

ANDREW SHERET LTD. - THE DISTRICT

CALGARY, ALBERTA

- ISSUED FOR DTR 1 -



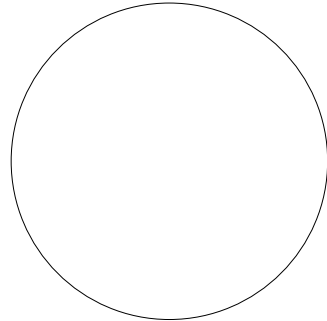
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SITE INFORMATION	
PROJECT DESCRIPTION	NEW CONSTRUCTION OF AN INDUSTRIAL BUILDING, TWO STOREYS. INCLUDES A SHOWROOM, WHOLESALE AND WAREHOUSE AREA.
LEGAL DESCRIPTION	PLAN: 251 1543 BLOCK: 5 LOT: 10
MUNICIPAL ADDRESS	10630 14 STREET NE, CALGARY, AB
SITE AREA	3.99 ACRES (16,184.56 m ²)
DEVELOPMENT SYNOPSIS	
CITY OF CALGARY LAND USE BYLAW IP2007	
LAND USE	I-G GENERAL INDUSTRIAL
PERMITTED USE	GENERAL INDUSTRIAL MEDIUM
BUILDING FOOTPRINT AREA	7,406 m ² (79,719.89 ft ²)
BUILDING GROSS FLOOR AREA	SHOWROOM 447 m ² WHOLESALE MAIN FLOOR 725 m ² WHOLESALE SECOND FLOOR 725 m ² WAREHOUSE 6234 m ² TOTAL 8,131 m ²
BUILDING HEIGHT	PERMITTED: 18m (60ft) PROVIDED: 13.7m (45ft)
BUILDING SETBACKS	FRONT SETBACK AREA 6.0m (MAJOR STREET/EXPRESSWAY) REAR SETBACK AREA 6.0m (MAJOR STREET/EXPRESSWAY) SIDE SETBACK AREA 1.2m (ADJACENT TO INDUSTRIAL DISTRICT)
STORAGE AREA	GOODS, MATERIALS OR SUPPLIES STORED OUTSIDE OF A BUILDING WITHIN 5.0m OF A PROPERTY LINE HAVE A MAX. HEIGHT OF 5.0m
SCREENING	LOADING DOCK DOORS, OUTDOOR ACTIVITIES OR EQUIPMENT MUST BE SCREENED FROM VIEW OF AN ADJACENT MAJOR STREET
LANDSCAPING IN SETBACK AREAS	REFER TO LANDSCAPE PLANS FOR DETAILS.
ADDITIONAL REQUIREMENTS	(2) EVERY BUILDING MUST HAVE AT LEAST ONE SIDEWALK CONNECTING THE PUBLIC ENTRANCE TO A PUBLIC SIDEWALK OR NEAREST STREET (3) A SIDEWALK MUST BE PROVIDED ALONG THE ENTIRE LENGTH OF THE FRONT OF THE BUILDING (4) SIDEWALK MUST BE 2.0m WIDE
EMPLOYEE AREA	ALL DEVELOPMENTS MUST HAVE AN OUTDOOR AREA FOR USE OF EMPLOYEES THAT IS A MINIMUM OF 10.0m ² PROVIDED: 42.0m ²

PARKING CALCULATION	
BARRIER FREE STALLS	GROUP A MEDIUM INDUSTRIAL * REQUEST FOR RELAXATION OF GFA CALCULATION BASED ON SHOWROOM AND WHOLESALE AREA ONLY. WAREHOUSE AREA USED FOR STORAGE. 1,897m ² / 100m ² = 19 REQUIRED DESIGNATED STALLS 11 - 25 STALLS = 2 STALLS PROVIDED STALLS 2 BARRIER FREE STALLS
PROVIDED PARKING STALLS	TOTAL 43 STALLS
BICYCLE STALLS	CLASS 2 - 1.0 STALL PER 2000m ² OF GFA REQUIRED: 3.8 STALLS (4 STALLS) PROVIDED: 4 STALLS

DRAWING LIST		
ARCHITECTURAL BCW ARCHITECTS	CIVIL SEDULOUS ENGINEERING	ELECTRICAL DBK ENGINEERING
DP0 COVER PAGE & DEVELOPMENT SYNOPSIS DP1 SITE PLAN DP2 SITE DETAILS DP3 OVERALL MAIN FLOOR PLAN DP4 OVERALL SECOND FLOOR PLAN DP5 ENLARGED FLOOR PLANS DP6 BUILDING ELEVATIONS	C-1 SERVICING PLAN C-2 GRADING PLAN C-3 CROSS SECTIONS	DPE1.1 SITE PLAN - LIGHTING, POWER AND AUXILIARY DPE1.2 SITE PLAN - PHOTOMETRICS



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■ Consultant

■ In Collaboration

■ Revisions

No.	Description	Date
1.	IF DP	2025.11.28
2.	IF DTR 1	2026.05.05

AMENDED DRAWINGS
DP No. Date Received
DP2025-06951 JUN 3, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

■ Client

**ANDREW
SHERET
LIMITED**
EST 1993

■ Project

**ANDREW SHERET
LTD. - THE DISTRICT**

10630 14 STREET NE
CALGARY, AB

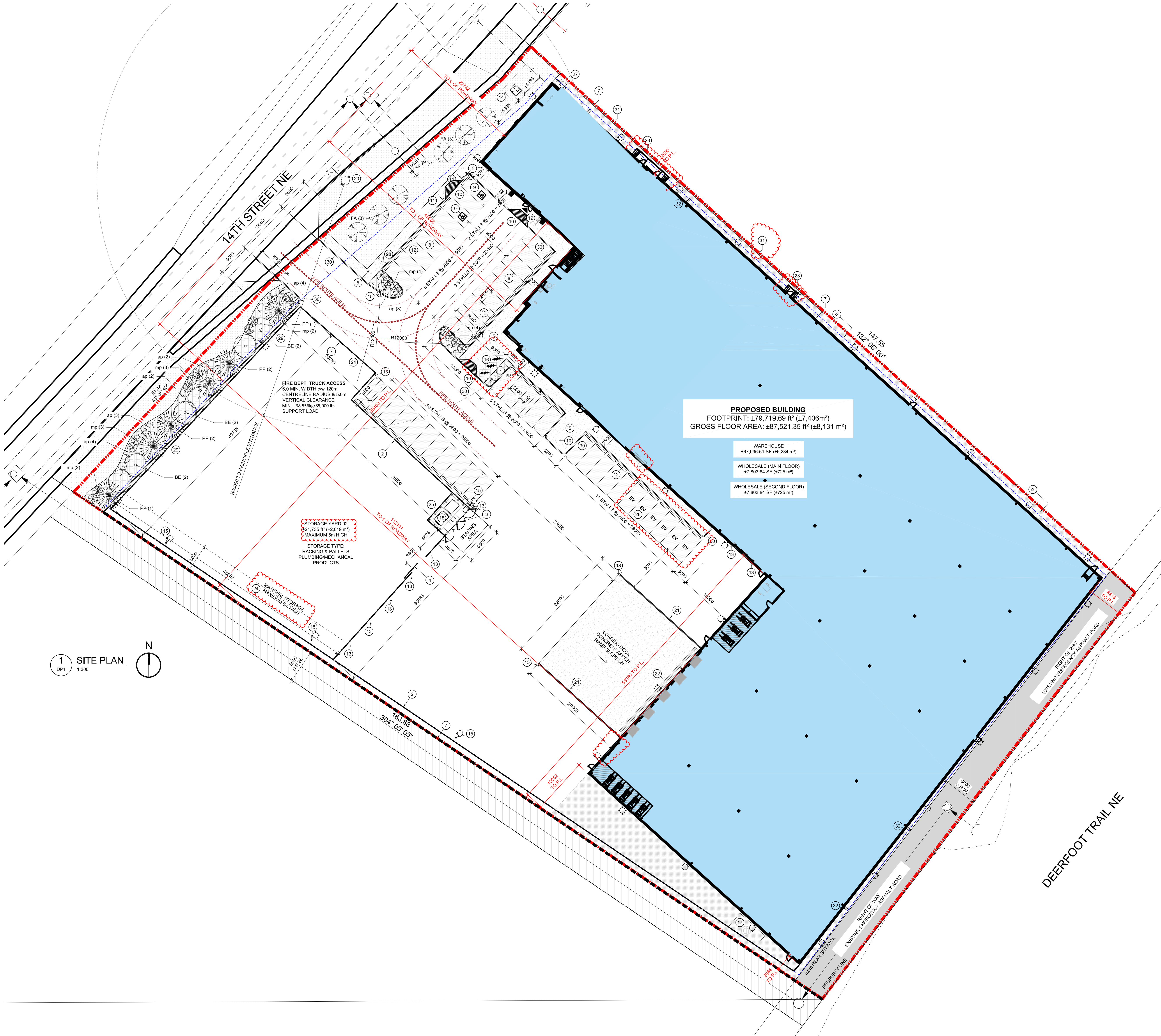
■ Drawing

COVERPAGE

Drawn by: SJ Checked by:PW
Scale: AS NOTED Approval by:PW

Date: OCT. 2025 Project No.: 25022

DP0



SITE PLAN KEYNOTES

- ① SIAMESE CONNECTION. REFER TO MECHANICAL.
- ② PROPOSED 3050mm HIGH FENCE. SEE DETAIL 14/DP2
- ③ PROPOSED 3050mm HIGH x 1525mm WIDE FENCE ACCESS GATE. SEE DETAIL 14/DP2
- ④ PROPOSED 3050mm HIGH x 3660mm WIDE MANUAL CANTILEVERED SLIDING GATE c/w DROP ROD AND LOCKING HARDWARE. SEE DETAIL 14/DP2
- ⑤ CONCRETE SIDEWALK. BROOM FINISH. REFER DETAIL 2/DP2
- ⑥ GRAVEL WALKWAY. REFER TO CIVIL.
- ⑦ PROPOSED RETAINING WALLS. REFER TO CIVIL.
- ⑧ 75mm WIDE PAINTED YELLOW PARKING LINES.
- ⑨ BARRIER FREE PARKING SYMBOL. REFER TO DETAIL 5/DP2
- ⑩ DEPRESSED BARRIER FREE CONCRETE RAMP. REFER TO DETAIL 6/DP2
- ⑪ BARRIER-FREE SIGN POST. REFER TO DETAIL 6/DP2
- ⑫ RECYCLED RUBBER WHEEL STOP. REFER TO DETAIL 4/DP2
- ⑬ 152mm DIAMETER CONCRETE FILLED STEEL PIPE BOLLARDS. REFER TO DETAIL 10/DP2
- ⑭ PROPOSED TRANSFORMER. REFER TO ELECTRICAL.
- ⑮ PROPOSED LIGHT STANDARD. REFER TO ELECTRICAL.
- ⑯ BICYCLE RACKS, CLASS 2 BICYCLE PARKING. REFER TO DETAIL 11/DP2
- ⑰ OUTDOOR EMPLOYEE AREA. FURNITURE SHOWN FOR INTENT PURPOSES ONLY. N.J.C.
- ⑱ WASTE & RECYCLING. ENCLOSED WITHIN STORAGE AREA.
- ⑲ DESIGNATED PRINCIPAL ENTRANCE. FIRE LOCKBOX. EXTERIOR STROBE & FIRE ALARM PANEL LOCATION.
- ⑳ EXISTING FIRE HYDRANT.
- ㉑ LOADING RAMP CURB & GUARDRAIL. REFER TO STRUCTURAL AND CIVIL. REFER TO DETAIL 17/DP2.
- ㉒ TRENCH DRAIN. REFER TO MECHANICAL AND CIVIL.
- ㉓ EXTERIOR METAL STAIR. REFER TO DETAIL 15/DP2.
- ㉔ MATERIAL STORAGE MAX. HEIGHT 5.0m.
- ㉕ WASTE AND RECYCLING ENCLOSURE. REFER TO DETAIL 16/DP2.
- ㉖ ELECTRICAL VEHICLE CAPABLE PARKING STALLS. 6 TOTAL (LEVEL 2). CAPABLE STALLS MUST INCLUDE INSTALLATION OF DISTRIBUTION PANELS, ELECTRICAL CAPACITY, WALL AND FLOOR PENETRATIONS TO ACCOMMODATE FUTURE CHARGING CAPABILITY.
- ㉗ GAS METER LOCATION. CONCRETE PAD 2500mm x 915mm. TO BE CONFIRMED.
- ㉘ 12" CURB INLET c/w CHECKERED STEEL PLATE. REFER TO CIVIL.
- ㉙ PINNED CONCRETE CURBS. REFER TO DETAIL 1a/DP2.
- ㉚ TYP. CONCRETE CURB. REFER TO DETAIL 1a/DP2.
- ㉛ LANDSCAPE WALL c/w GUARDRAIL. REFER TO DETAIL 18/DP2. EXTENT TO BE CONFIRMED ON SITE.
- ㉜ THROUGH WALL RWL LOCATION. PROVIDE SPLASH PAD AS REQUIRED AT EXTERIOR OUTLET

SITE PLAN LEGEND

- PROPOSED BUILDING
- HEAVY DUTY ASPHALT MIN. 38,556kg/85,000lbs LOAD SUPPORT
- LIGHT DUTY ASPHALT
- CONCRETE SIDEWALKS, APRONS AND RAMPS.
- GRAVEL
- SOD ON 300mm DEPTH TOPSOIL c/w DROUGHT TOLERANT GRASS SPECIES. 600mm DEPTH TOPSOIL FOR SHRUBS AND TREE BEDS. SOD TO BACK OF CURB AND EDGE OF SIDEWALKS. ENSURE SMOOTH TRANSITION WITH ADJACENT SURFACES.
- 100mm DEPTH SHREDDED CONIFEROUS WOOD MULCH ON 600mm DEPTH TOPSOIL. TO BE PLACED LEVEL WITH ADJACENT SURFACES. CROWN IN CENTER OF PLANTING BED.
- EXTERIOR BUILDING LIGHTING. REFER TO ELECTRICAL.
- LIGHT STANDARD. REFER TO ELECTRICAL.
- PRINCIPAL ENTRANCE.
- PROPERTY LINE
- SETBACK AREA
- FIRE TRUCK ROUTE
- WATERMAIN
- STORM SEWER
- SANITARY SEWER
- PROPOSED GAS LINE
- NEW CHAINLINK FENCE
- FIRE DEPT. TRUCK ACCESS TRUCK: ACCESS ROUTE: 6.0 MIN. WIDTH 12.0m CENTRELINE RADIUS 5.0m VERTICAL CLEARANCE 38,556kg/85,000 lbs MIN.

LANDSCAPE INFORMATION

ALL AREAS OF SOFT LANDSCAPING SHALL BE PROVIDED WITH A LOW WATER IRRIGATION SYSTEM COMPLETE WITH A RAIN/SOIL MOISTURE SENSOR, FLOW SENSOR AND MASTER VALVE FOR LEAK DETECTION.

WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, THE SETBACK AREA MUST BE:
(a) BE A SOFT SURFACED LANDSCAPED AREA
(b) PROVIDE A MINIMUM OF 1.0 TREE AND 2.0 SHRUBS FOR EVERY 50m² (LOW IRRIGATION)

WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH PARCEL DESIGNATED AS INDUSTRIAL, THE SETBACK AREA MUST BE:
(a) MAY HAVE A SIDEWALK ALONG THE LENGTH OF THE BUILDING
(b) PROVIDE A MINIMUM OF 1.0 TREE AND 2.0 SHRUBS FOR EVERY 50m² (LOW IRRIGATION)

FRONT SETBACK AREA:	REQUIRED	PROVIDED
TREES	14	14
SHRUBS	28	28

SIDE SETBACK AREA: 185m²
REQUEST FOR RELAXATION, DISTRIBUTED THROUGHOUT THE SITE

TREES	REQUIRED	PROVIDED
SHRUBS	4	18

REAR SETBACK AREA:
REQUEST FOR RELAXATION, R.O.W. LOCATED WITHIN SETBACK AREA (ASPHALT PAVED ROAD FOR EMERGENCY ACCESS).

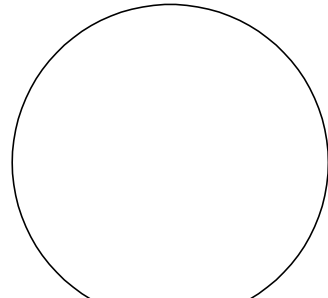
PLANT SCHEDULE

CONIFEROUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	PP	6	PICEA PUNGENS	BLUE COLORADO SPRUCE	3500mm HI.	BALL & BURLAP
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	FA	6	FRAXINUS PENNSYLVANIA	FOOTHILLS ASH	50mm CAL.	BALL & BURLAP
	BE	6	ULMUS AMERICANA 'BRANDON'	BRANDON ELM	75mm CAL.	BALL & BURLAP
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	mp	22	Pinus Mugo 'Mops'	Mops Mugo Pine	#5 Container	450-600mm min. Height
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	ap	24	POTENTILLA FRUTICOSA	ABBOTSWOOD POTENTILLA	#2 Container	450-600mm min. Height

GENERAL LANDSCAPING NOTES

- THE QUALITY AND EXTENT OF THE LANDSCAPING ESTABLISHED ON SITE SHALL BE THE MINIMUM STANDARD TO BE MAINTAINED ON THE SITE FOR THE LIFE OF THE DEVELOPMENT.
- ALL PLANT MATERIAL SHALL BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN THE AREA AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK AND PRODUCED BY THE CANADIAN NURSERY TRADE ASSOCIATION.
- MATURE HEIGHT TO BE MAINTAINED. SPECIES TO BE CONFIRMED WITH OWNER AT A MAXIMUM OF 4 METERS AND/OR PRUNED ACCORDINGLY.

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Client

ANDREW SHERET LIMITED
EST 1892

Project

ANDREW SHERET LIMITED - THE DISTRICT

10630 14 STREET NE
CALGARY, AB

Drawing

SITE PLAN

Drawn by: S.J.
Scale: 1:300

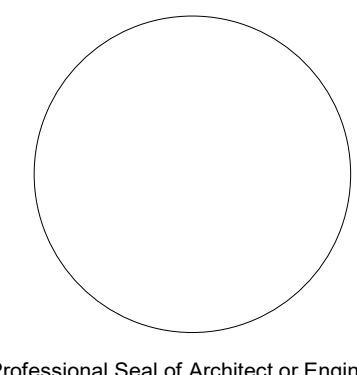
Checked by: PW
Approval by: PW

Date:
MAY 2025

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25022

DP1

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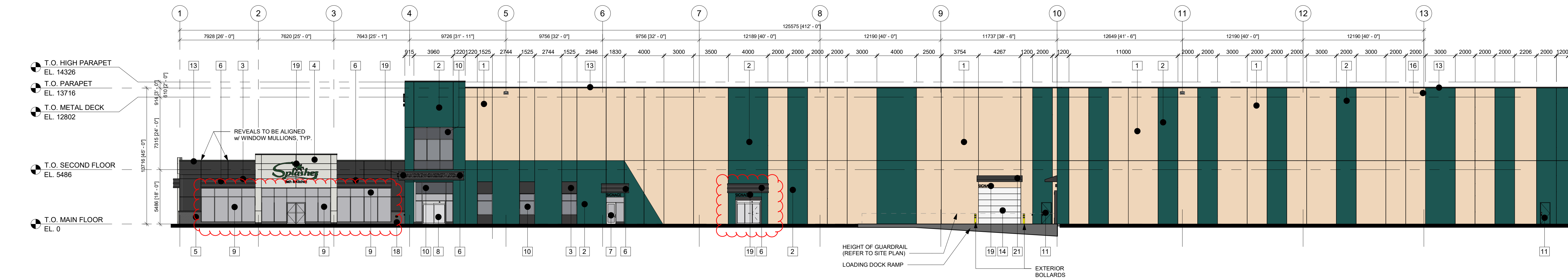
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**BUILDING
ELEVATIONS**

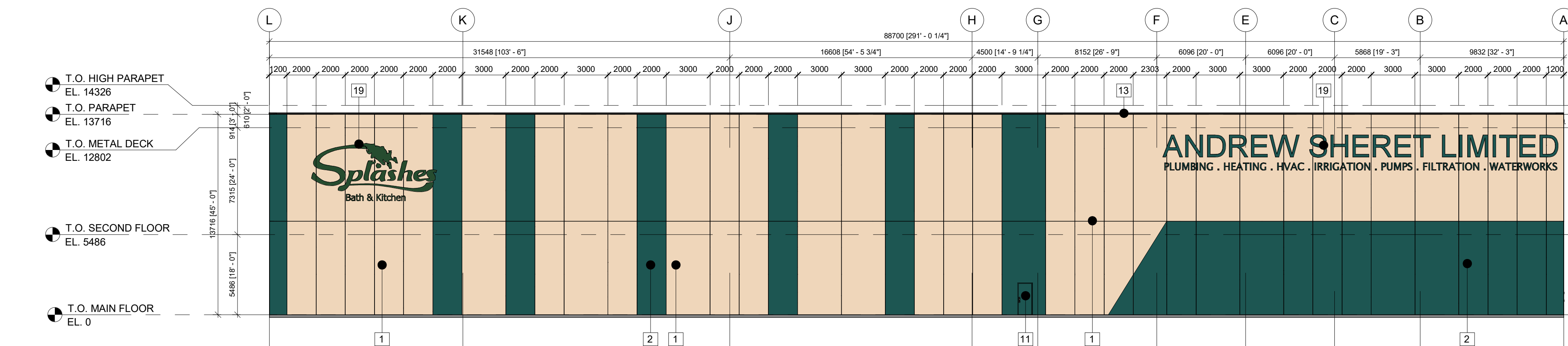
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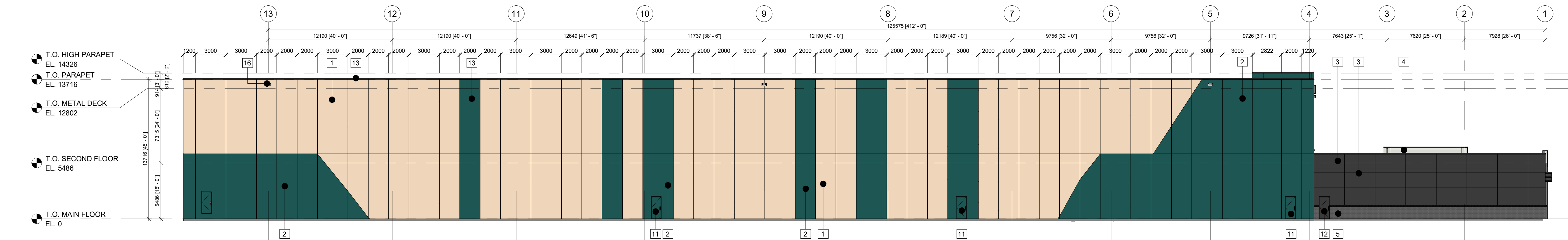
DP6



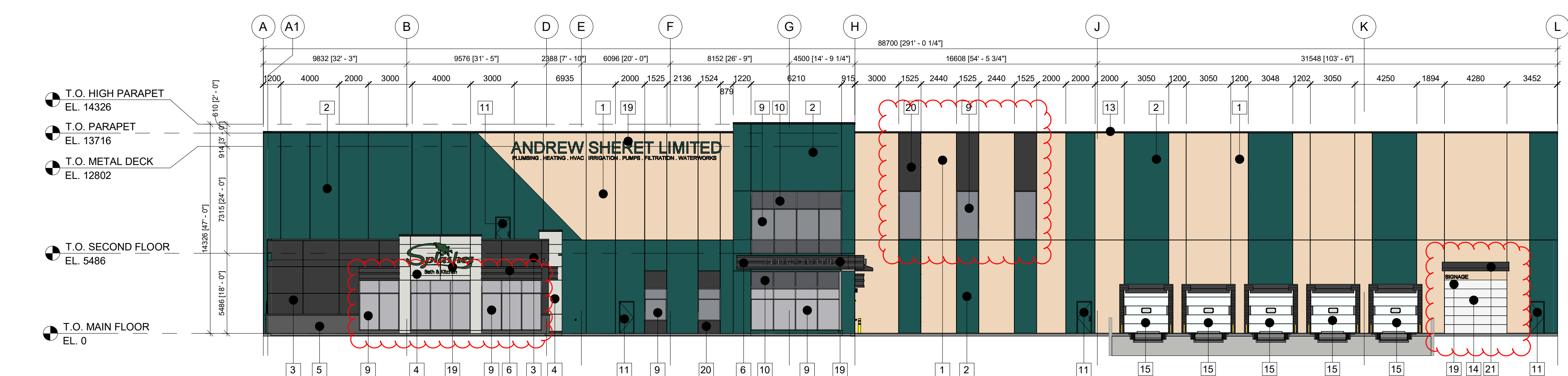
1 SOUTHWEST ELEVATION
DP6 1 : 200



2 SOUTHEAST ELEVATION
DP6 1 : 200



3 NORTHEAST ELEVATION
DP6 1 : 200



4 NORTHWEST ELEVATION
DP6 1 : 200

ELEVATION MATERIAL LEGEND

1 PRECAST CONCRETE PANEL PRODUCT: PRIME & PAINTED COLOR: NEARLY NAKED 2751W	5 BRICK VENEER PRODUCT: T.B.D. COLOR: CHARCOAL	9 EXTERIOR GLAZING FRAME: CLEAR ANODIZED GLASS: CLEAR GLASS, GREY TINTED	13 PRE-FINISHED METAL CAP FLASHING PRODUCT: T.B.D. COLOR: BLACK	17 EXTERIOR LIGHTING WALL SCONCE COLOR: PRE-FINISHED BLACK
2 PRECAST CONCRETE PANEL PRODUCT: PRIME & PAINTED COLOR: PINE NEEDLE CL2137N	6 CORRUGATED METAL CANOPY PRODUCT: VIOWEST, CL5022-SR 24 ga COLOR: CHARCOAL	10 EXTERIOR GLAZING SPANDREL PANEL FRAME: CLEAR ANODIZED GLASS: DARK GREY	14 PRE-FINISHED OH DOOR COLOR: PRE-FINISHED STANDARD COLOR	18 SIAMESE CONNECTION
3 PRE-FINISHED METAL PANEL PRODUCT: T.B.D. COLOR: CHARCOAL	7 ALUMINIUM STOREFRONT SWING DOOR FRAME: CLEAR ANODIZED GLAZING: CLEAR	11 HOLLOW METAL INSULATED DOOR FRAME: CLEAR ANODIZED TO MATCH 'PINE NEEDLE'	15 PRE-FINISHED OH LOADING DOCK DOOR CW DOOR: BUMPERS AND SEALS COLOR: PRE-FINISHED STANDARD COLOR	19 SIGNAGE SHOWN FOR LOCATION PURPOSES ONLY, N.I.C.
4 PRE-FINISHED METAL PANEL PRODUCT: T.B.D. COLOR: LIGHT GREY	8 ALUMINIUM STOREFRONT SLIDING DOOR FRAME: CLEAR ANODIZED GLAZING: CLEAR	12 HOLLOW METAL INSULATED DOOR FRAME: CLEAR ANODIZED COLOR: CHARCOAL	16 EMERGENCY SCUPPER	20 SLOPED METAL CANOPY PRODUCT: VIOWEST, CL5022-SR 24 ga COLOR: CHARCOAL