

ROYOP - 62 MERCADO STREET SE

62 MERCADO ST SE, CALGARY, AB
LOT 4, BLOCK 148, PLAN 251 0331

DP SUBMISSION
2025.11.07

ARCHITECTURAL	
A0.0	COVER SHEET
A1.0	SITE PLAN
A1.1	VEHICLE ACCESS ROUTE PLAN
A1.2	SITE DETAILS
A2.0	MAIN FLOOR PLAN (CRU A & B)
A2.1	MAIN FLOOR PLAN (CRU C & D)
A2.2	MAIN FLOOR PLAN (CRU E)
A4.0	ELEVATIONS (CRU A & B)
A4.1	ELEVATIONS (CRU C & D)
A4.2	ELEVATIONS (CRU E)
A5.0	BUILDING SECTIONS (CRU A & B)
A5.1	BUILDING SECTIONS (CRU C & D)
A5.2	BUILDING SECTIONS (CRU E)
A6.0	SITE PHOTOS
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LANDSCAPE	
DPL1	DEVELOPMENT PERMIT
CIVIL	
C1.0	UNDERGROUND LAYOUT PLAN
C2.0	SURFACE & GRADING LAYOUT PLAN
ELECTRICAL	
E101S	SITE PLAN - ELECTRICAL
E102S	SITE PLAN - POINTS BY POINTS
E103S	RENDERINGS



PREPARED FOR:

LANDSCAPE ARCHITECT
ENGINEER

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

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ARCADIS

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ELECTRICAL
ENGINEER

EMBE
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CONTRACTORS ARE NOT TO USE THESE FIGURES FOR CONSTRUCTION PURPOSES. READ IN CONJUNCTION WITH CONTRACT DOCUMENTS

MUNICIPAL ADDRESS:	62 MERCURY STREET, CALGARY, AB,
LEGAL ADDRESS:	LOT 4, BLOCK 148, PLAN 251 0331
SITE AREA:	16,816.034 m ² (181,006.28 ft ²) (4.2 Acres)
SITE COVERAGE (PROPOSED):	4,645.15 m ² (50,000 R ²), 27.6% COVERAGE
CURRENT ZONING:	COMMERCIAL-COMMUNITY 1 (C-C1) DISTRICT
PROPOSED ZONING (IF APPLICABLE):	N/A

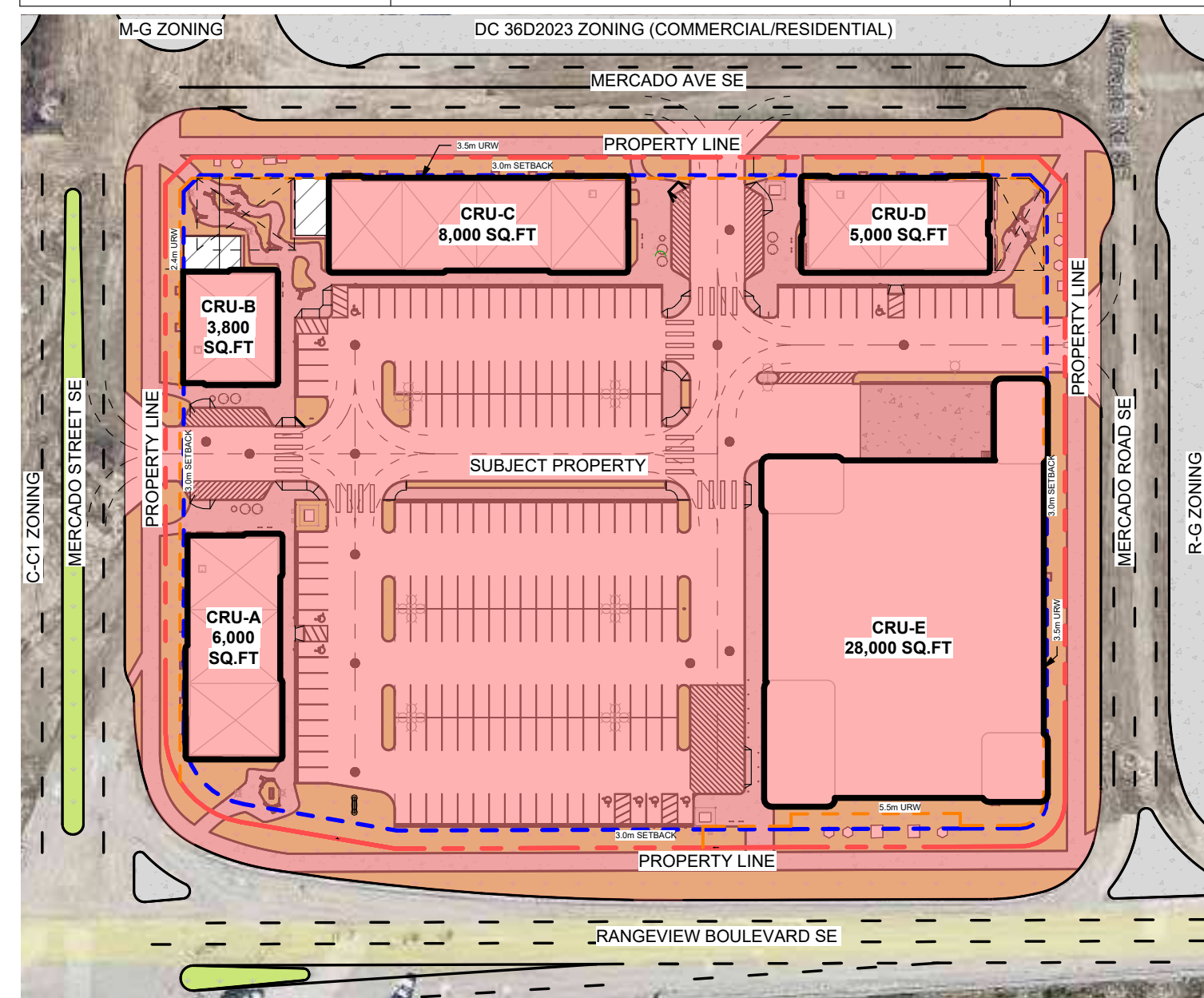
PROPOSED BUILDING:		
CRU-A RETAIL:	185.8 m ² (2,000 ft ²)	CRU-E RETAIL:
LICENSED RESTAURANT:	346.8 m ² (3,732.5ft ²)	CRU-E MEZZ. AREA:
MECH ROOM:	24.9 m ² (267.5ft ²)	TOTAL CRU-E AREA:
CRU-A MEZZ. AREA :	N/A	
TOTAL CRU-A AREA :	557.5 m ² (6,000 ft ²)	

CRU-B LICENSED RESTAURANT:	253.8 m ² (2732.5 ft ²)
MECH ROOM:	24.9 m ² (267.5 25ft ²)
CRU-B MEZZ. AREA:	N/A
TOTAL CRU-B AREA:	278.7 m ² (3,000 ft ²)

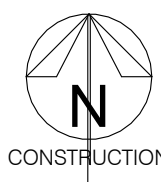
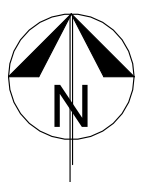
CRU-C RETAIL:	278.7 m ² (3,000 ft ²)
LICENSED RESTAURANT:	185.8 m ² (2,000 ft ²)
CANNABIS:	92.9 m ² (1,000 ft ²)
LIQUOR STORE:	160.6 m ² (1,728.5 ft ²)
MECH ROOM:	25.2 m ² (271.5 ft ²)
CRU-C MEZZ. AREA:	N/A
TOTAL CRU-C AREA:	743.2 m ² (8,000 ft ²)

CRU-D RETAIL:	439.1 m ² (4,726.5 ft ²)
MECH ROOM:	25.4 m ² (273.5 ft ²)
CRU-D MEZZ. AREA:	N/A
TOTAL CRU-D AREA:	464.5m ² (5,000 ft ²)

CATEGORY	REQUIREMENT OR CONDITION	PROVIDED	REFERENCE
PARCEL AREA	THE MAXIMUM AREA OF A PARCEL IS 3.2 HECTARES	1.7 Hectares	PART 7, DIV 4, 742
FLOOR AREA RATIO	THE MAXIMUM FLOOR AREA RATIO FOR BUILDINGS IS 1.0	0.27	PART 7, DIV 4, 743
BUILDING HEIGHT	THE MAXIMUM BUILDING HEIGHT IS 10.0m	MAXIMUM 9.6m	PART 7, DIV 4, 744
USE AREA	THE MAXIMUM USE AREA FOR A SUPERMARKET, OR A SUPERMARKET COMBINED WITH ANY OTHER USE, IS 5200.0 SQUARE METRES.	2601.3m ²	PART 7, DIV 4, 746; (2)
SETBACKS	FRONT SETBACK REQUIRED: MIN. 3m REAR SETBACK REQUIRED: MIN. 3m SIDE SETBACK REQUIRED: MIN. 3m	REQUIREMENT MET REQUIREMENT MET REQUIREMENT MET	PART 7, DIV 4, 748 - 750
LANDSCAPING IN SETBACK AREA	WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH AN STREET, THE SETBACK MUST (a) BE A SOFT SURFACED LANDSCAPED AREA; AND (b) HAVE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS; (i) FOR EVERY 35.0 SQUARE METRES; OR (ii) FOR EVERY 50.0 SQUARE METRES, WHERE IRRIGATION IS PROVIDED BY A LOW IRRIGATION SYSTEM	LANDSCAPED AREA: 2,562.49m ² (27,582.41 ft ²) (REFER TO LANDSCAPING DRAWINGS)	PART 7, DIV 4, 751; (2)
PARKING STALLS SIZE	STALL DIMENSIONS: 2.6m X 5.4m DRIVE AISLE: 7.2m BARRIER-FREE STALL DIMENSION: 2.4m WIDTH, 2.4m ACCESS AISLE LOADING STALL DIMENSION: 3.1m X 9.2m FIRE TRUCK ACCESS AISLE: 9.0m	2.6m X 5.4m 7.2m REQUIREMENT MET 3.1m, 9.0m 9.0m	PART 3, DIV 6, 122 3.8.3.23 (1) (a) - (NBC) PART 3, DIV 6, 123 FIRE DEPT. SEC. 3
PARKING STALL COUNTS	MINIMUM NUMBER OF PARKING SPACES - TOTAL PARKING REQUIRED: NOT REQUIRED - BARRIER-FREE: 4 PER 51 TO 100 PARKING STALLS (ONE ADDITIONAL STALL FOR EACH ADDITIONAL INCREMENT OF 100 OR PART THEREOF) - LOADING: N/A	187 STALLS 9 STALLS 5 LOADING SPACE	PART 7, DIV 4, 752 (DELETED) TABLE 3.8.2.5 - (NBC)
REQUIRED BICYCLE PARKING STALLS	ALL OTHER USES IS 5.0 PER CENT OF THE NUMBER OF MOTOR VEHICLE PARKING STALLS - VEHICLE PARKING REQUIRED 186 STALLS - BICYCLE PARKING REQUIRED 10 STALLS	10RACKS, 20 STALLS REFER TO LANDSCAPE	PART 7, DIV 4, 755; (2), (b)
ACCESS ROUTE DESIGN	A PORTION OF A ROADWAY OR YARD PROVIDED AS A REQUIRED ACCESS ROUTE FOR FIRE DEPARTMENT USE SHALL (a) HAVE A CLEAR WIDTH NOT LESS THAN 6M, UNLESS IT CAN BE SHOWN THAT LESSER WIDTH ARE SATISFACTORY, (b) HAVE A CENTRE-LINE RADIUS NOT LESS THAN 12m, (c) HAVE AN OVERHEAD CLEARANCE NOT LESS THAN 3m, (d) HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15m, (e) BE DESIGNED TO SUPPORT THE EXPECTED LOADS IMPOSED BY FIREFIGHTING EQUIPMENT AND BE SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS, (f) HAVE TURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 90M LONG,	REQUIREMENT MET	3.2.5.6 - (NBC)
GARBAGE COLLECTION	CRU-A: 6 BAYS - 6m ³ CRU-B: 3 BAYS - 3m ³ TOTAL: 9 BAYS - 9m ³ REQUIRED CRU-C: 8 BAYS - 8m ³ TOTAL: 8 BAYS - 8m ³ REQUIRED CRU-D: 5 BAYS - 5m ³ TOTAL: 5 BAYS - 5m ³ REQUIRED CRU-E: 2601.3 m ² - 7.8m ³ TOTAL: 2601.3 m ² - 7.8m ³ REQUIRED	5m ³ GARBAGE PROVIDED 5m ³ RECYCLE PROVIDED 3m ³ GREASE PROVIDED 5m ³ GARBAGE PROVIDED 5m ³ RECYCLE PROVIDED 3m ³ GREASE PROVIDED 5m ³ GARBAGE PROVIDED 5m ³ RECYCLE PROVIDED	DSP-DSTDR-0002 V3.0 2022
PLYON SIGNAGE	THE FOLLOWING USES ARE DISCRETIONARY USES IN THE COMMERCIAL - COMMUNITY 1 DISTRICT: (b) SIGN - CLASS C: - MAXIMUM SIGN AREA: 9.6 m ² - MAXIMUM SIGN HEIGHT: 6m	PROVIDED UNDER SEPARATE PERMIT	PART 7, DIV 4, 740; (3)

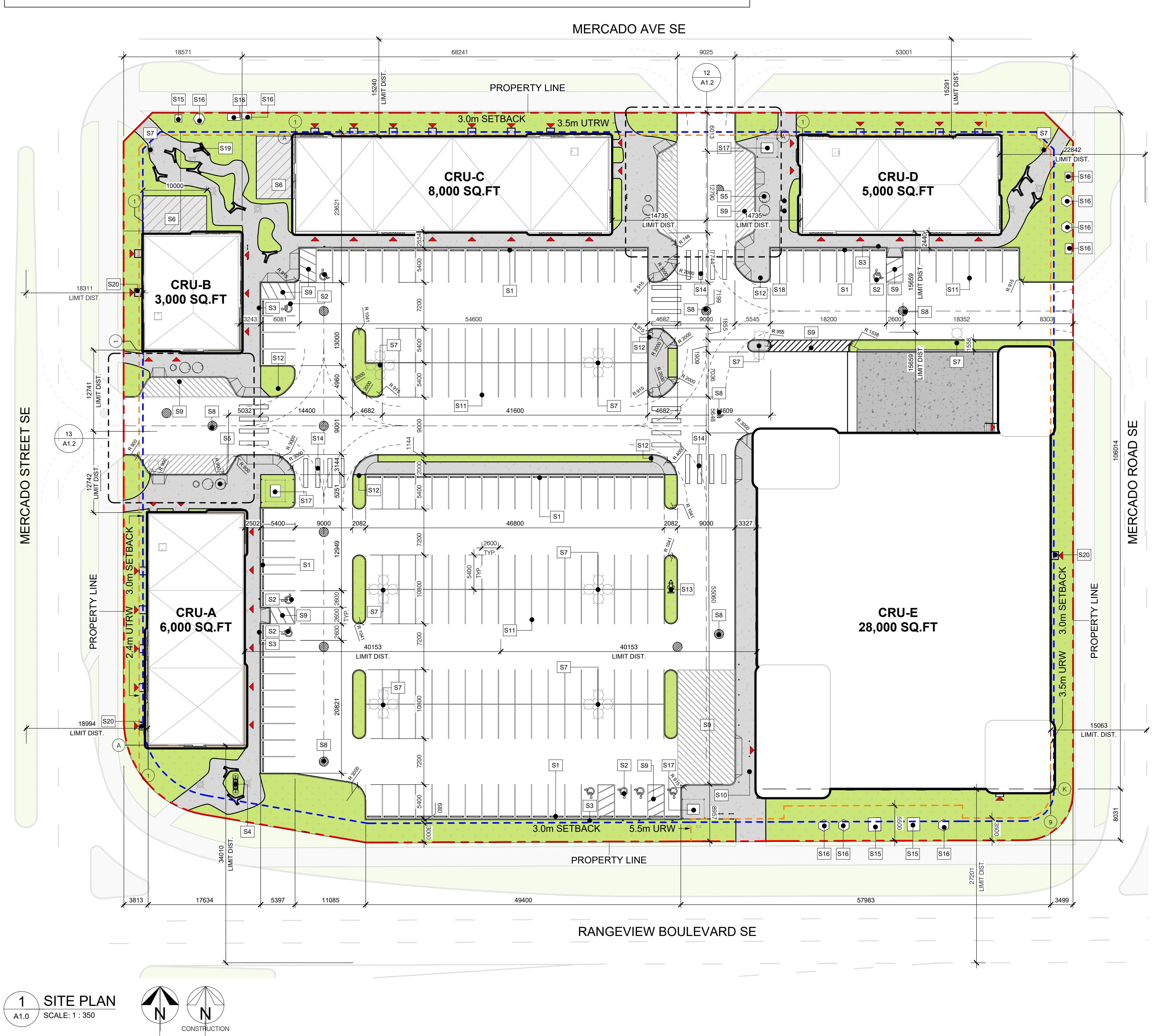


A1.0 SCALE: 1 : 1000

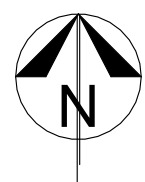


	CONCRETE HARDSCAPED AREA & CURBWORK		S5	UNDERGROUND WASTE CONTAINER SYSTEM - REFER TO ARCH DRAWING 10/A1.3		S17	TRANSFORMER W/ 4 STEEL PIPE BOLLARDS (NEW)
	LANDSCAPED AREA		S6	PRE-FABRICATED PATIO ENCLOSURE (NEW)		S18	BICYCLE PARKING STALL (NEW)
	PROPERTY LINE		S7	SITE LIGHTING FIXTURES (NEW) - REFER TO ELECTRICAL DRAWINGS		S19	REINFORCED CAST STONE MODULAR BENCH (NEW)
	SETBACK LINE		S8	MANHOLE / DRAIN (NEW) - REFER TO CIVIL		S20	PRECAST CONCRETE PAVERS (NEW)
	URW (UTILITY RIGHT OF WAY)		S9	50mm WHITE PAINTED LINES ON ASPHALT (NEW)			
	BARRIER-FREE ACCESS CURB CUT (NEW)		S10	STEEL PIPE BOLLARD - REFER TO ARCH DRAWING 4/A1.3			
	ENTRANCES		S11	50mm WHITE PAINTED PARKING LINES (NEW)			
	S1 PRECAST WHEEL STOP (NEW) - REFER TO ARCH DRAWING 9/A1.3		S12	STOP SIGN POST (NEW)			
	S2 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (NEW) - REFER TO ARCH DRAWING 2/A1.3		S13	FIRE HYDRANT (NEW)			
	S3 BARRIER-FREE SIGN POST (NEW) - REFER TO ARCH DRAWING 3/A1.3		S14	WHITE PAINTED CROSSWALK (NEW)			
	S4 NEW PYLON SIGN (NEW) - PROVIDED UNDER SEPARATE PERMIT		S15	TRANSFORMER (EXISTING)			
			S16	UTILITY VAULT (EXISTING)			

- REFER TO CIVIL PLANS FOR CIVIL SPECIFIC REQUIREMENTS.
- REFER TO SURVEY PLAN FOR PROPERTY LINE AND RIGHT-OF-WAY DIMENSIONS AND OTHER EXISTING CONDITIONS
- READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TAKEN FROM EDGE OF CURB U.N.O.
- ALL MOTOR VEHICLE SURFACE MATERIAL IS ASPHALT U.N.O.



A1.0 SCALE: 1 : 350



25-456

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SEAI

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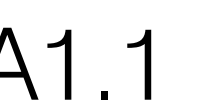
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SITE PLAN

DATE 2025.11.07	SCALE As indicated
PROJECT NO. 25-456	SHEET NO. A1.0
DRAWN BY JA, JY	

A1.C

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LEGEND: MATERIAL FINISH

ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SHOP SUBMITTALS AND REVIEW INSTALLATION GUIDELINES.

E1A	FIBRE CONCRETE BOARD CLADDING, COLOUR: TAUPE
E1B	FIBRE CONCRETE BOARD CLADDING, COLOUR: GREY
E2A	CEMENT BOARD CLADDING W/ STUCCO FINISH, COLOUR: TAN
E2B	CEMENT BOARD CLADDING W/ STUCCO FINISH, COLOUR: GREY-GREEN
E3A	EXTERIOR GRADE FLUTED PANELS, COLOUR: CEDAR
E3B	EXTERIOR GRADE FLUTED PANELS, COLOUR: SILVER GREY
E4	STONE VENEER, COLOUR: NATURAL STONE
E5A	ALUMINUM COMPOSITE MATERIAL PANELS, COLOUR: WOOD GRAIN CEDAR
E5B	ALUMINUM COMPOSITE MATERIAL PANELS, COLOUR: WOOD GRAIN SILVER GREY
E6	CURTAIN WALL SYSTEM W/ ENTRY DOORS & FRAMES, COLOUR: CLEAR ANODIZED, GREY GLASS
E7	NEW SIGNAGE BY OTHERS - 3/4" PLYWOOD BACKING AND POWER AT ALL LOCATIONS. FINAL CONNECTION BY TENANT - REFER TO ELECTRICAL DRAWINGS
E8	PARAPET CAP FLASHINGS, COLOUR: MEDIUM GREY
E9	PAINTED STEEL DOORS, COLOUR: MEDIUM GREY
E10	EXTERIOR BUILDING LIGHT - REFER TO ELECTRICAL DRAWINGS

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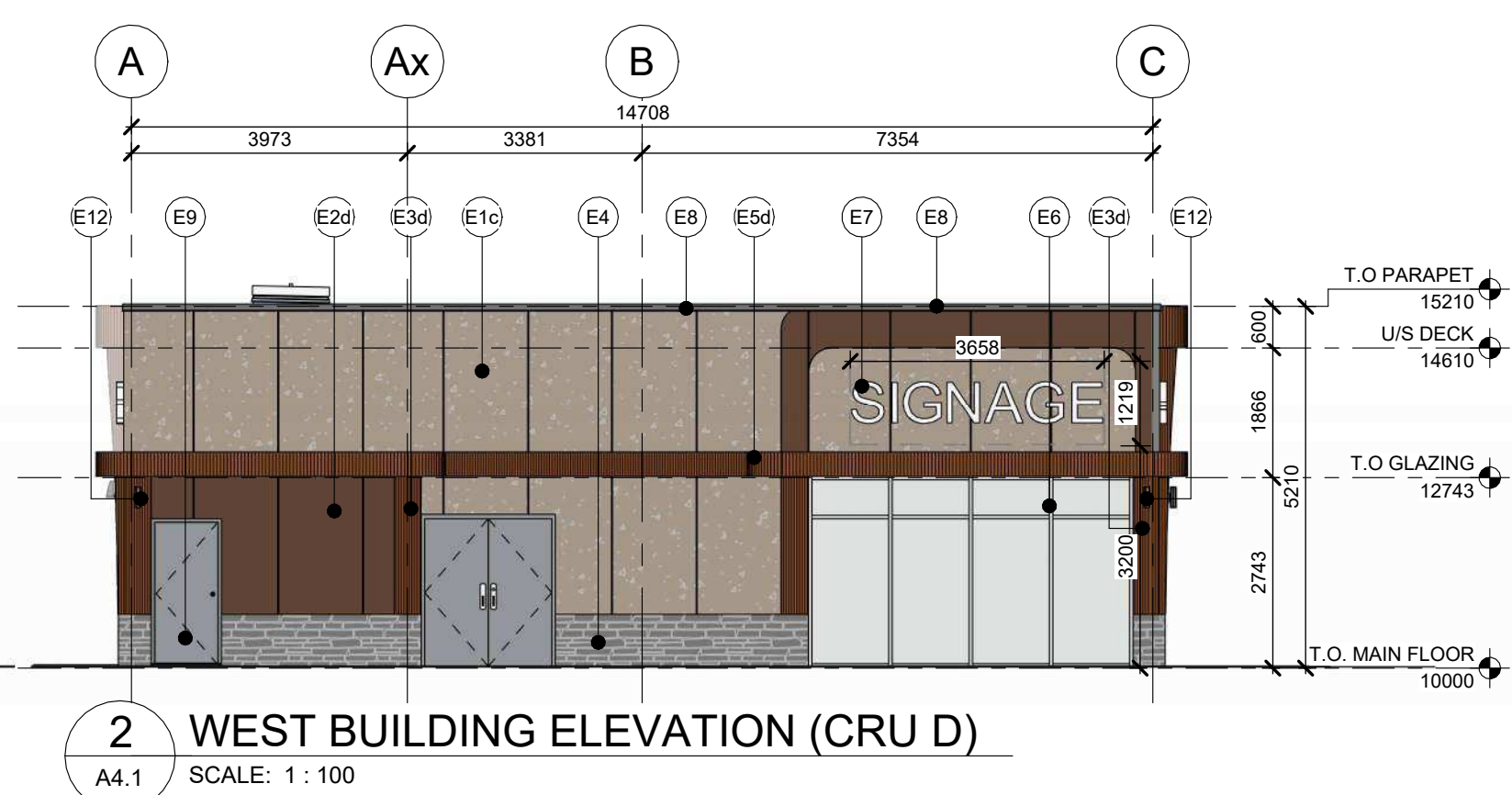
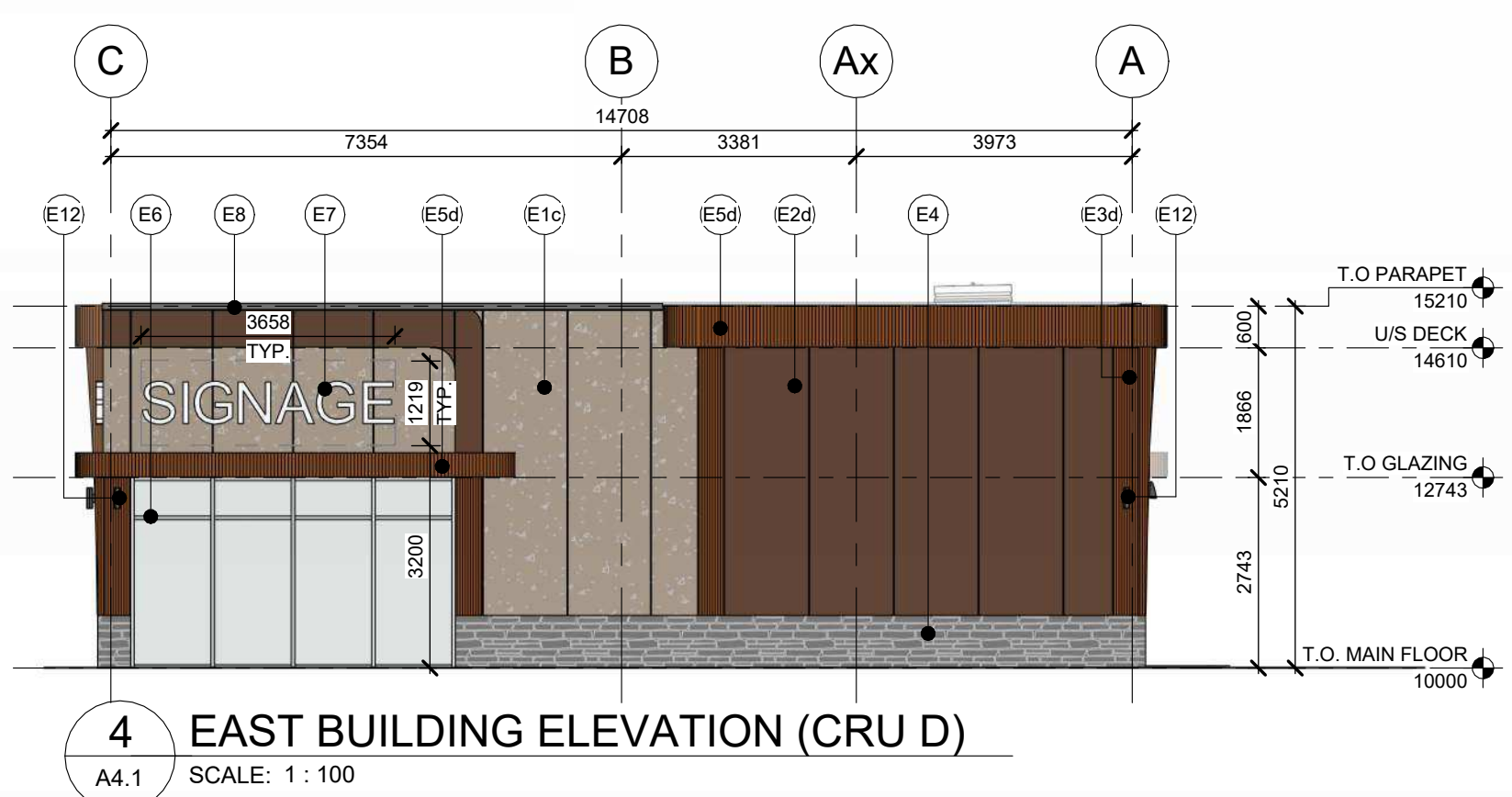
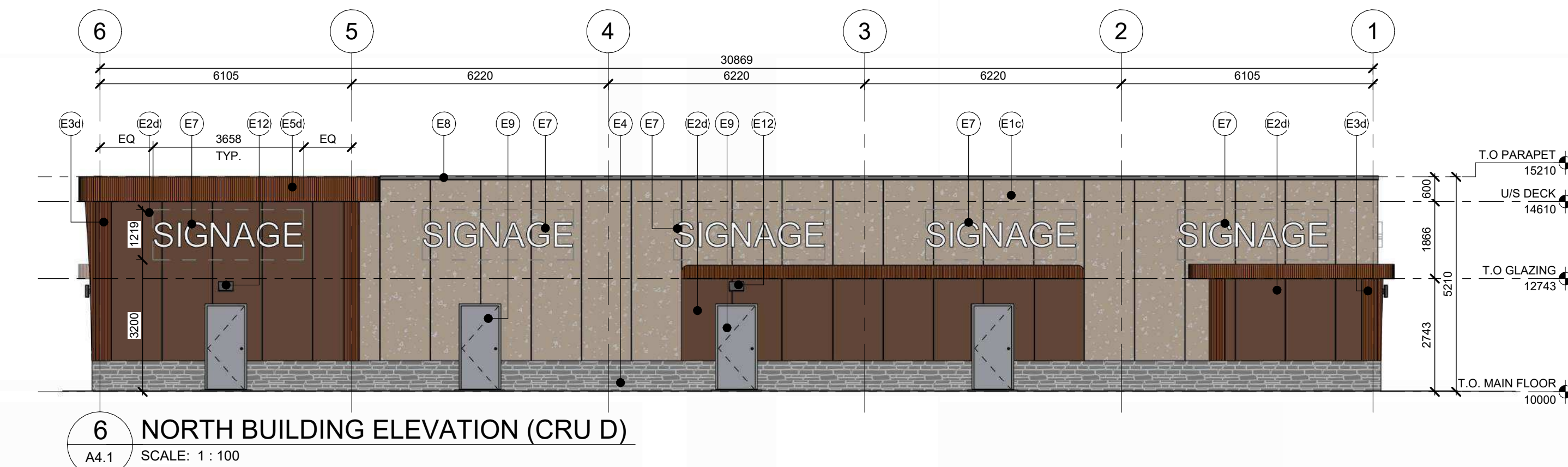
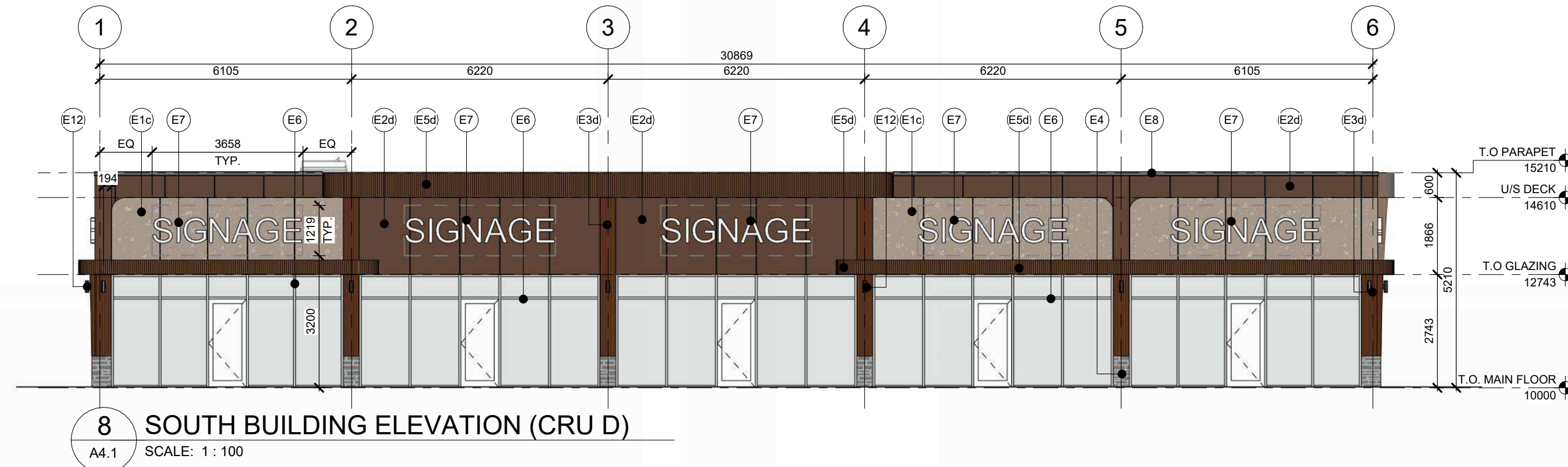
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DATE 2025.11.07	SCALE As indicated
PROJECT NO. 25-456	SHEET NO. A4.0
DRAWN BY JA, JY	

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LEGEND: MATERIAL FINISH	
ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, PROVIDE SHOP SUBMITTALS AND REVIEW INSTALLATION GUIDELINES.	
E1a	FIBRE CONCRETE BOARD CLADDING, COLOUR: TAUPE
E1c	FIBRE CONCRETE BOARD CLADDING, COLOUR: CLAY
E2c	CEMENT BOARD CLADDING W/ STUCCO FINISH, COLOUR: LIGHT TAN
E2d	CEMENT BOARD CLADDING W/ STUCCO FINISH, COLOUR: DARK BROWN
E3c	EXTERIOR GRADE FLUTED PANELS, COLOUR: RED CEDAR
E3d	EXTERIOR GRADE FLUTED PANELS, COLOUR: TEAK
E4	STONE VENEER, COLOUR: NATURAL STONE
E5c	ALUMINUM COMPOSITE MATERIAL PANELS, COLOUR: WOOD GRAIN RED CEDAR
E5d	ALUMINUM COMPOSITE MATERIAL PANELS, COLOUR: WOOD GRAIN TEAK
E6	CURTAIN WALL SYSTEM W/ ENTRY DOORS & FRAMES, COLOUR: CLEAR ANODIZED, GREY GLASS
E7	NEW SIGNAGE BY OTHERS - 3/4" PLYWOOD BACKING AND POWER AT ALL LOCATIONS. FINAL CONNECTION BY TENANT - REFER TO ELECTRICAL DRAWINGS
E8	PARAPET CAP FLASHINGS, COLOUR: MEDIUM GREY
E9	PAINTED STEEL DOORS, COLOUR: MEDIUM GREY
E12	EXTERIOR BUILDING LIGHT - REFER TO ELECTRICAL DRAWINGS

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DATE 2025.11.07	SCALE As indicated
PROJECT NO. 25-456	SHEET NO.
DRAWN BY JA, JY	A4.1

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This architectural elevation drawing shows a building facade with a central section and two side wings. The central section features a dark brown upper portion and a light gray lower portion with vertical panels. The side wings have a yellow upper portion with the word "SIGNAGE" and a dark brown lower portion. The drawing includes various structural details, dimensions, and callouts.

Dimensions and Callouts:

- Horizontal Dimensions (Top):** 5497, 5497, 5497, 5497, 45835, 5497, 5497, 5497, 7357.
- Vertical Dimensions (Right):** 1357, 1624, 991, 9811, 6830, 10000.
- Callouts (Top):** E5d, E5f, E5b, E7, E6, E5d, E13, E10a, E4, E8, IE13, IE13, E2f, E5d, E5f, E4, E5d, E7, E6f.
- Internal Dimensions (Left Wing):** 7315, 2743.
- Internal Dimensions (Right Wing):** 7315, 2743.
- Text:** "SIGNAGE" (on yellow background).
- Level Markers (Right):**
 - T.O. SOUTH TOWER 19511
 - T.O. NORTH TOWER 18153
 - T.O. LOW PARAPET 16629
 - U/S DECK 15639
 - T.O. SCREEN WALL 13048
 - T.O. MAIN FLOOR 10000

Architectural elevation drawing of the bridge deck showing the bridge deck, parapets, and towers. The drawing includes dimensions for the bridge deck (6550), parapets (2743), and towers (19511). It also shows the location of the bridge deck, parapets, and towers relative to the main floor and deck levels.

This architectural elevation drawing illustrates the proposed building facade, including signage, structural elements, and dimensions. The drawing is oriented horizontally, with the building facade on the left and the elevation details on the right. The facade features a central section with a curved roofline and a series of vertical structural elements. The signage is prominently displayed in yellow rectangular areas on the left and right sides of the facade. The drawing includes various dimensions and labels for structural elements, such as columns and beams. The elevation details on the right side of the drawing provide specific measurements for the building's height and width, as well as the location of the signage and structural elements. The drawing is a detailed technical representation of the proposed building facade, showing the relationship between the building's structure and its signage.

This architectural elevation drawing illustrates the south tower facade, detailing the placement of signage and structural elements. The facade is divided into three main sections: a left section with a yellow 'SIGNAGE' panel (6401), a central section with a dark brown 'SIGNAGE' panel (11278), and a right section with a yellow 'SIGNAGE' panel (3352). The drawing includes a grid system with vertical lines labeled A through K and horizontal lines labeled E1 through E14. Key dimensions and levels are indicated on the right side: T.O. SOUTH TOWER (19511), T.O. LOW PARAPET (16629), U/S DECK (15639), T.O. SCREEN WALL (13048), and T.O. MAIN FLOOR (3048). The drawing also shows the building's base, including a brick wall and a concrete foundation.

1 SOUTH BUILDING ELEVATION (CRU E)
A4.2 SCALE: 1 : 100

	ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SHOP SUBMITTALS AND REVIEW INSTALLATION GUIDELINES
E2¹	CEMENT BOARD CLADDING W/ STUCCO FINISH. COLOUR: OFF WHITE
E4¹	STONE VENEER. COLOUR: NATURAL STONE
E5¹	ALUMINUM COMPOSITE MATERIAL PANELS. COLOUR: WOOD GRAIN TEAK
E5²	ALUMINUM COMPOSITE MATERIAL PANELS. COLOUR: BLACK
E6¹	ALUMINUM COMPOSITE MATERIAL PANELS. COLOUR: YELLOW
E6²	CURTAIN WALL SYSTEM W/ ENTRY DOORS & FRAMES. COLOUR: CLEAR ANODIZED. GREY GLASS
E7¹	NEW SIGNAGE BY OTHERS - 3/4" PLYWOOD BACKING AND POWER AT ALL LOCATIONS. FINAL CONNECTION BY TENANT - REFER TO ELECTRICAL DRAWINGS
E8¹	PARAPET CAP FLASHINGS. COLOUR: MEDIUM GREY
E9¹	PAINTED STEEL DOORS. COLOUR: MEDIUM GREY
E10¹	FABRIC CANOPY. COLOUR: BLACK
E11¹	PAINTED OVERHEAD DOORS. COLOUR: MEDIUM GREY
E13¹	SPANDREL PANELS. COLOUR: DARK GREY
E14¹	AUTOMATIC SLIDING DOOR SYSTEM C/W MOTION SENSOR AND EMERGENCY BREAKOUT

LIMITING DISTANCE (CRU E)			
FACADE	LIMITING DISTANCE	EXPOSED BUILDING FACE	ALLOWABLE OPENINGS
CONST. EAST (CRU E)	27.2m	340 m²	100%
CONST. NORTH (CRU E)	15.1m	519 m²	100%
CONST. SOUTH (CRU E)	40.2m	553 m²	100%
CONST. WEST (CRU E)	15.7m	352 m²	100%

62 MERCADO ST SE
CALGARY, AB
LOT 4, BLOCK 148, PLAN 251
0331

[illegible]

SEAL

PERMIT

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ELEVATIONS (CRU E)

DATE 2025.11.07	SCALE As indicated
PROJECT NO. 25-456	SHEET NO.
DRAWN BY JA, JY	A4.2

A4.2

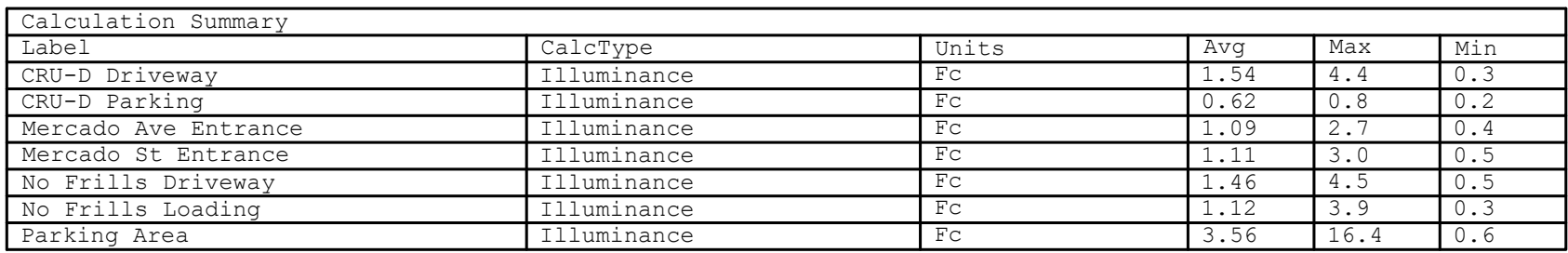
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PERMIT

CONSULTANTS



DATE 2025-09-03	SCALE As indicated
PROJECT NO. 25286	SHEET NO.
DRAWN BY HA, JW	E102S



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