

4-PLEX BUILDING
8012 25 STREET S.E. ,
CALGARY, ALBERTA



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-05-19



#202 - 4216 10 STREET NE,
CALGARY, AB
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

LIST OF DRAWINGS:

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- G-002 3D SHOTS
- A-000 EXISTING SURVEY
- A-001 EXISTING AND PROPOSED SITE PLAN
- A-002 PROPOSED SITE PLAN
- A-003 LANDSCAPE PLAN
- A-004 STREETSCAPE
- A-005 LANDSCAPE DETAILS
- A-006 APRON AND LVD. SECTIONS
- A-101 LEGAL SUITE AND MAIN FLOOR PLANS
- A-102 UPPER FLOOR PLAN AND ROOF PLANS
- A-103 PLANS AREA
- A-201 FRONT AND REAR ELEATION
- A-202 LEFT AND RIGHT ELEVATION
- A-301 BUILDING SECTION

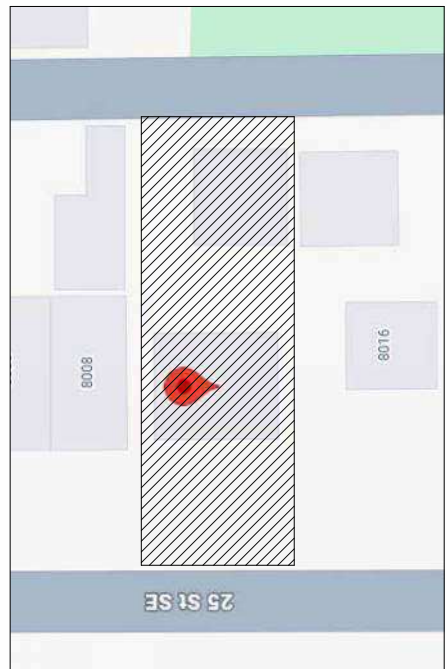
UNIT 1			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	610.15	56.68
	UPPER FLOOR	689.09	64.02
	TOTAL	1299.24	120.70
	LEGAL SUITE FLOOR	494.03	45.90
	GRAND TOTAL	1793.27	166.60
	GARAGE	73.74	6.85

UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	610.15	56.68
	UPPER FLOOR	689.09	64.02
	TOTAL	1299.24	120.70
	LEGAL SUITE FLOOR	494.03	45.90
	GRAND TOTAL	1793.27	166.60
	GARAGE	73.74	6.85

UNIT 3			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	610.15	56.68
	UPPER FLOOR	689.09	64.02
	TOTAL	1299.24	120.70
	LEGAL SUITE FLOOR	494.03	45.90
	GRAND TOTAL	1793.27	166.60
	GARAGE	73.74	6.85

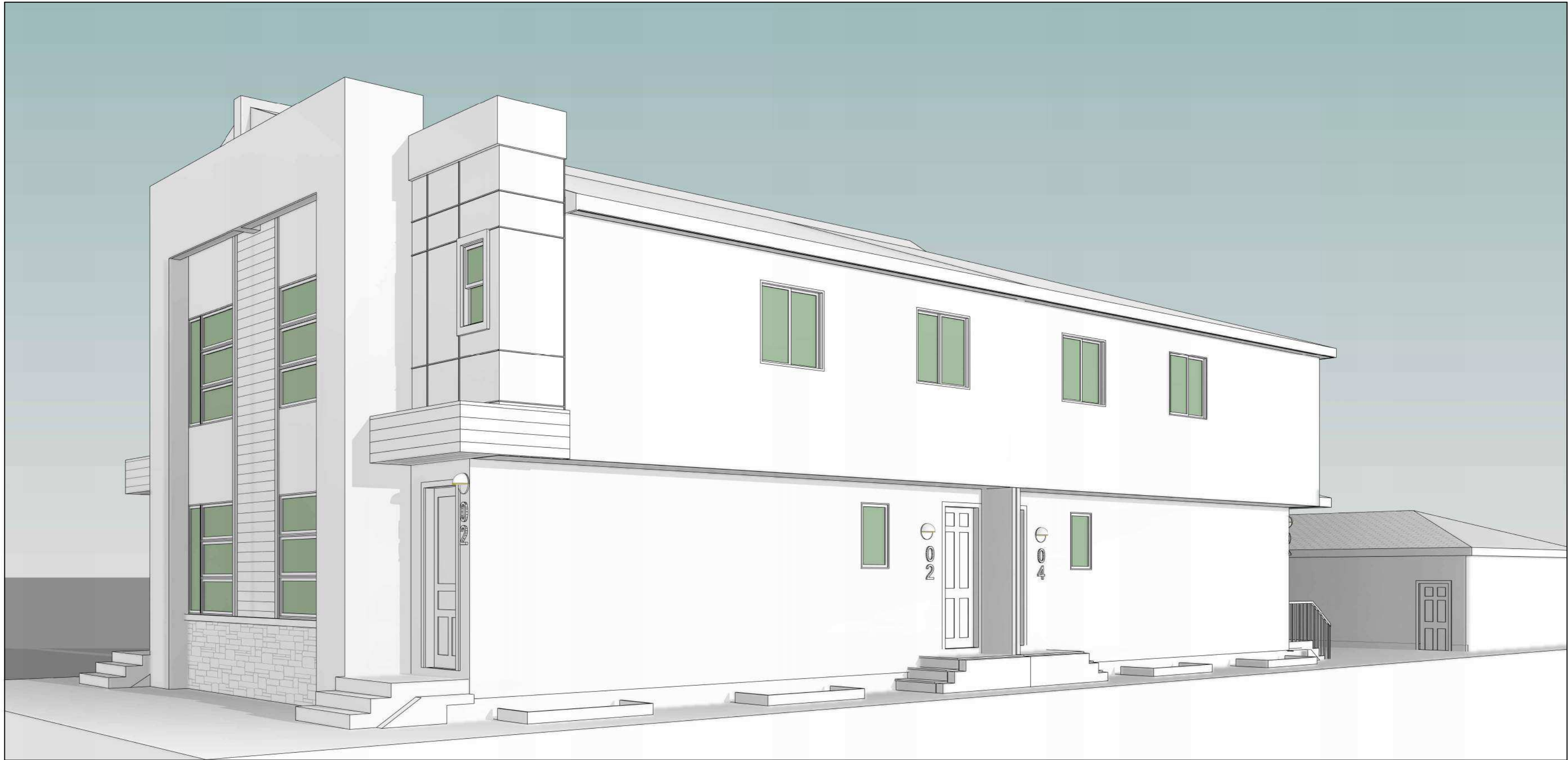
UNIT 4			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	610.15	56.68
	UPPER FLOOR	689.09	64.02
	TOTAL	1299.24	120.70
	LEGAL SUITE FLOOR	494.03	45.90
	GRAND TOTAL	1793.27	166.60
	GARAGE	73.74	6.85

KEY PLAN :

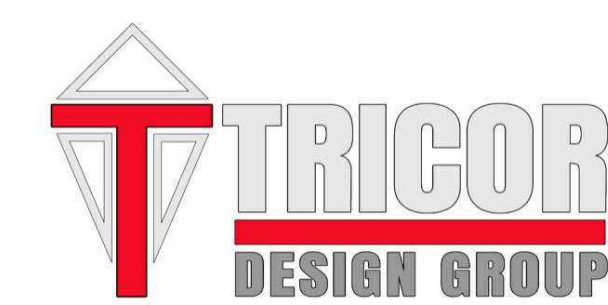


PROJECT NO. :

25-01833



DESIGNED BY:

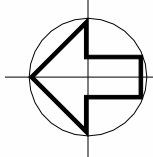
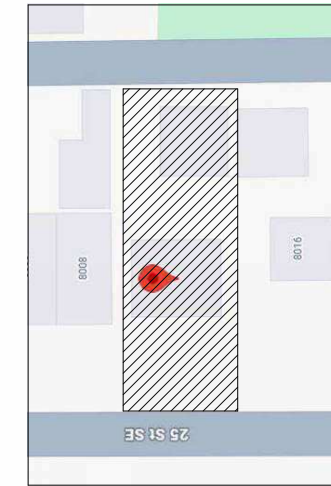


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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-11-24	DEVELOPMENT PERMIT SET	R.NIE.R	A.K.E.Z

THE CLIENT :

PRIVATE CLIENT

PROJECT :

4-PLEX BUILDING

ADDRESS:

8012 25 STREET S.E. ,
CALGARY, ALBERTA

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D SHOTS

DRAWING NO.

G-002

PROJECT NO. :

CHECKED BY:

DATE:

25-01833

E.Z

2026-05-19

DRAWN BY:

E.R

SCALE:

SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

8012 35TH ST SE. , CALGARY, ALBERTA

ZONNING:- R-CG

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

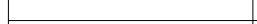
COVERAGE CALCULATION:
LOT AREA = 561.53 m²
MAXIMUM COVERAGE (60%) = 336.918 m²
BUILDING COVERAGE = 227.85 m²
GARAGE COVERAGE = 71.492 m²
BIKE LOCKERS COVERAGE = 7.44 m²
TOTAL COVERAGE = 306.78 m² = 54.63%

PROJECT SETBACK REQUIREMENTS:

- BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 0.6m INTO THE FRONT SETBACK AREA)
- MINIMUM 1.22 m REAR SETBACK
- MINIMUM BUILDING SETBACK FROM ANY SIDE PROPERTY LINE IS : A) 1.22 M
B) 3.0 M ON ONE SIDE OF THE PARCEL WHEN NO PROVISION IS MADE FOR A PRIVATE GARAGE ON THE FRONT OR SIDE OF A BUILDING
C) SIDE PROPERTY LINE SHARED WITH A STREET IS 0.60 M.

NOTE:-

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

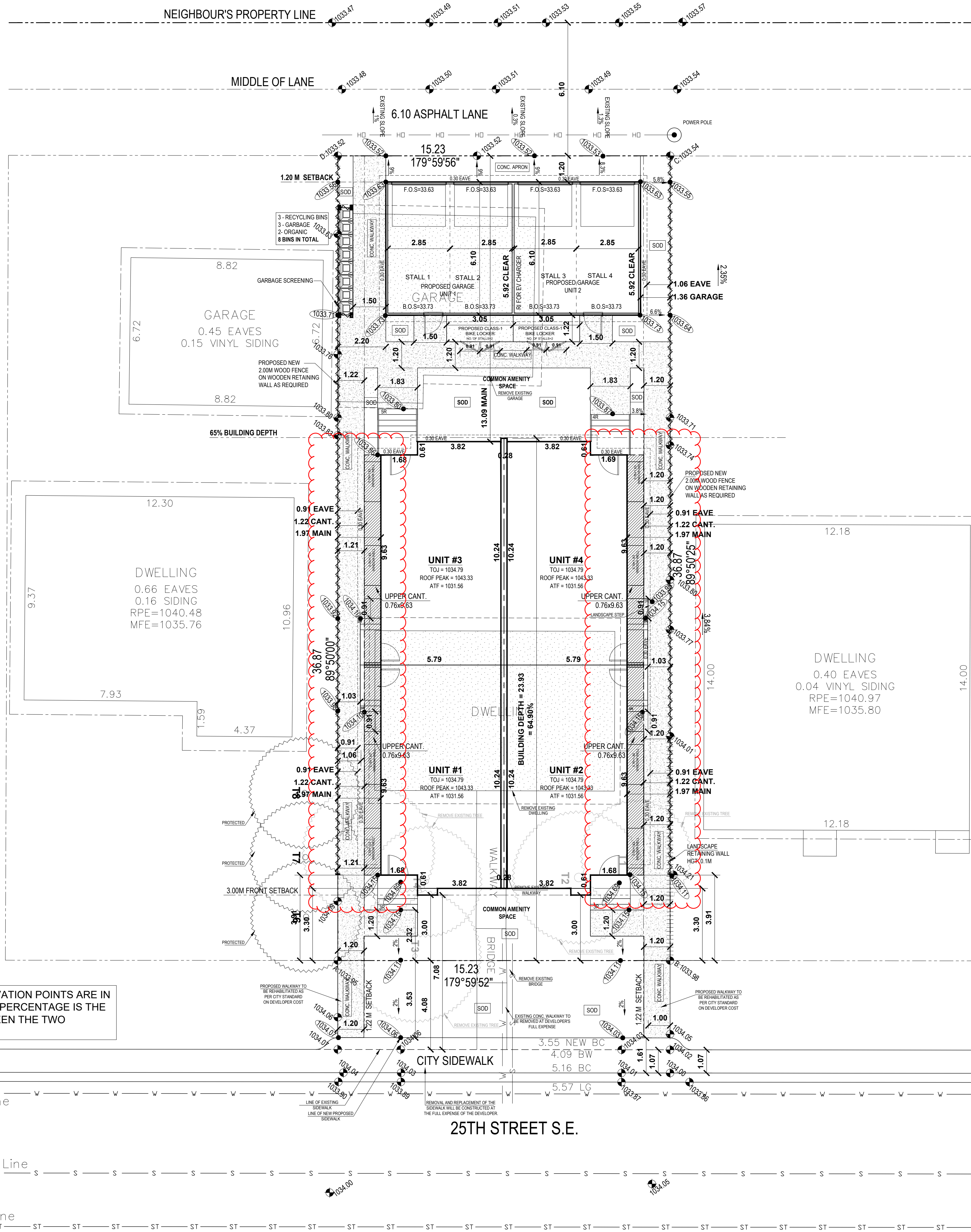
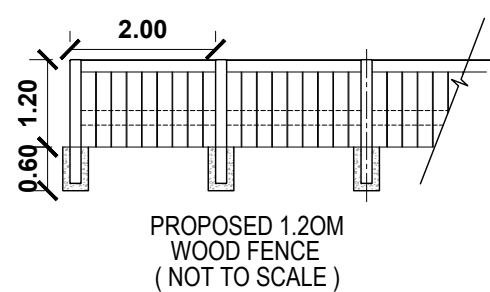
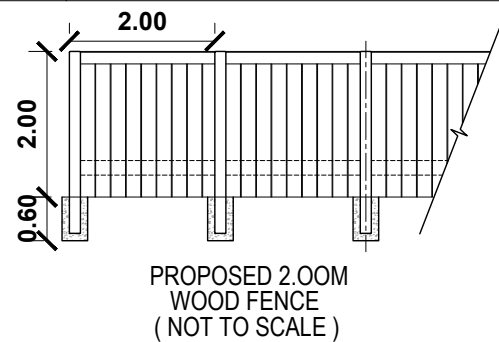
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		REMOVE FENCE		CONCRETE
	SETBACK		UTILITY LINES WATER		BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM		UPPER CANT

NOTE:

- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- BUILDING WILL BE "SOLAR READY" AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.
FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
- ALL STALLS EQUIPPED WITH EVSE INSULATION & EV CAPABLE.

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	
T1	Coniferous	0.40	5.00	12.00	In Subject Property	REMOVED
T2	Deciduous	0.40	6.00	6.00	In Subject Property	REMOVED
T3	Coniferous	0.20	6.00	8.00	In Subject Property	REMOVED
T4	Deciduous	0.20	5.00	6.00	In Subject Property	REMOVED
T5	Coniferous	0.25	6.00	12.00	In Subject Property	REMOVED
T6	Coniferous	0.25	5.00	12.00	In Adjacent Property	PROTECTED
T7	Coniferous	0.25	5.00	12.00	In Adjacent Property	PROTECTED
T8	Coniferous	0.25	5.00	12.00	In Adjacent Property	PROTECTED



NOTE: ALL THE ELEVATION POINTS ARE IN METRIC VALUE AND PERCENTAGE IS THE DIFFERENCE BETWEEN THE TWO ELEVATION POINTS.

DESIGNED BY:

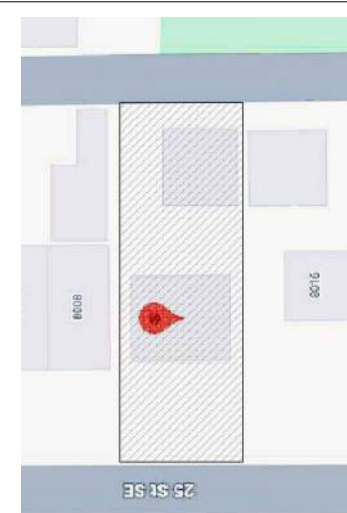


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KEY PLAN



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ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-11-25	DEVELOPMENT PERMIT SET	E.R	A.K

THE CLIENT :

PRIVATE CLIENT

PROJECT :

4-PLEX BUILDING

ADDRESS:

8012 25 STREET S.E. ,
CALGARY, ALBERTA

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

EXISTING AND PROPOSED
SITE PLAN

DRAWING NO.

A-001

PROJECT NO. :

CHECKED BY:

DATE:

DRAWN BY:

SCALE:

1:100

SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

8012 35TH ST SE. , CALGARY, ALBERTA

ZONNING:- R-CG

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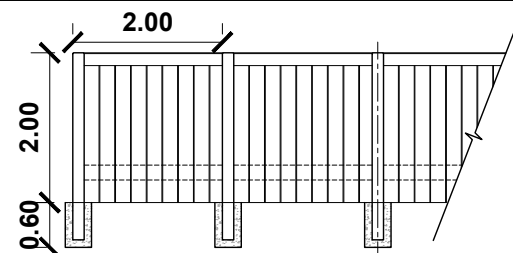
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	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		NEED TO TRIM		UPPER CANT

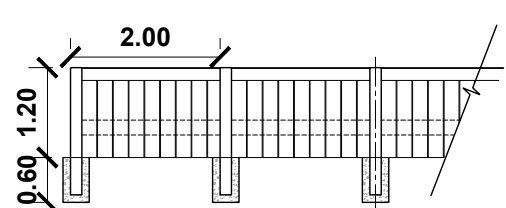
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TREE SCHEDULE:

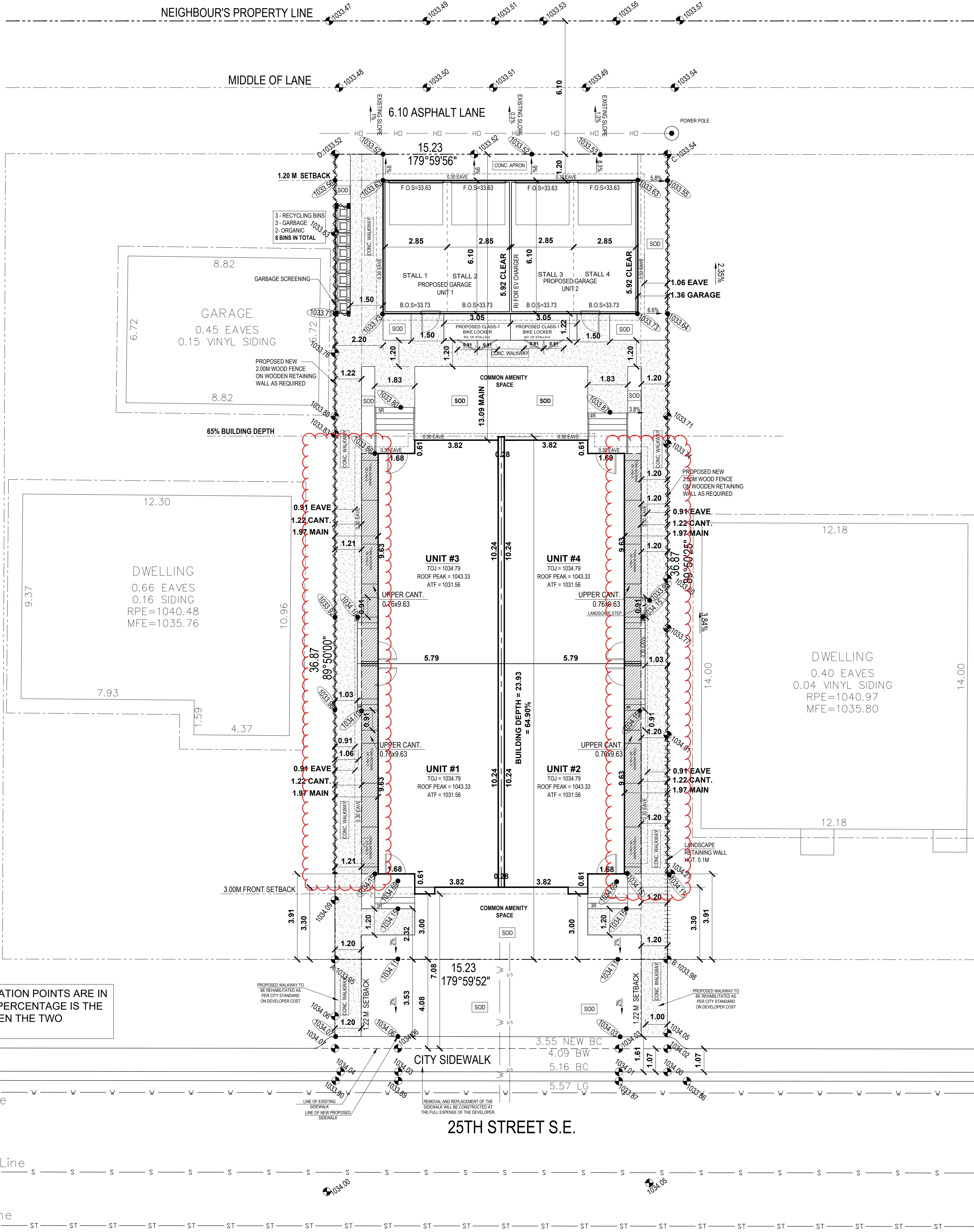
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PROPOSED 2.00M WOOD FENCE (NOT TO SCALE)



PROPOSED 1.20M WOOD FENCE (NOT TO SCALE)

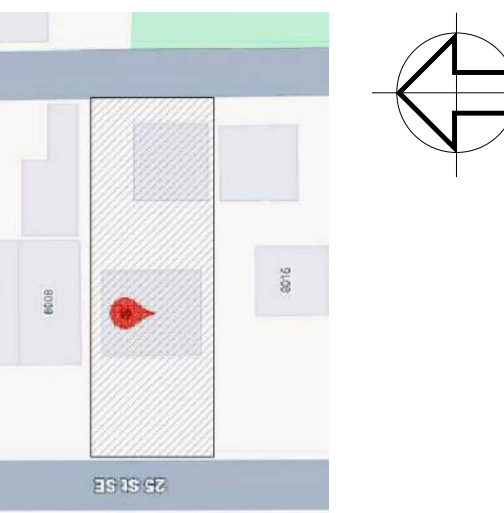


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KEY PLAN



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ISSUES:

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01	2025-11-25	DEVELOPMENT PERMIT SET	E.R	A.K

THE CLIENT : PRIVATE CLIENT

PROJECT : 4-PLEX BUILDING

ADDRESS : 8012 25 STREET S.E. ,
CALGARY, ALBERTA

DRAWING SET : DEVELOPMENT PERMIT SET

DRAWING TITLE : PROPOSED SITE PLAN

DRAWING NO.

A-002

PROJECT NO. :

CHECKED BY:

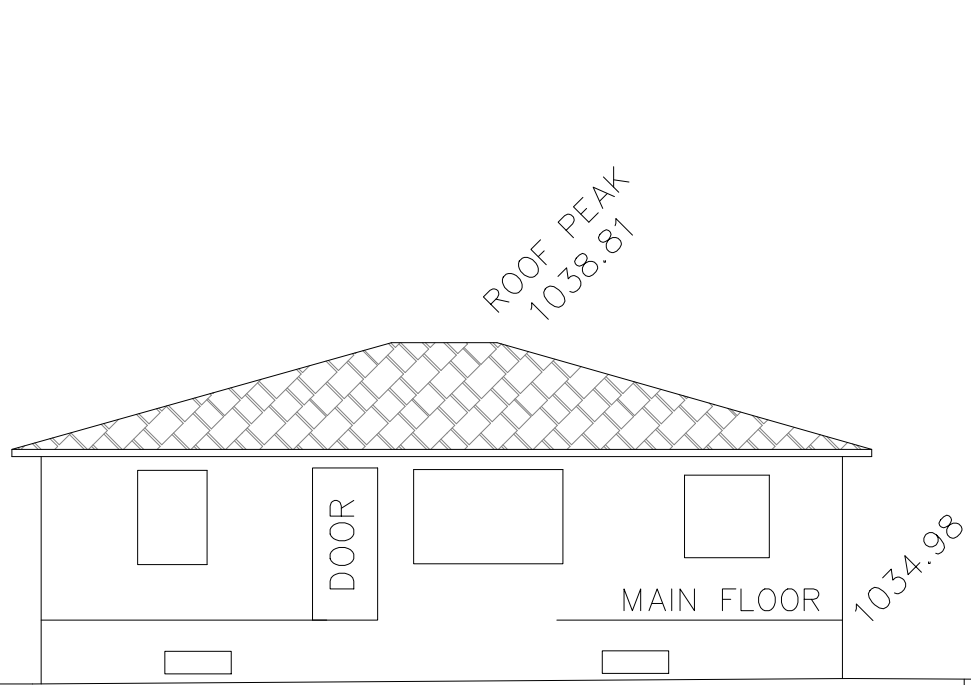
DATE:

DRAWN BY:

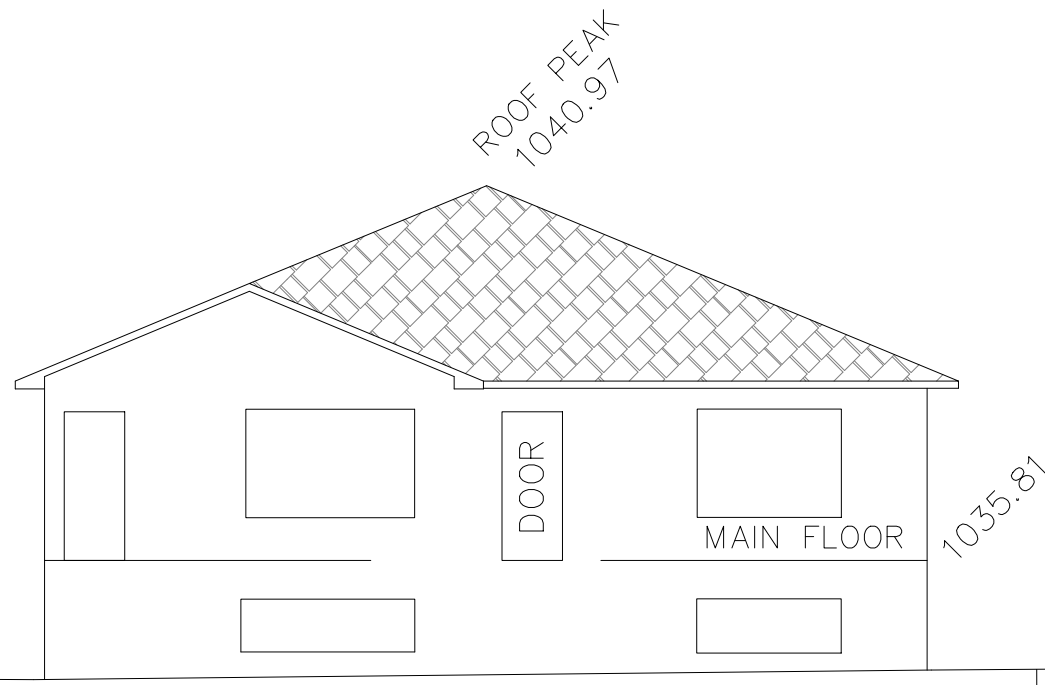
SCALE:

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80 AVENUE S.E.

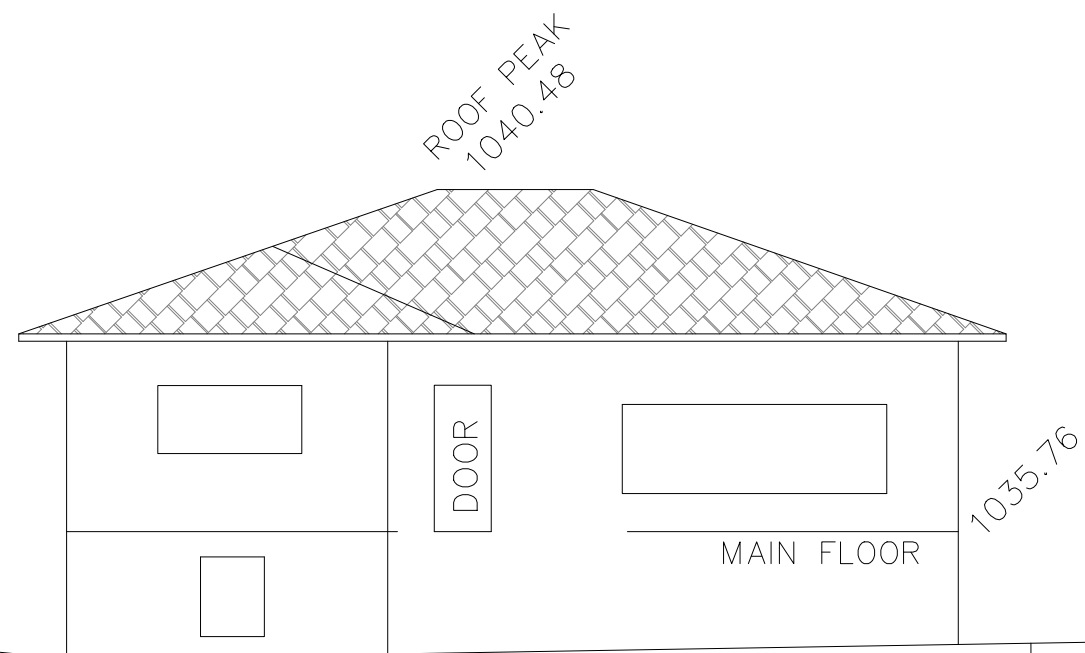


8004 & 8008 25 STREET S.E.
(LOTS 47 & 48, BLOCK 21, PLAN 375 AM)
FACING 25 STREET S.E.

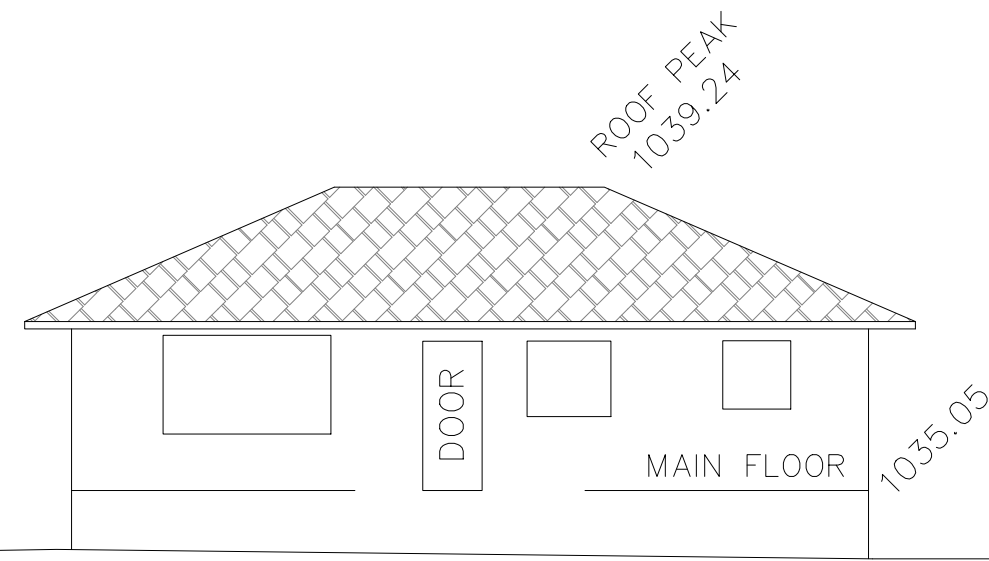


8006 & 8008 25 STREET S.E.
(LOTS 45 & 46, BLOCK 21, PLAN 375 AM)
FACING 25 STREET S.E.

TO BE DEMOLISHED



8016 25 STREET S.E.
(LOTS 41 & 42, BLOCK 21, PLAN 375 AM)
FACING 25 STREET S.E.



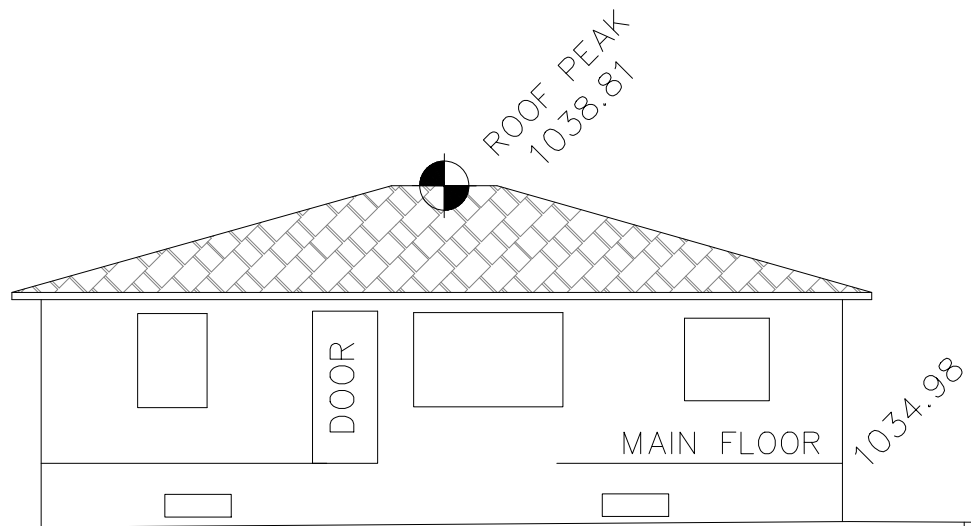
8020 25 STREET S.E.
(LOTS 39 & 40, BLOCK 21, PLAN 375 AM)
FACING 25 STREET S.E.

LOT 38

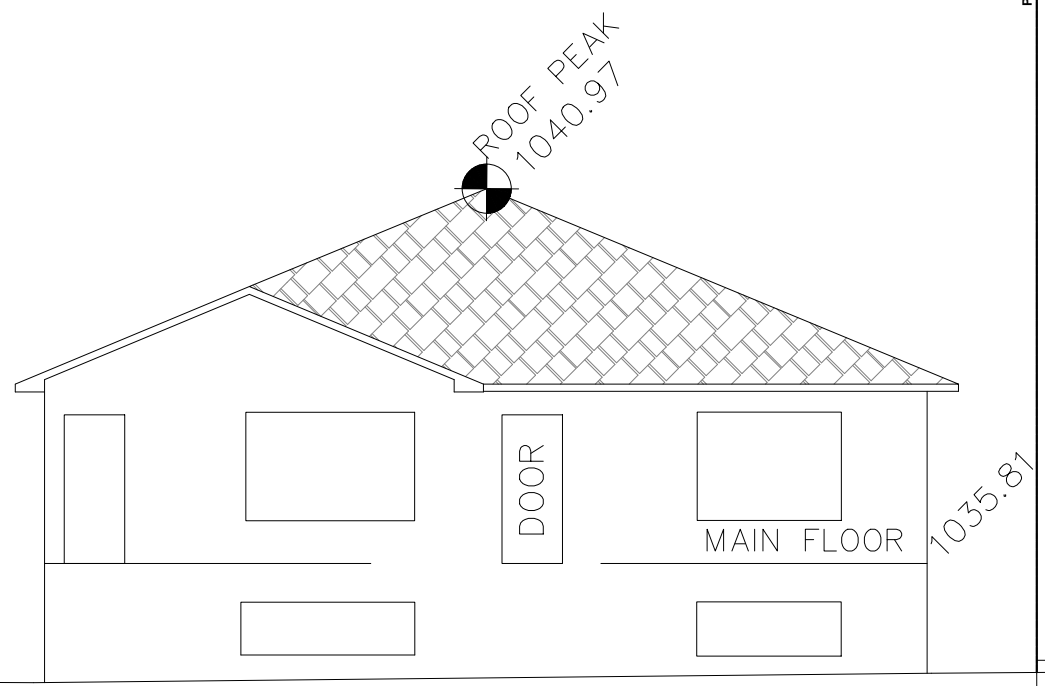
WEST STREETSCAPE

EXISTING STREETSCAPE

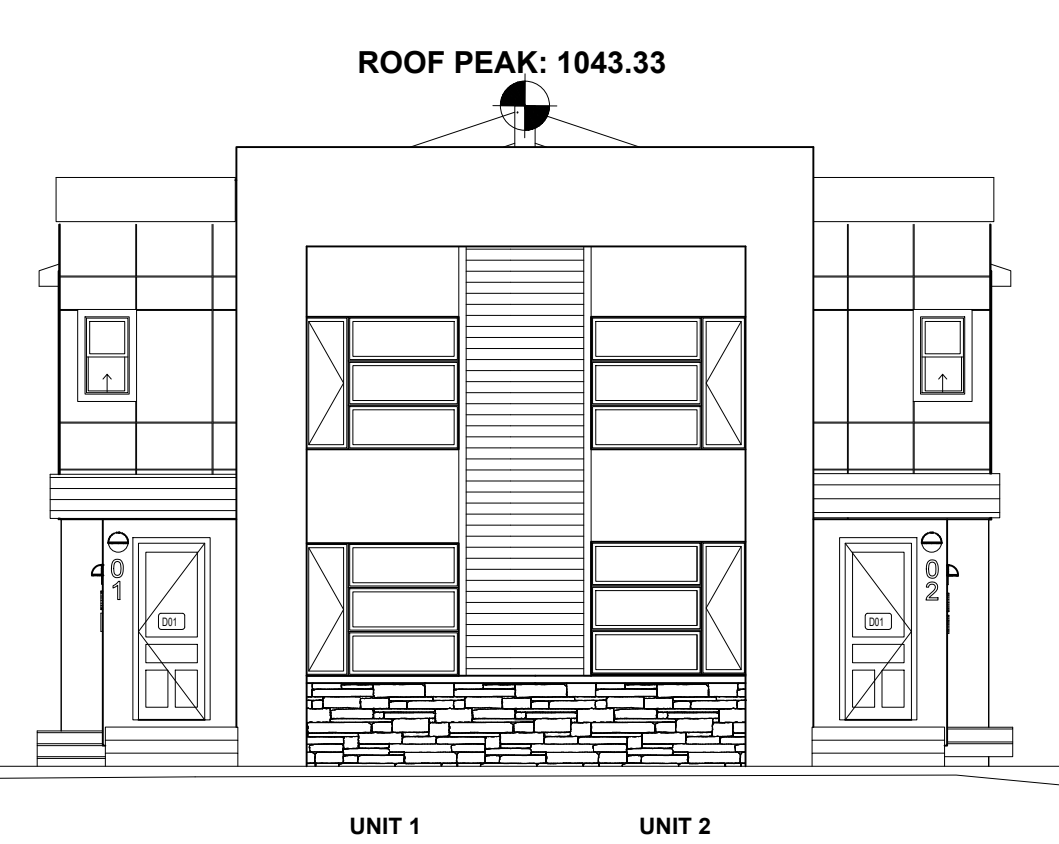
80 AVENUE S.E.



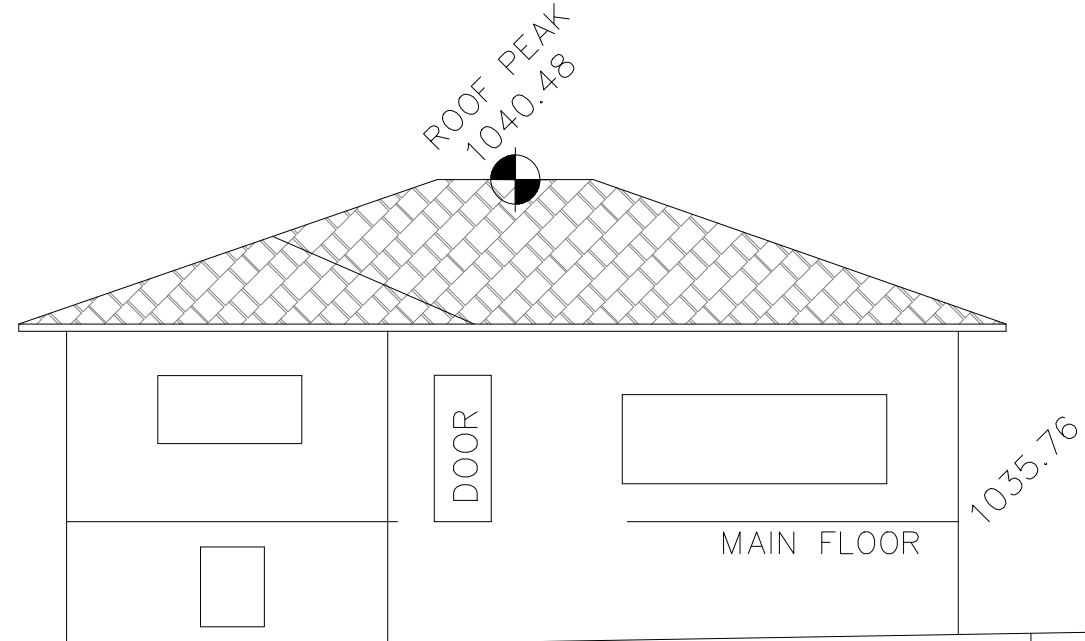
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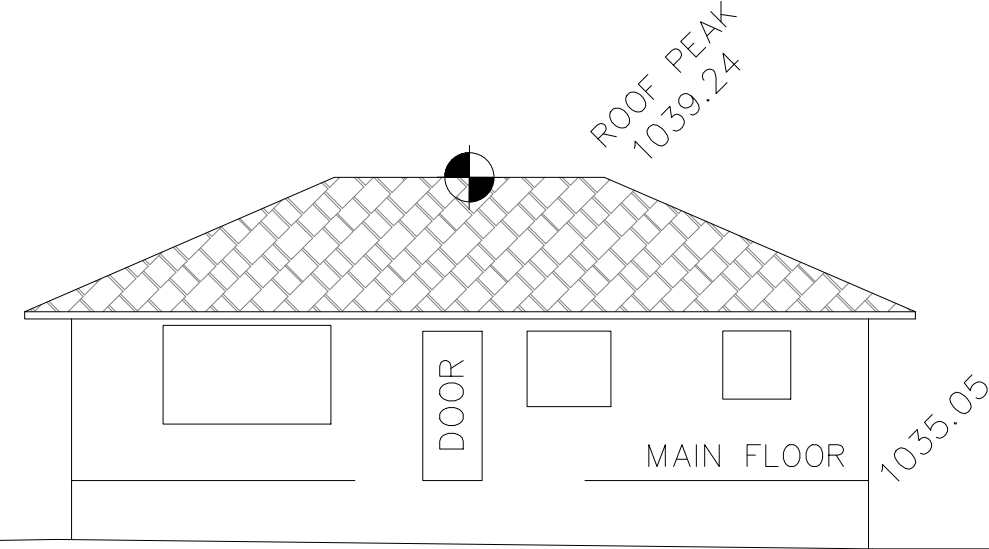
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FACING 25 STREET S.E.



8012 25 STREET S.E.
(LOTS 43 & 44, BLOCK 21, PLAN 375 AM)
FACING 25 STREET S.E.



8016 25 STREET S.E.
(LOTS 41 & 42, BLOCK 21, PLAN 375 AM)
FACING 25 STREET S.E.



8020 25 STREET S.E.
(LOTS 39 & 40, BLOCK 21, PLAN 375 AM)
FACING 25 STREET S.E.

LOT 38

WEST STREETSCAPE

PROPOSED STREETSCAPE

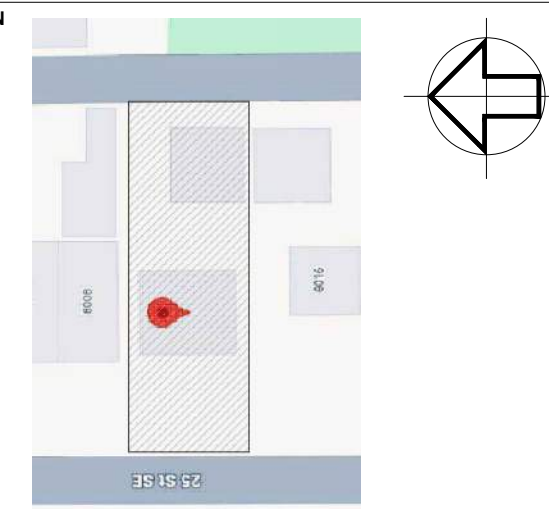
SIGNED BY:



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PLAN



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SUBS:

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1	2025-11-25	DEVELOPMENT PERMIT SET	E.R	A.K

CLIENT:

PRIVATE CLIENT

PROJECT:

4-PLEX BUILDING

ADDRESS:

8012 25 STREET S.E. ,
CALGARY, ALBERTA

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

STREETSCAPE

DRAWING NO.

A-004

OBJECT NO.:

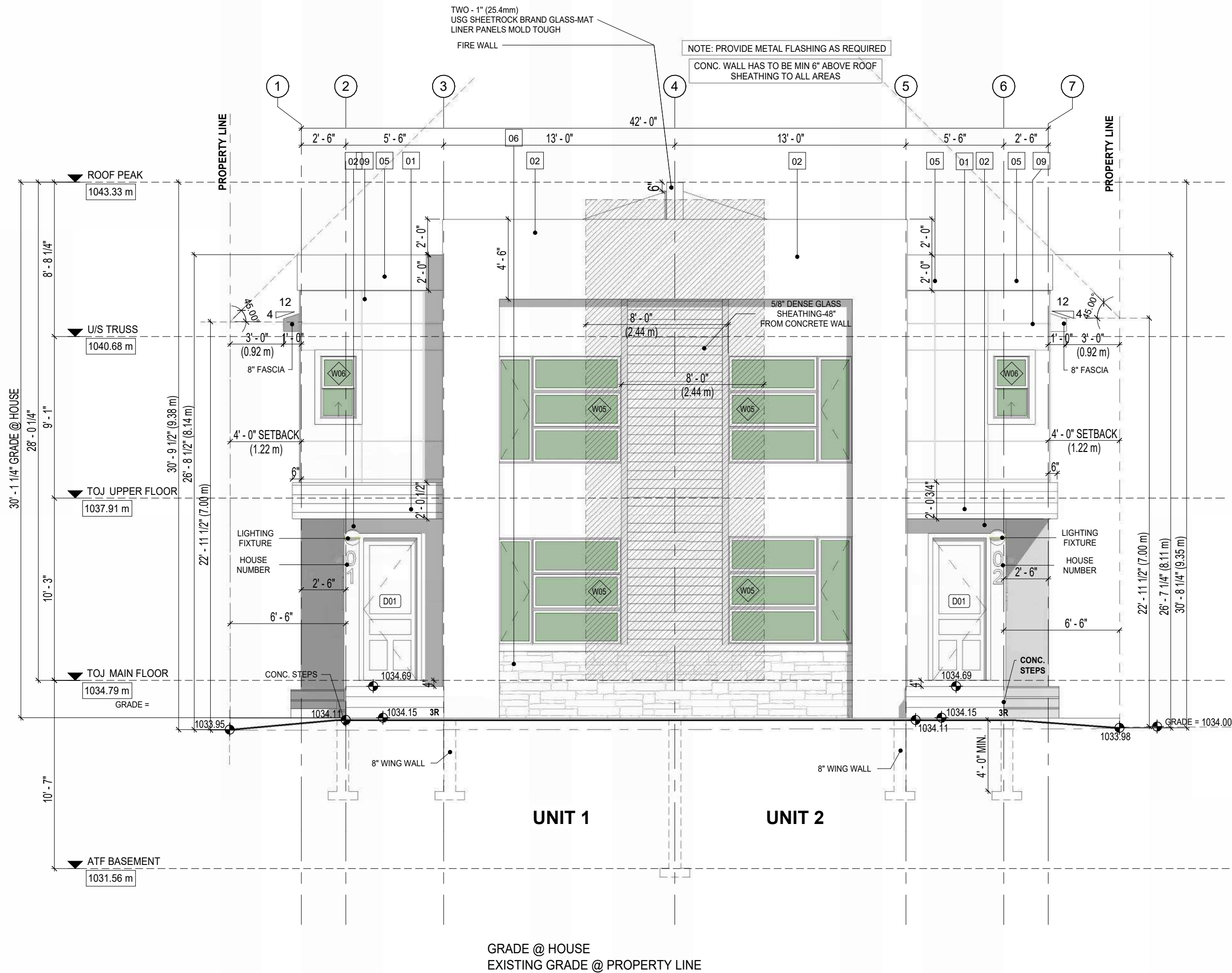
CHECKED BY:

DATE:

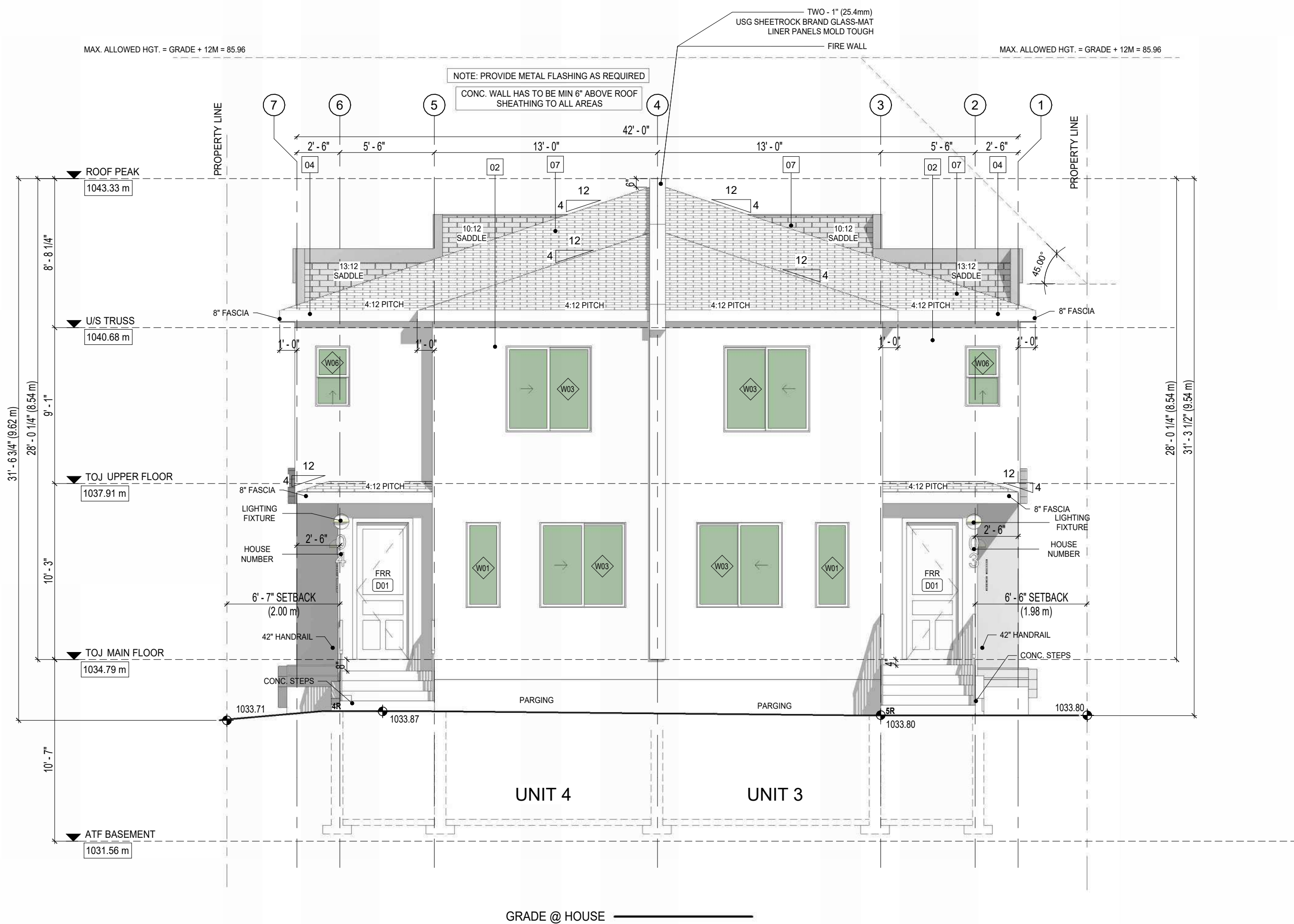
DRAWN BY:

SCALE:
1:100

SCHEDULE OF FINISHES	
MARK	NAME
01	HORIZONTAL SIDING - HARDIE (LUX PANELS)
02	STUCCO CLADDING WHITE
03	TRIM LIGHT
04	8" PRE-FINISHED METAL FASCIA
05	TRIM DARK
06	EXTERIOR MANUFACTURED STONE VENEER
07	ASPHALT ROOFING SHINGLE
08	4" TRIM
09	PANELS -WHITE

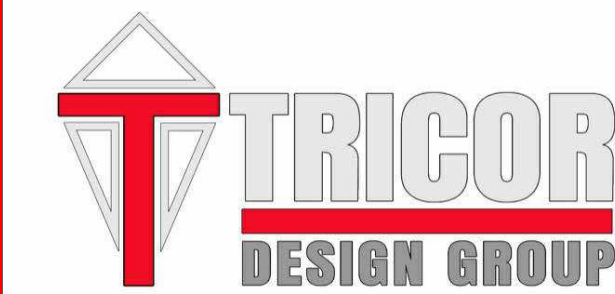


1 FRONT (WEST) ELEVATION
3/16" = 1'-0"



2 REAR (EAST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

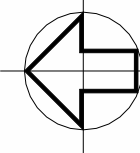
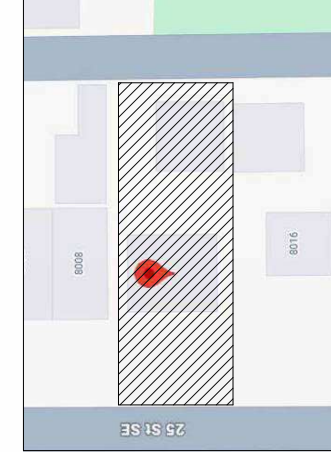


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tricor designs.com

#202 - 4216 10 STREET NE,
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PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025-11-25	DEVELOPMENT PERMIT SET	E.R	A.K
02				
03				
04				
05				

THE CLIENT :

PRIVATE CLIENT

PROJECT :

4-PLEX BUILDING

ADDRESS:

8012 25 STREET S.E. ,
CALGARY, ALBERTA

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT & REAR ELEVATIONS

DRAWING NO.

A-201

DRAWN BY:

E.R

CHECKED BY:

E.Z

DATE:

2026-05-19

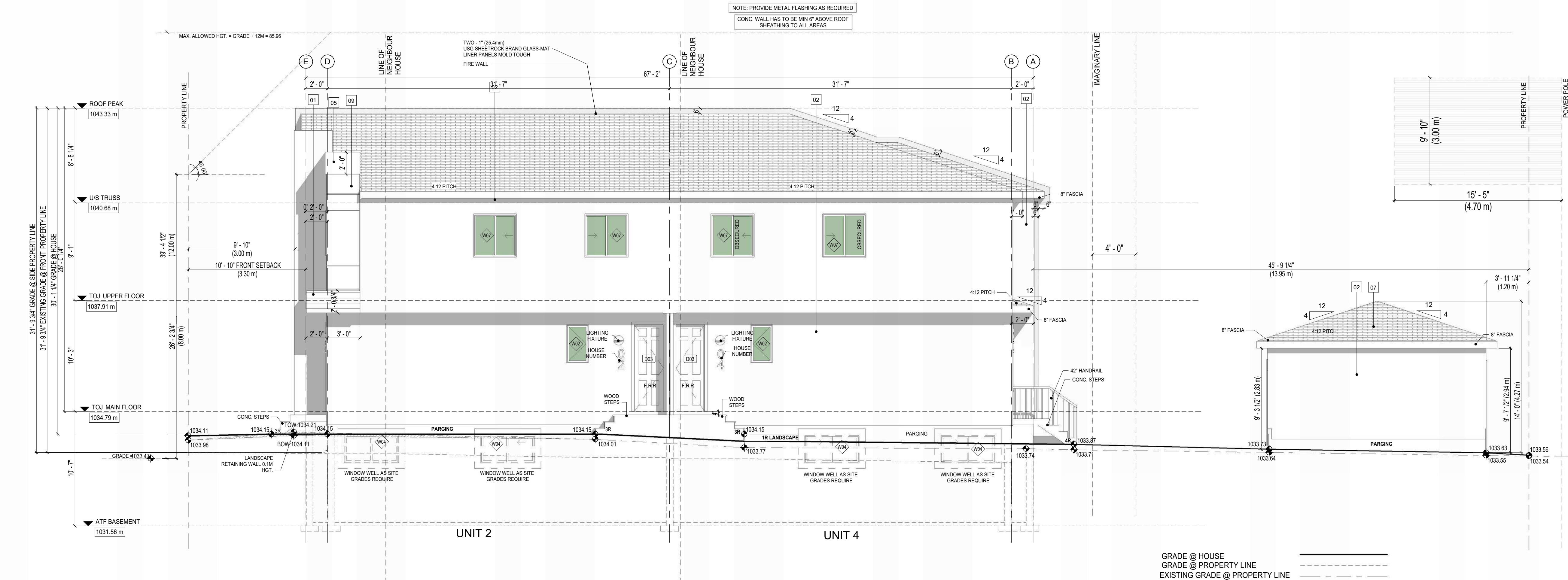
SCALE: 3/16" = 1'-0"

SCHEDULE OF FINISHES	
MARK	NAME
01	HORIZONTAL SIDING - HARDIE (LUX PANELS)
02	STUCCO CLADDING WHITE
03	TRIM LIGHT
04	8" PRE-FINISHED METAL FASCIA
05	TRIM DARK
06	EXTERIOR MANUFACTURED STONE VENEER
07	ASHPHALT ROOFING SHINGLE
08	4" TRIM
09	PANELS - WHITE

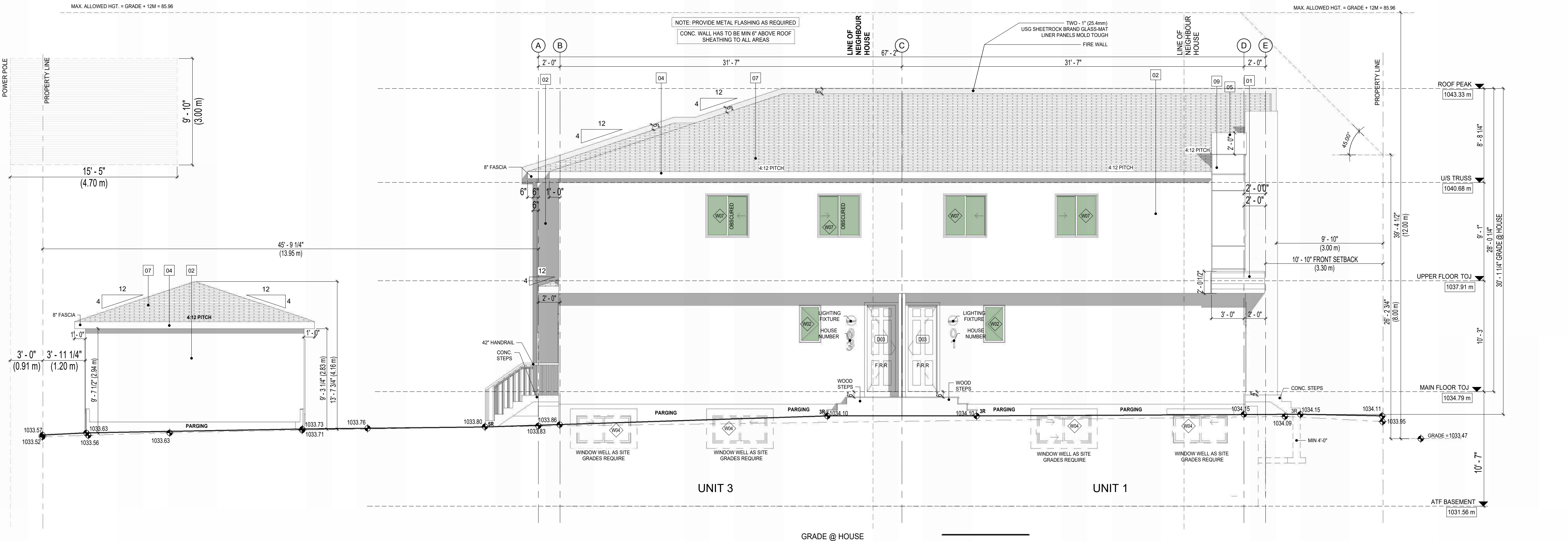
UNPROTECTED OPENINGS RIGHT ELE.		
CODE CHECK		
EXPOSED BUILDING FACE	1481.09 SQ. FT.	137.80 SQ.M²
MINIMUM SETBACK	4'-0"	1.22 M
PERCENTAGE OF ALLOWED OPENINGS	7%	103.67 SQ. FT.
SQ. FTG. OF ALLOWED OPENINGS	103.67 SQ. FT.	9.63 SQ.M²
ACTUAL SQ. FTG. OF OPENINGS	100.49 SQ. FT.	9.33 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	51.84 SQ. FT.	4.81 SQ.M²

UNPROTECTED OPENINGS LEFT ELE.		
CODE CHECK		
EXPOSED BUILDING FACE	1488.79 SQ. FT.	138.31 SQ.M²
MINIMUM SETBACK	4'-0"	1.22 M
PERCENTAGE OF ALLOWED OPENINGS	7%	104.21 SQ. FT.
SQ. FTG. OF ALLOWED OPENINGS	102.48 SQ. FT.	9.52 SQ.M²
ACTUAL SQ. FTG. OF OPENINGS	102.48 SQ. FT.	9.52 SQ.M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	52.11 SQ. FT.	4.84 SQ.M²

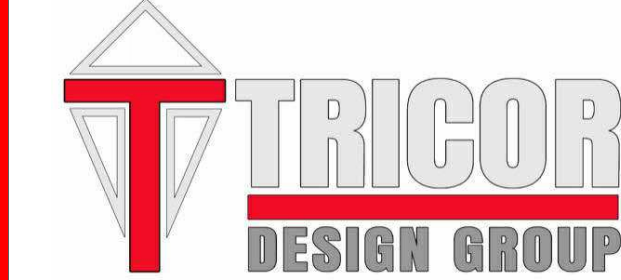
1 RIGHT (SOUTH) ELEVATION
3/16" = 1'-0"



2 LEFT (NORTH) ELEVATION
3/16" = 1'-0"



DESIGNED BY:

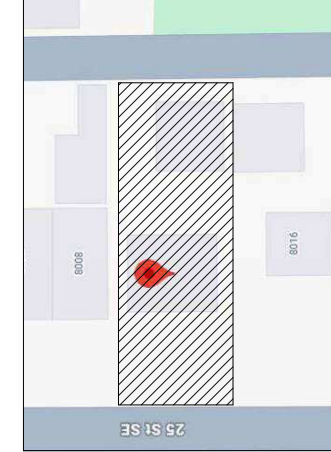


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RIGHT & LEFT ELEVATIONS

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CHECKED BY:

E.Z

DATE:

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SCALE: 3/16" = 1'-0"