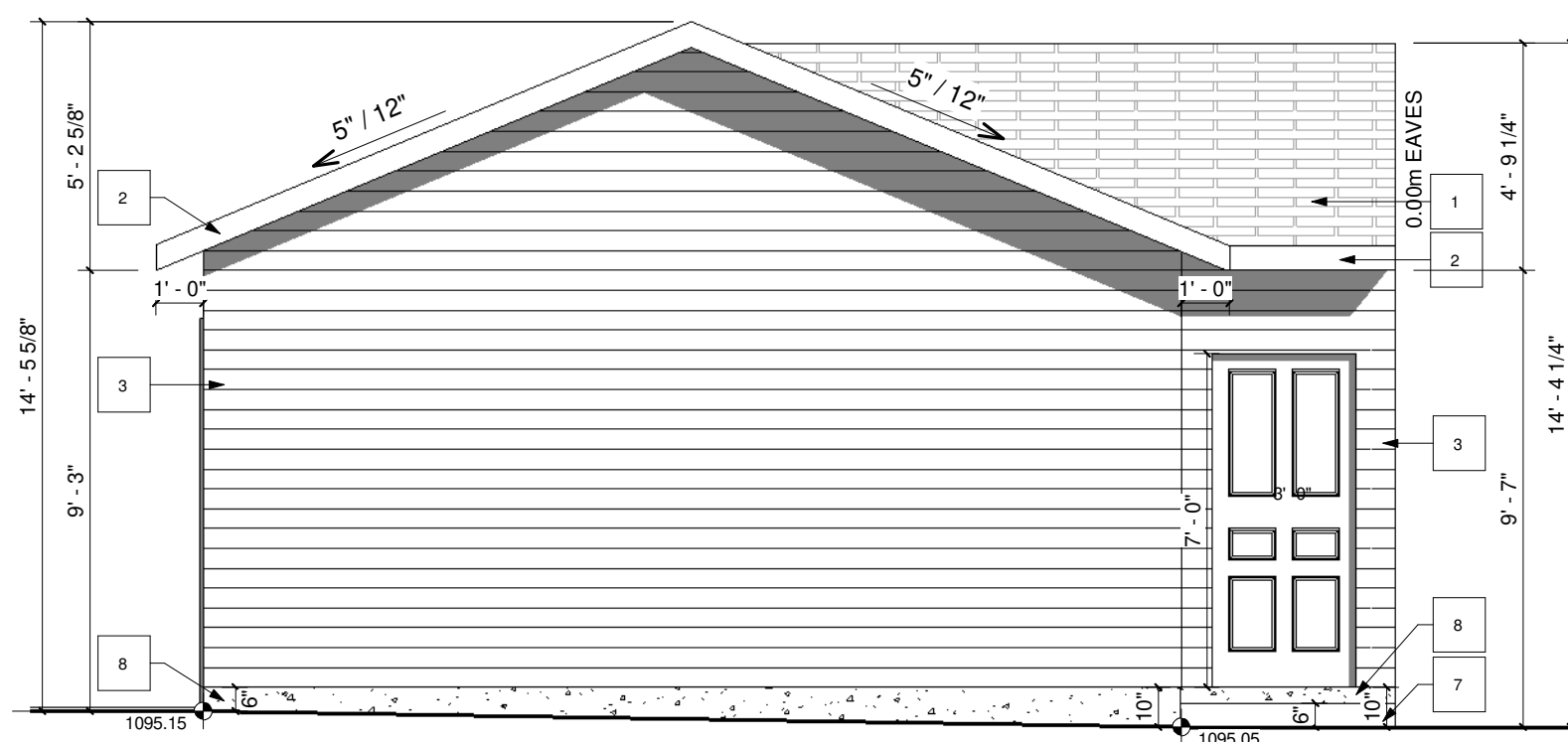
GARAGE FRONT ELEVATION (LANE)

SCALE: 1/4" = 1'-0"



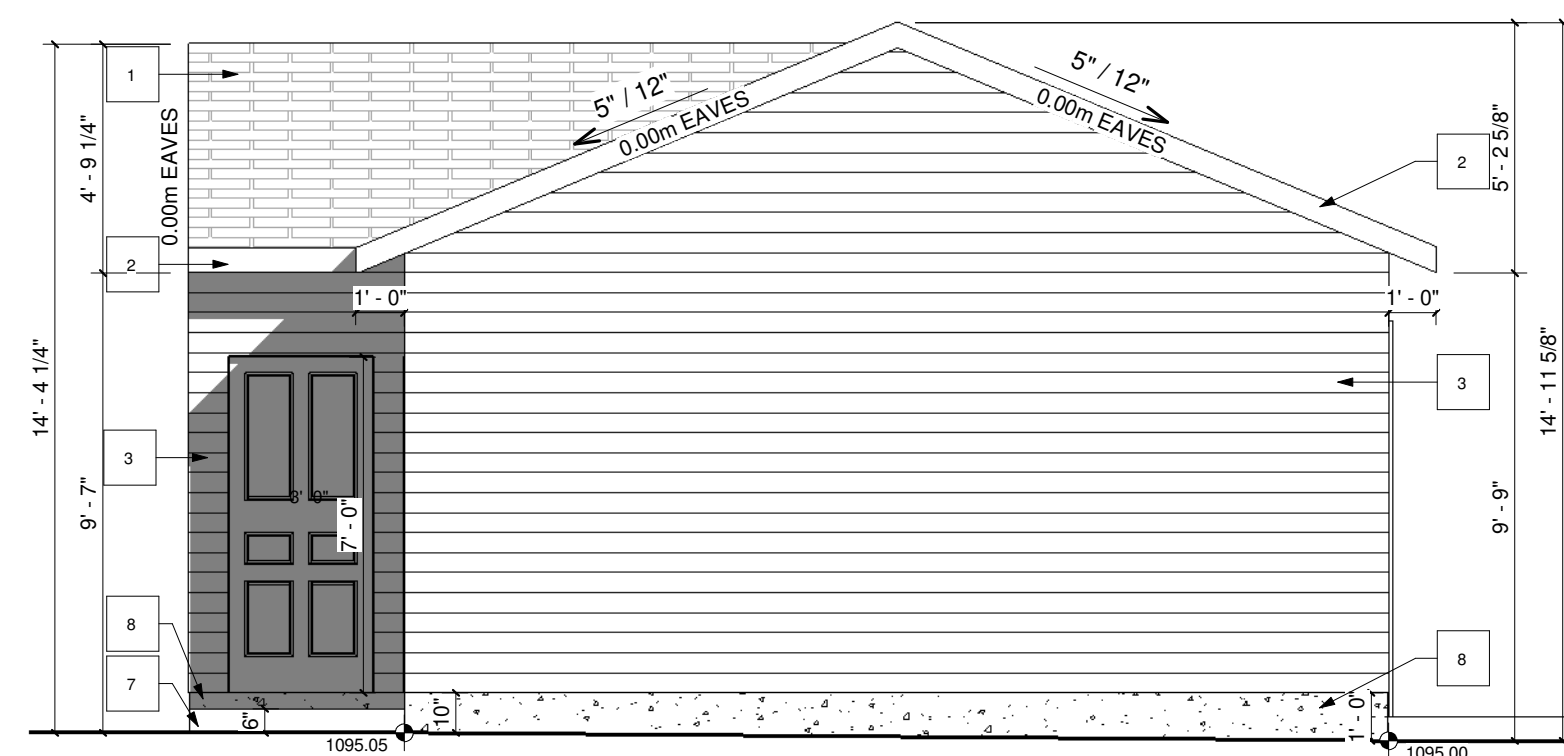
GARAGE REAR ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE LEFT ELEVATION

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

EXTERIOR FINISHES:

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DRAWING SET:

SHEET NAME:

Garage Plan & Elevation

DESIGN BY:

JT

DRAWN BY:

JT

LAST REVISION BY:

PRINTED:

2025-11-27 12:57:12 PM

SCALE:

As indicated

A-3.0