

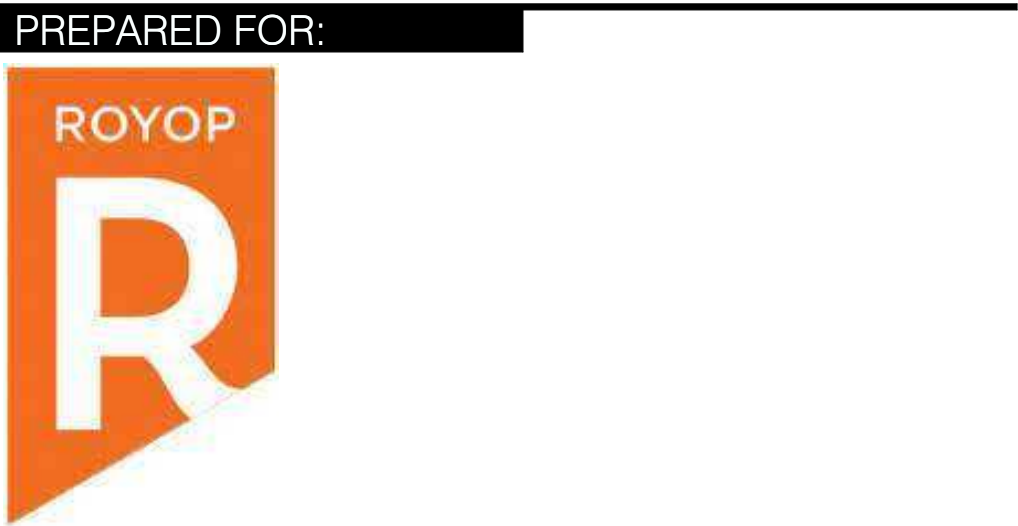
ROYOP - 62 MERCADO STREET SE

62 MERCADO ST SE, CALGARY, AB
LOT 4, BLOCK 148, PLAN 251 0331

DETAILED REVIEW 2

2026.07.28

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A1.3	SITE DETAILS
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LANDSCAPE ARCHITECT
ENGINEER



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CIVIL
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ELECTRICAL
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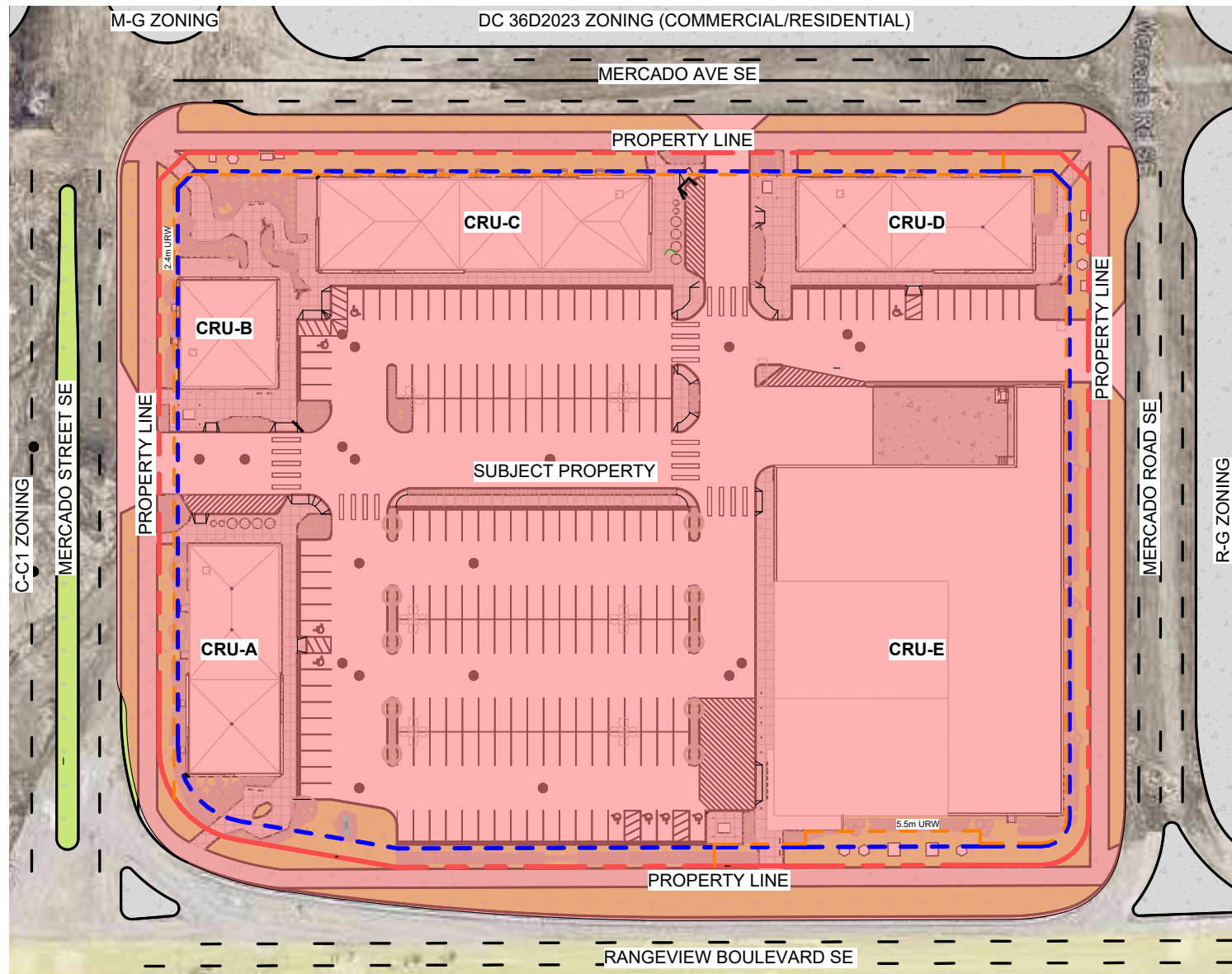
BYLAW ANALYSIS - SITE

THIS SUMMARY IS PREPARED FOR THE REVIEW AND APPROVAL OF THE AUTHORITIES HAVING JURISDICTION. CONTRACTORS ARE NOT TO USE THESE FIGURES FOR CONSTRUCTION PURPOSES. READ IN CONJUNCTION WITH CONTRACT DOCUMENTS

EXISTING SITE INFORMATION:			
MUNICIPAL ADDRESS:	62 MERCADO ST SE, CALGARY, AB, LOT 4, BLOCK 148, PLAN 251 0331		
LEGAL ADDRESS:	16,816.034 m ² (181,006.28 ft ²) (4.2 Acres)		
SITE AREA:	4,768.71m ² (51,330 ft ²), 28.4% COVERAGE		
SITE COVERAGE (PROPOSED):	COMMERCIAL-COMMUNITY 1 (C-C1) DISTRICT		
CURRENT ZONING:	N/A		
PROPOSED ZONING (IF APPLICABLE):	N/A		
PROPOSED BUILDING:			
CRU-A RETAIL:	111 m ² (1,200 ft ²)	CRU-D INSTRUCTIONAL FACILITY:	111 m ² (1,200 ft ²)
CRU-B LICENSED RESTAURANT:	412 m ² (4,442.9 ft ²)	RETAIL:	88 m ² (950 ft ²)
MECH ROOM:	22 m ² (239.2 ft ²)	VETERINARY CLINIC:	335 m ² (3,610 ft ²)
CRU-A MEZZ. AREA:	N/A	MECH ROOM:	24 m ² (260 ft ²)
TOTAL CRU-A AREA:	545 m ² (5,862.1 ft ²)	CRU-D MEZZ. AREA:	N/A
		TOTAL CRU-D AREA:	559 m ² (6,020 ft ²)
CRU-B LICENSED RESTAURANT:			
MECH ROOM:	255 m ² (2,750 ft ²)	CRU-E SUPERMARKET:	2,667.2 m ² (28,710 ft ²)
CRU-B MEZZ. AREA:	17 m ² (183 ft ²)	CRU-E MEZZ. AREA:	N/A
TOTAL CRU-B AREA:	273 m ² (2,933 ft ²)	TOTAL CRU-E AREA:	2,667.2 m ² (28,710 ft ²)
CRU-C INSTRUCTIONAL FACILITY:			
LICENSED RESTAURANT:	196 m ² (2,100 ft ²)		
LIQUOR STORE:	237 m ² (2,550 ft ²)		
CANNABIS:	237 m ² (2,550 ft ²)		
MECH ROOM:	98 m ² (1,050 ft ²)		
CRU-C MEZZ. AREA:	21 m ² (200 ft ²)		
TOTAL CRU-C AREA:	789 m ² (8,450 ft ²)		

REVIEW AS PER 'CITY OF CALGARY LAND USE BYLAW 1P2007', 'NBC - AE 2023', 'COC FIRE DEPT. ACCESS STANDARD' & 'DPS-STD00-0002 V3.0 2022'

CATEGORY	REQUIREMENT OR CONDITION	PROVIDED	REFERENCE
PARCEL AREA	THE MAXIMUM AREA OF A PARCEL IS 3.2 HECTARES.	1.7 Hectares	PART 7, DIV 4, 742
FLOOR AREA RATIO	THE MAXIMUM FLOOR AREA RATIO FOR BUILDINGS IS 1.0	0.27	PART 7, DIV 4, 743
BUILDING HEIGHT	THE MAXIMUM BUILDING HEIGHT IS 10.0m	MAXIMUM 9.6m	PART 7, DIV 4, 744
USE AREA	THE MAXIMUM USE AREA FOR A SUPERMARKET, OR A SUPERMARKET COMBINED WITH ANY OTHER USE, IS 5200.0 SQUARE METRES.	2667.2m ²	PART 7, DIV 4, 746, (2)
SETBACKS	FRONT SETBACK REQUIRED: MIN. 3m REAR SETBACK REQUIRED: MIN. 3m SIDE SETBACK REQUIRED: MIN. 3m	REQUIREMENT MET REQUIREMENT MET REQUIREMENT MET	PART 7, DIV 4, 748
LANDSCAPING IN SETBACK AREA	WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH AN STREET, THE SETBACK MUST: (a) BE A SOFT SURFACED LANDSCAPED AREA- AND (b) HAVE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS: (i) FOR EVERY 35.0 SQUARE METRES; OR (ii) FOR EVERY 50.0 SQUARE METRES, WHERE IRRIGATION IS PROVIDED BY A LOW IRRIGATION SYSTEM	LANDSCAPED AREA: 2,562.49m ² (27,582.41 ft ²) (REFER TO LANDSCAPING DRAWINGS)	PART 7, DIV 4, 751, (2)
PARKING STALLS SIZE	STALL DIMENSIONS: 2.6m X 5.4m DRIVE AISLE: 7.2m BARRIER-FREE STALL DIMENSION: 2.4m WIDTH, 2.4m ACCESS AISLE LOADING STALL DIMENSION: 3.1m X 9.2m FIRE TRUCK ACCESS AISLE: 9.0m	2.6m X 5.4m 7.2m REQUIREMENT MET 3.1m, 9.0m 9.0m	PART 3, DIV 6, 122 3.8.3.23 (1) (a) - (NBC) PART 3, DIV 6, 123 FIRE DEPT. SEC. 3
PARKING STALL COUNTS	MINIMUM NUMBER OF PARKING SPACES - TOTAL PARKING REQUIRED: NOT REQUIRED - BARRIER-FREE: 4 PER 51 TO 100 PARKING STALLS (ONE ADDITIONAL STALL FOR EACH ADDITIONAL INCREMENT OF 100 OR PART THEREOF) - LOADING: N/A	187 STALLS 9 STALLS 3 LOADING SPACE	PART 7, DIV 4, 752 (DELETED) TABLE 3.8.2.5 - (NBC)
REQUIRED BICYCLE PARKING STALLS	ALL OTHER USES IS 5.0 PER CENT OF THE NUMBER OF MOTOR VEHICLE PARKING STALLS - VEHICLE PARKING REQUIRED: 187 STALLS - BICYCLE PARKING REQUIRED: 10 STALLS	10 RACKS, 20 STALLS REFER TO LANDSCAPE	PART 7, DIV 4, 755, (2), (b)
BICYCLE PARKING STALLS DESIGN PARAMETERS	(3) BICYCLE PARKING STALLS MUST NOT INTERFERE WITH A PEDESTRIAN WALKWAY. (4) BICYCLE PARKING STALLS MUST BE SEPARATED FROM MOTOR VEHICLE PARKING STALLS, VISITOR PARKING STALLS OR LOADING STALLS BY 2.0 METRES OR A PHYSICAL BARRIER. (6) A BICYCLE PARKING STALL THAT IS NOT AN INDIVIDUAL LOCKER AND IS ATTACHED TO THE GROUND MUST BE LOCATED AT LEAST 0.6 METRES FROM ANY PHYSICAL BARRIER. (11) THE AREA WHERE BICYCLE PARKING STALLS ARE LOCATED MUST BE ILLUMINATED.	REQUIREMENT MET REFER TO PARKING SCHEDULE	PART 3, DIV 6, 125
ACCESS ROUTE DESIGN	A PORTION OF A ROADWAY OR YARD PROVIDED AS A REQUIRED ACCESS ROUTE FOR FIRE DEPARTMENT USE SHALL: (a) HAVE A CLEAR WIDTH NOT LESS THAN 6M, UNLESS IT CAN BE SHOWN THAT LESSER WIDTH ARE SATISFACTORY (b) HAVE A CENTRE-LINE RADIUS NOT LESS THAN 12m, (c) HAVE AN OVERHEAD CLEARANCE NOT LESS THAN 5m, (d) HAVE A CHANGE OF GRADIENT NOT MORE THAN 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15m. (e) BE DESIGNED TO SUPPORT THE EXPECTED LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT AND BE SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS. (f) HAVE TURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 90M LONG.	REQUIREMENT MET	3.2.5.6 - (NBC)
GARBAGE COLLECTION	CRU-A: 6 BAYS - 6m ³ CRU-B: 3 BAYS - 3m ³ TOTAL: 9 BAYS - 9m ³ REQUIRED CRU-C: 9 BAYS - 9m ³ CRU-D: 3 BAYS - 5m ³ TOTAL: 13 BAYS - 14m ³ REQUIRED CRU-E: 2,667.2 m ² - 8.0m ³ TOTAL: 2,667.2 m ² - 8.0m ³ REQUIRED	10m ³ GARBAGE PROVIDED 10m ³ RECYCLE PROVIDED 8m ³ GREASE PROVIDED 1.3m ³ ORGANIC PROVIDED 10m ³ GARBAGE PROVIDED 10m ³ RECYCLE PROVIDED 8m ³ GREASE PROVIDED 1.3m ³ ORGANIC PROVIDED 5m ³ RECYCLE PROVIDED 1.3m ³ ORGANIC PROVIDED	DSP-STD00-0002 V3.0 2022 6m ³ CAPACITY GARBAGE COMPACTOR IN LOADING AREA
PYLON SIGNAGE	THE FOLLOWING USES ARE DISCRETIONARY USES IN THE COMMERCIAL - COMMUNITY 1 DISTRICT: (b) SIGN - CLASS C: - MAXIMUM SIGN AREA: 9.6 m ² - MAXIMUM SIGN HEIGHT: 6m	PROVIDED UNDER SEPARATE PERMIT	PART 7, DIV 4, 740, (3)



1 SITE CONTEXT
SCALE: 1 : 1000

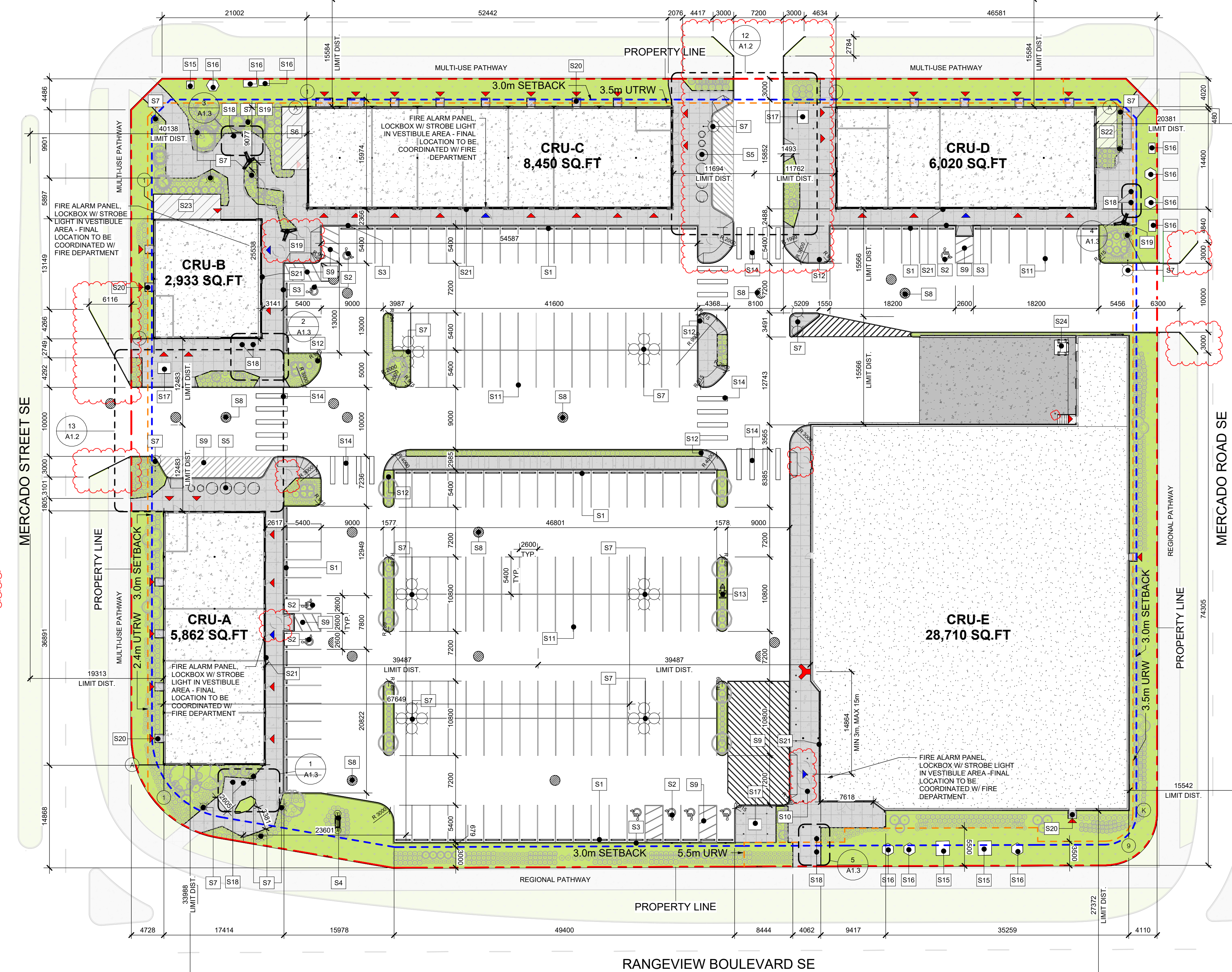
LEGEND: SITE PLAN

	CONCRETE HARDSCAPED AREA & CURBWORK		HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (NEW) - REFER TO ARCH DRAWING 2/A1.2		WHITE PAINTED CROSSWALK (NEW)
	LANDSCAPED AREA		BARRIER-FREE SIGN POST (NEW) - REFER TO ARCH DRAWING 3/A1.2		TRANSFORMER (EXISTING)
	ASPHALT AREA		NEW PYLON SIGN (NEW) - PROVIDED UNDER SEPARATE PERMIT		UTILITY VAULT (EXISTING)
	PROPERTY LINE		UNDERGROUND WASTE CONTAINER SYSTEM - REFER TO ARCH DRAWING 10/A1.2		TRANSFORMER W/ 4 STEEL PIPE BOLLARDS (NEW)
	SETBACK LINE		ALUMINUM PATIO ENCLOSURE WITH SCREENS AND GLAZING (NEW)		BICYCLE PARKING STALL (NEW) - REFER TO LANDSCAPE DRAWING
	URW (UTILITY RIGHT OF WAY)		SITE LIGHTING FIXTURES (NEW) - REFER TO ELECTRICAL DRAWINGS		REINFORCED CAST STONE MODULAR BENCH (NEW)
	BARRIER-FREE ACCESS CURB CUT (NEW)		MANHOLE & CATCH BASIN / DRAIN (NEW) - REFER TO CIVIL		PRECAST CONCRETE PAVERS (NEW)
	PRINCIPAL ENTRANCE		50mm WHITE PAINTED LINES ON ASPHALT (NEW)		BICYCLE PARKING LOCATION SIGNAGE (NEW) A1.3
	ENTRANCES		STEEL PIPE BOLLARD - REFER TO ARCH DRAWING 4/A1.2		PET RELIEF AREA WITH CHAIN LINK FENCE (NEW)
	FIRE DEPARTMENT CONNECTION		50mm WHITE PAINTED PARKING LINES (NEW)		PATIO ENCLOSURE WITH RAILING ONLY (NEW)
	BARRIER-FREE TURNING RADIUS (1.7m)		STOP SIGN POST (NEW)		COMPACTOR AT LOADING AREA WITH MIN. CAPACITY OF 6m ³ (NEW)
	PRECAST WHEEL STOP (NEW) - REFER TO ARCH DRAWING 9/A1.2		FIRE HYDRANT (NEW)		

GENERAL NOTES:

- REFER TO CIVIL PLANS FOR CIVIL SPECIFIC REQUIREMENTS.
- REFER TO SURVEY PLAN FOR PROPERTY LINE AND RIGHT-OF-WAY DIMENSIONS AND OTHER EXISTING CONDITIONS
- READ IN CONJUNCTION WITH ALL CONSULTANT DRAWINGS AND SPECIFICATIONS
- ALL DIMENSIONS ARE TAKEN FROM EDGE OF CURB U.N.O.
- ALL MOTOR VEHICLE SURFACE MATERIAL IS ASPHALT U.N.O.

MERCADO AVE SE



RANGEVIEW BOULEVARD SE

PARKING LEGEND



PARKING SCHEDULE

TYPE	DIMENSIONS	QTY.
TYPICAL STALL 90 DEG.	2.6m x 5.4m	187
BARRIER FREE STALL	2.6m x 5.4m (BF)	9
BICYCLE PARKING RACK	BICYCLE RACK (Calgary Standard - 2008)	10

ROYOP - 62 MERCADO STREET SE

62 MERCADO ST SE,
CALGARY, AB
LOT 4, BLOCK 148, PLAN 251
0331

25-456



NO.	ISSUED FOR	DATE
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2	90% CHECK SET	2025/10/02
3	CLIENT REVIEW	2025/10/27
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6	DETAILED REVIEW 1	2026/05/08
7	DETAILED REVIEW 2	2026/07/28

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SITE PLAN

DATE 2026.07.28	SCALE As indicated
PROJECT NO. 25-456	SHEET NO.
DRAWN BY JA, JY	A1.0

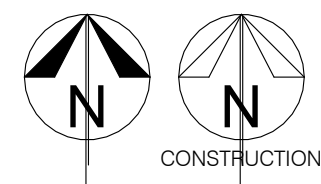
THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING THE WORK. THIS DRAWING IS NOT TO BE SCALED.

MERCADO STREET SE

MERCADO STREET SE

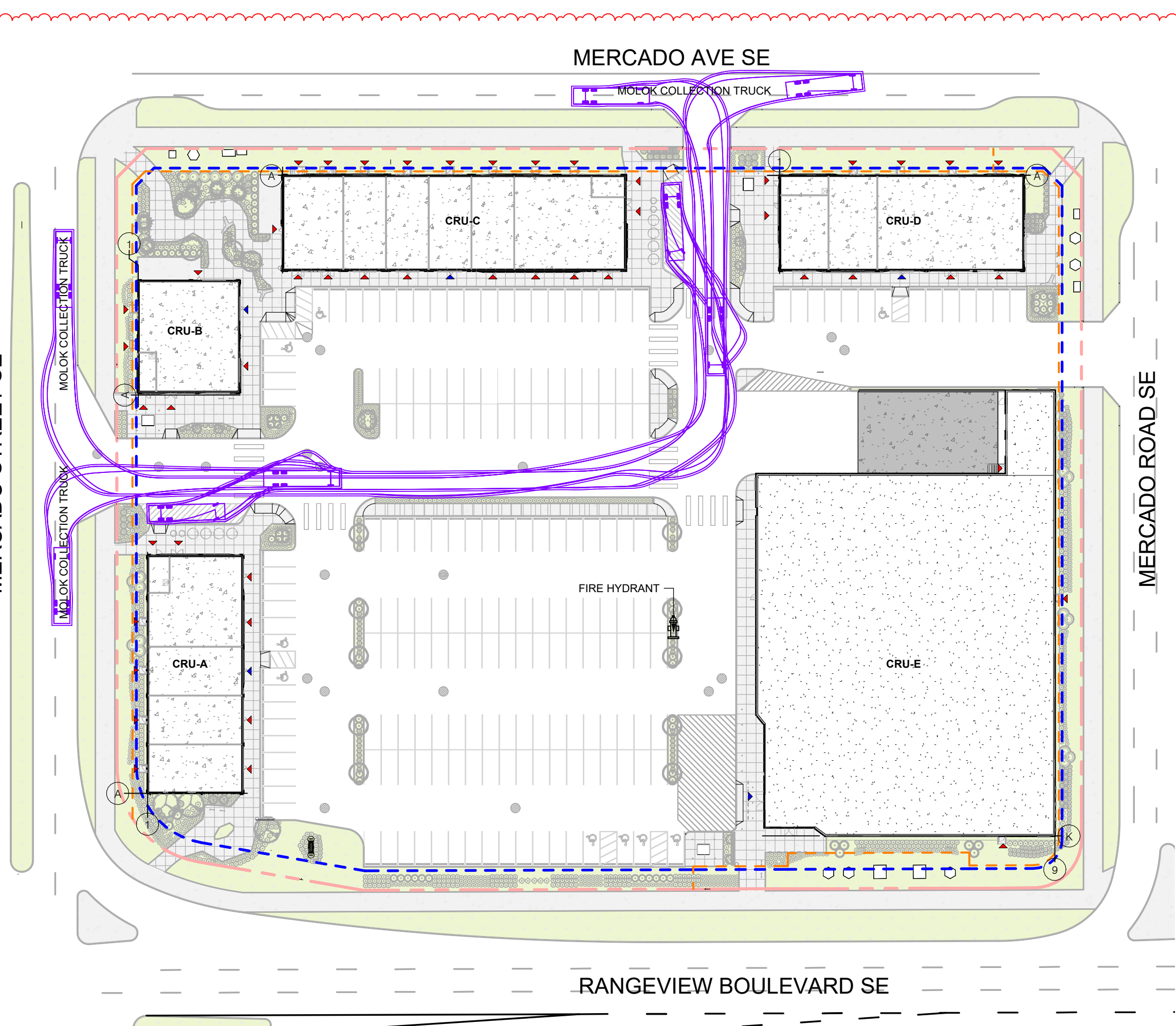


4 WB 67 - TRUCK ROUTE
A1.1 SCALE: 1 : 600

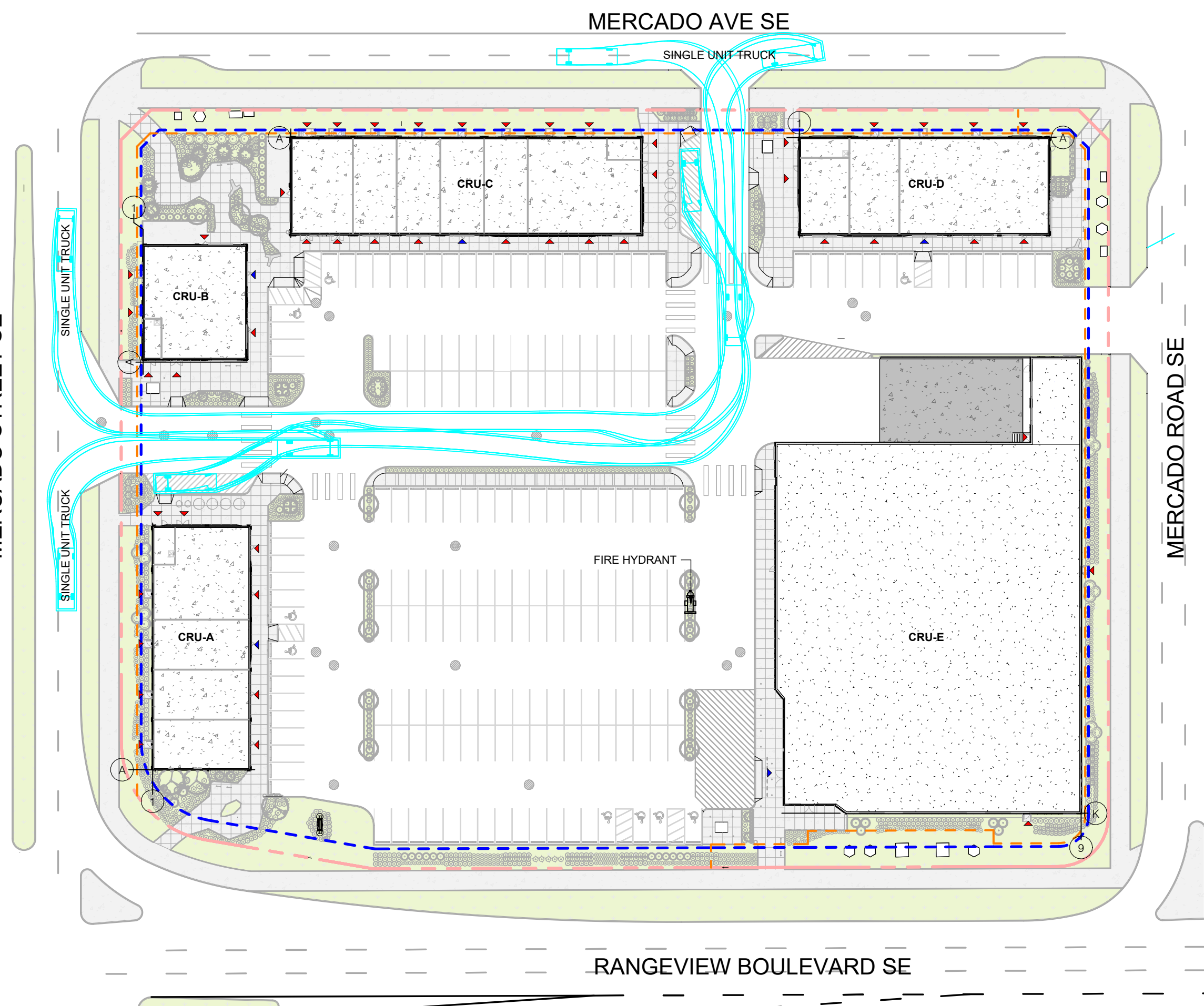
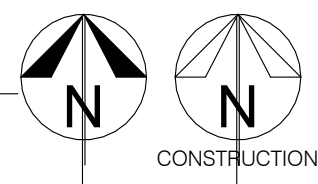


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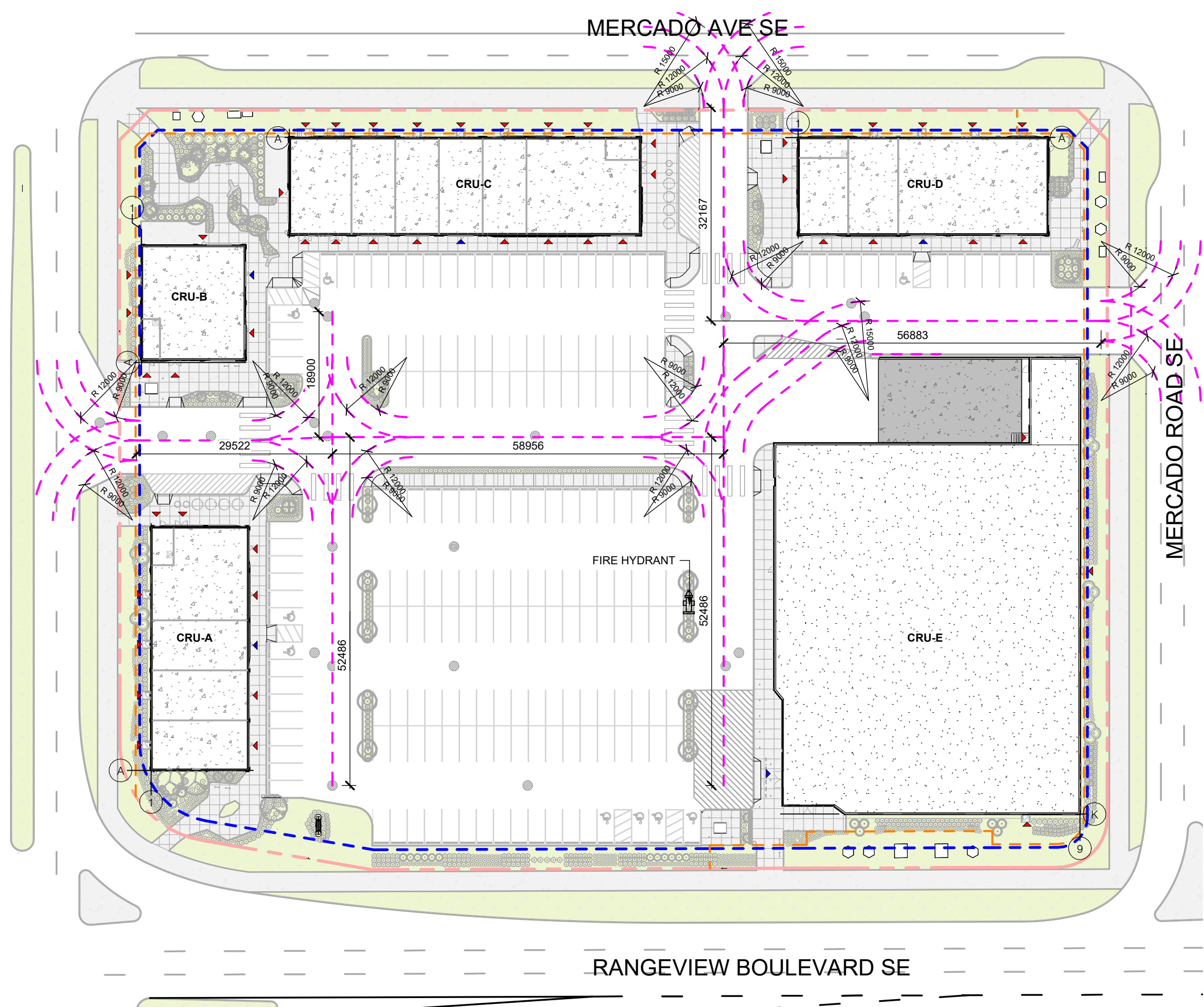
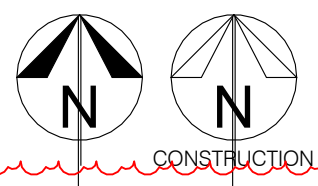
MERCADO STREET SE



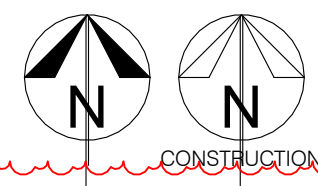
5 UNDERGROUND WASTE CONTAINER SYSTEM
A1.1 SCALE: 1 : 600



1 SINGLE UNIT TRUCK
A1.1 SCALE: 1 : 600



2 FIRE TRUCK ACCESS
A1.1 SCALE: 1 : 600



LEGEND: VEHICLE ACCESS ROUTE PLAN

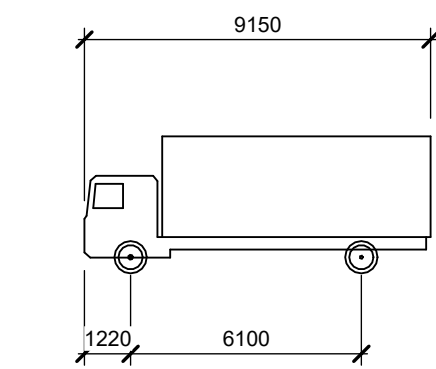
- CONCRETE HARDCAPED AREA & CURBWORK
- LANDSCAPED AREA
- PROPERTY LINE
- SETBACK LINE
- URW (UTILITY RIGHT OF WAY)
- FIRE TRUCK ROUTE
- LOADING TRUCK ROUTE
- UNDERGROUND WASTE CONTAINER TRUCK ROUTE
- TRAILER TRUCK ROUTE
- BARRIER-FREE ACCESS CURB CUT (NEW)
- ENTRANCES
- FIRE HYDRANT
- * ALL VEHICLE SWEEP PATHS INCLUSIVE OF 500mm ENVELOPE

FIRE DEPARTMENT ACCESS STANDARD

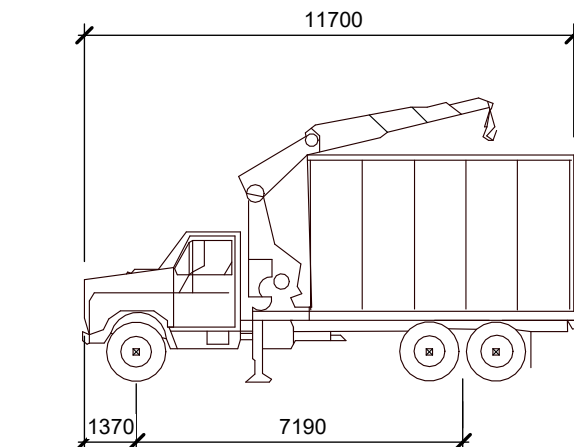
- ACCEPTABLE ROUTE/STREET SURFACE FINISH**
THE STREET/ROUTE SHALL BE DESIGNED TO SUPPORT 38,556 KG (85,000 LBS.) AND BE FINISHED WITH CONCRETE, HEAVY DUTY ASPHALT OR OTHER HARD-SURFACE APPROVED MATERIAL DESIGNED TO PERMIT ACCESSIBILITY. IT SHALL BE MAINTAINED UNDER ALL WEATHER CONDITIONS. TURFSTONE, STRUCTURAL GRASS OR SIMILAR PRODUCTS ARE NOT ACCEPTABLE FINISHES FOR AN EMERGENCY ACCESS ROUTE SURFACE.
- GRADE**
ACCESS ROUTES SHALL HAVE A GRADE OF NOT MORE THAN 8 PER CENT. THIS IS THE MAXIMUM GRADE AT WHICH CALGARY FIRE DEPARTMENT AERIAL UNITS CAN POSITION AND FUNCTION.
- CONNECTIONS**
ALL ACCESS ROUTES, WHETHER EMERGENCY OR SECONDARY, SHALL BE CONNECTED TO A PUBLIC THROUGHFARE AND NOT TO A LANE, ALLEY OR PEDESTRIAN PATHWAY UNLESS APPROVED BY THE FIRE MARSHAL.
- STREETS**
ALL STREETS ARE TO BE NINE METRES (9 M) OR MORE IN WIDTH AS DESCRIBED IN THIS STANDARD (ABC 2006 - DEFINITION OF A STREET). STREET MEANS ANY HIGHWAY, ROAD, BOULEVARD, SQUARE OR OTHER IMPROVED THROUGHFARE 9 M OR MORE IN WIDTH THAT HAS BEEN DEDICATED OR DEEDED FOR PUBLIC USE AND IS ACCESSIBLE TO FIRE DEPARTMENT VEHICLES AND EQUIPMENT.

CFD APPARATUS DIMENSIONS

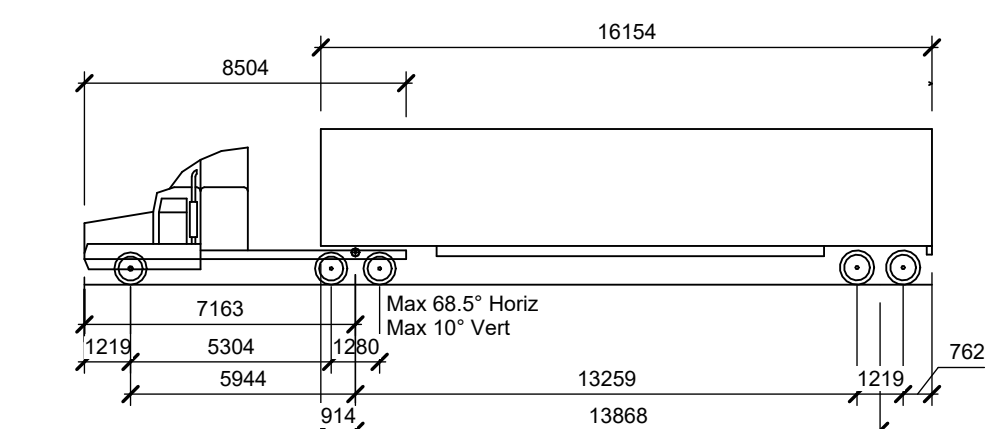
- THE CALGARY FIRE DEPARTMENT CURRENTLY OPERATE THE FOLLOWING APPARATUS:
- ROSENBAUER ENGINE - L 402' X W 100' X H 129'; WB 199"
- SMAEL QUINT - L 494' X W 100' X H 147'; WB 239"
- BRONTO HLA - L 558' X W 100' X H 156'; WB 237"
- HEAVY RESCUE - L 492' X W 100' X H 137'; WB 158"
- HAZ - MAT - L 411' X W 100' X H 127'; WB 215"
- MOBILE COMMAND - L 451' X W 100' X H 145'; WB 246"



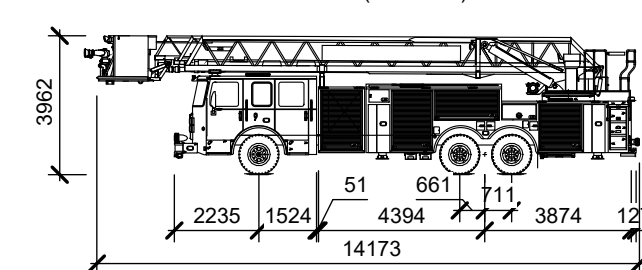
- SU - SINGLE UNIT TRUCK
- OVERALL LENGTH 30,020 ft
- OVERALL WIDTH 8,005 ft
- OVERALL BODY HEIGHT 11,882 ft
- MIN BODY GROUND CLEARANCE 1,368 ft
- MAX TRACK WIDTH 8,005 ft
- LOCK-TO-LOCK TIME 5.00 s
- MAX STEERING ANGLE (VIRTUAL) 28.46°



- MOLOK COLLECTION TRUCK
- OVERALL LENGTH 38,386 ft
- OVERALL WIDTH 8,104 ft
- MIN BODY GROUND CLEARANCE 0,979 ft
- MAX TRACK WIDTH 8,104 ft
- LOCK-TO-LOCK TIME 6.00 s
- MAX STEERING ANGLE (VIRTUAL) 54.0°



- WB-67 - INTERSTATE SEMI-TRAILER
- OVERALL LENGTH 8,500 ft
- OVERALL WIDTH 8,500 ft
- OVERALL BODY HEIGHT 13,500 ft
- MIN BODY GROUND CLEARANCE 1,334 ft
- MAX TRACK WIDTH 8,500 ft
- LOCK-TO-LOCK TIME 6.00 s
- MAX STEERING ANGLE (VIRTUAL) 28.40°



CALGARY FIRE TRUCK (BRONTO HLA)
SCALE: N.T.S

3 VEHICLE ELEVATION & INFO
A1.1

ROYOP - 62 MERCADO STREET SE

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25-456



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VEHICLE ACCESS
ROUTE PLAN

DATE 2026.07.28	SCALE As indicated
PROJECT NO. 25-456	SHEET NO. A1.1
DRAWN BY JA, JY	

The phasing plan shows a large rectangular site bounded by Mercado Ave SE to the north, Rangeview Boulevard SE to the south, Mercado Street SE to the west, and Mercado Road SE to the east. The site is divided into six development phases and three waste collection areas. Phase 1 is a large central area with a red cross-hatch pattern. Phase 2 is a blue cross-hatch area on the west side. Phase 3 is a purple cross-hatch area on the north-west corner. Phase 4 is a green cross-hatch area on the north side. Phase 5 is an orange cross-hatch area on the north-east corner. Phase 6 is a grey cross-hatch area on the south-east corner. Waste Collection Area 1 is located between Phase 2 and Phase 1. Waste Collection Area 2 is located between Phase 4 and Phase 5. Waste Collection Area 3 is located between Phase 5 and Phase 6. The plan includes setbacks of 3.0m and 3.5m, and UTRW (Utility Transfer Right-of-Way) lines of 2.4m, 3.0m, and 5.5m. A north arrow and scale of 1:300 are provided in the bottom left corner.

1 PHASING PLAN
A1.4 SCALE: 1 : 300

SEAL

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SITE PHASING PLAN

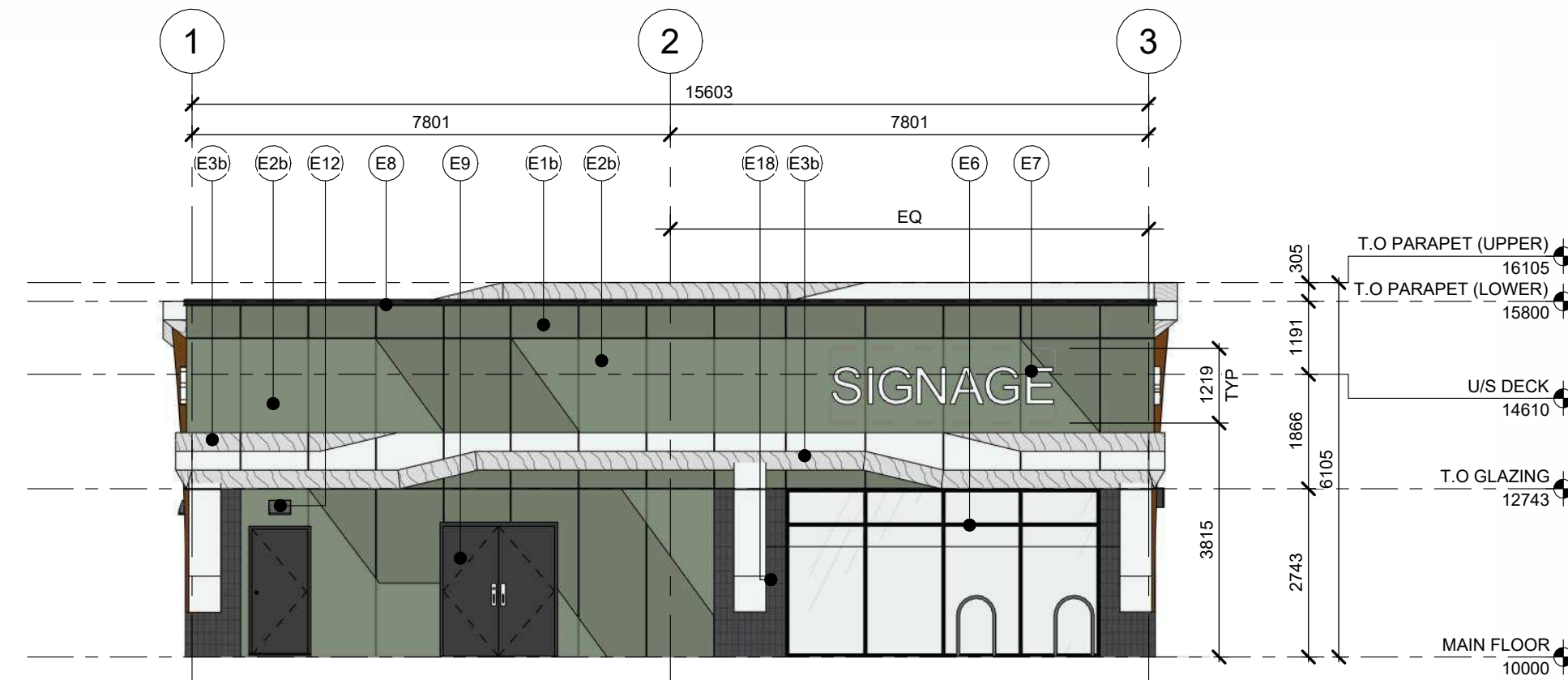
DATE 2026.07.28	SCALE As indicated
PROJECT NO. 25-456	SHEET NO.
DRAWN BY JA, JY	A1.4

LEGEND: MATERIAL FINISH

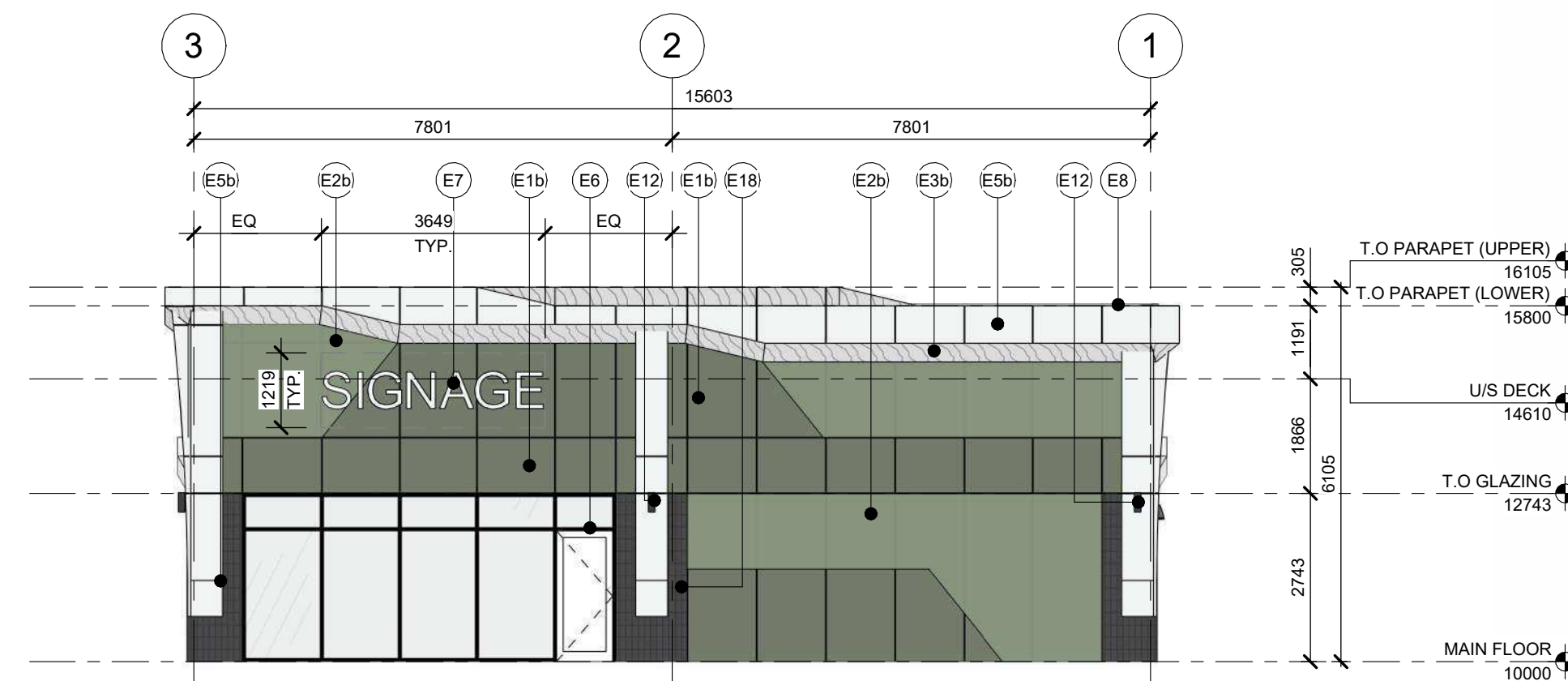
ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SHOP SUBMITTALS AND REVIEW INSTALLATION GUIDELINES.

E174	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, STUCCO TEXTURE, COLOUR: OFF-WHITE (RED), TRIM: BLACK
E175	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, STUCCO TEXTURE, COLOUR: PAINTED MEDIUM TAN, TRIM: BLACK
E204	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, STUCCO TEXTURE, COLOUR: LIGHT RED, TRIM: BLACK
E205	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, STUCCO TEXTURE, COLOUR: PAINTED TAUPE, TRIM: BLACK
E206	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, WOOD GRAIN TEXTURE, COLOUR: WOOD-GRAIN LIGHT, TRIM: COLOUR MATCH
E207	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, WOOD GRAIN TEXTURE, COLOUR: WOOD-GRAIN MEDIUM, TRIM: COLOUR MATCH
E208	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, SMOOTH TEXTURE, COLOUR: CHARCOAL, TRIM: BLACK
E209	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, SMOOTH TEXTURE, COLOUR: OFF-WHITE, TRIM: BLACK
E8	CURTAIN WALL SYSTEM W/ ENTRY DOORS & FRAMES. COLOUR: BLACK, CLEAR GLASS
E7	NEW SIGNAGE BY OTHERS - 3/4" PLYWOOD BACKING IF REQUIRED AND POWER AT ALL LOCATIONS. FINAL CONNECTION BY TENANT - REFER TO ELECTRICAL DRAWINGS
E6	PARAPET CAP FLASHINGS, COLOUR: BLACK
E9	PAINTED STEEL DOORS. COLOUR: MEDIUM GREY
E12	EXTERIOR BUILDING LIGHT - REFER TO ELECTRICAL DRAWINGS
E16	SPLIT FACE CONCRETE BLOCK: COLOUR GREY

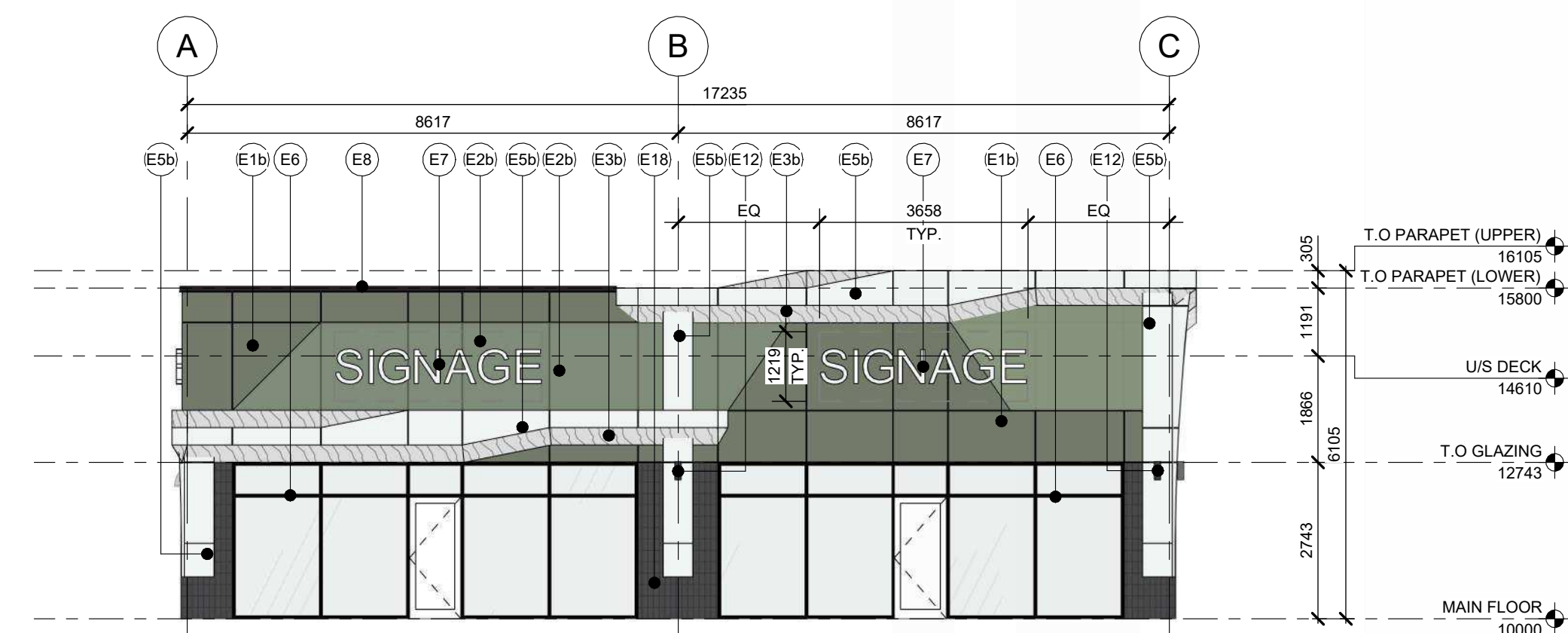
NOTE:
RTU - PARAPET TO PROVIDE SCREENING PER REQUIREMENTS OF LUB IP2007 AS TO NOT BE VISIBLE FROM GROUND LEVEL



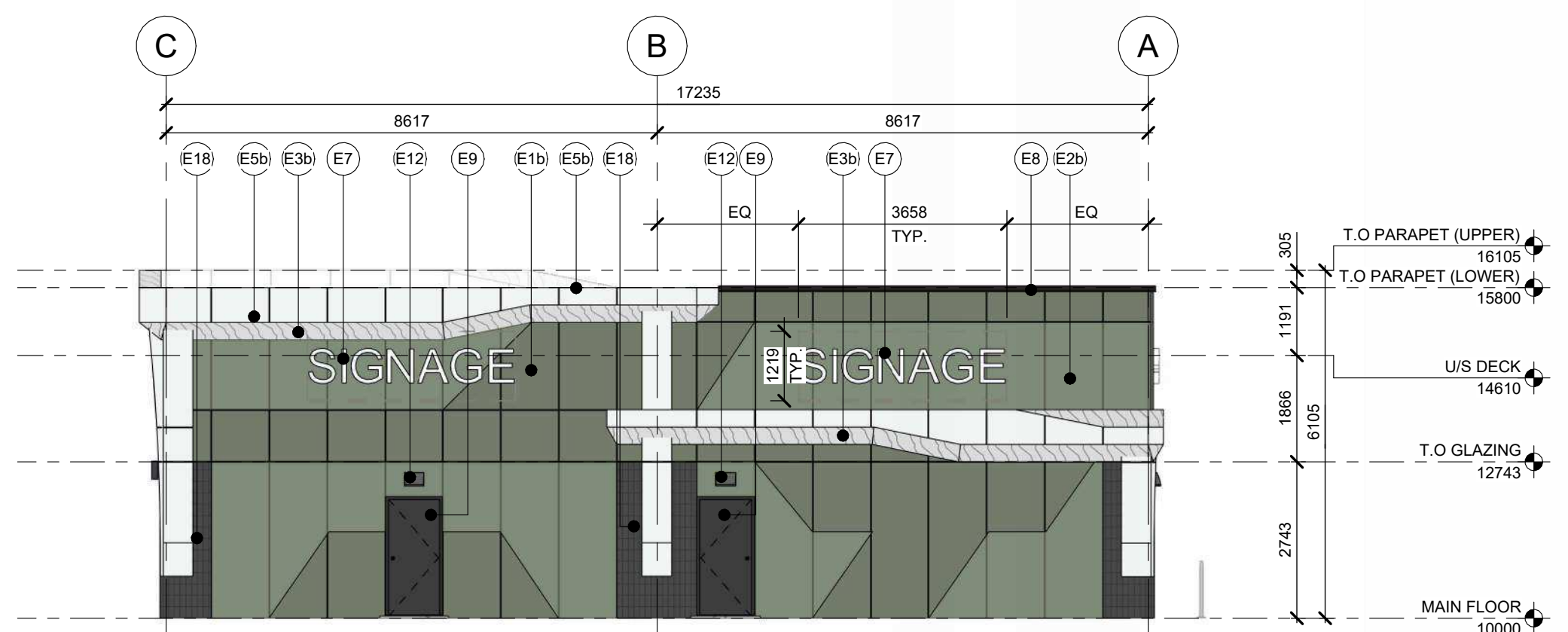
8 WEST BUILDING ELEVATION (CRU B)



6 EAST BUILDING ELEVATION (CRU B)
A4.0 SCALE: 1 : 100



4 SOUTH BUILDING ELEVATION (CRU B)
A4.0 SCALE: 1 : 100



2 NORTH BUILDING ELEVATION (CRU B)
A4.0 SCALE: 1:100

25-456

[illegible]

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ELEVATIONS (CRU A & B)

DATE 2026.07.28	SCALE As indicated
PROJECT NO. 25-456	SHEET NO. A4.0
DRAWN BY JA, JY	

A4.0

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LEGEND: MATERIAL FINISH

ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SHOP SUBMITTALS AND REVIEW INSTALLATION GUIDELINES.

E1c	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, STUCCO TEXTURE, COLOUR: PAINTED MEDIUM GREY, TRIM: BLACK
E2c	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, STUCCO TEXTURE, COLOUR: PAINTED LIGHT BLUE, TRIM: BLACK
E3c	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, WOOD GRAIN TEXTURE, COLOUR: WOOD-GRAIN LIGHT, TRIM: COLOUR MATCH
E5c	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, SMOOTH TEXTURE, COLOUR: CHARCOAL, TRIM: BLACK
E6	CURTAIN WALL SYSTEM W/ ENTRY DOORS & FRAMES, COLOUR: BLACK, CLEAR GLASS
E7	NEW SIGNAGE BY OTHERS - 3/4" PLYWOOD BACKING IF REQUIRED AND POWER AT ALL LOCATIONS. FINAL CONNECTION BY TENANT - REFER TO ELECTRICAL DRAWINGS
E8	PARAPET CAP FLASHINGS, COLOUR: BLACK
E9	PAINTED STEEL DOORS, COLOUR: MEDIUM GREY
E12	EXTERIOR BUILDING LIGHT - REFER TO ELECTRICAL DRAWINGS
E18	SPLIT FACE CONCRETE BLOCK, COLOUR GREY

NOTE:
RTU - PARAPET TO PROVIDE SCREENING PER REQUIREMENTS OF LUB IP2007 AS NOT TO BE VISIBLE FROM GROUND LEVEL

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[illegible]

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ELEVATIONS (CRU C)

DATE 2026.07.28	SCALE As indicated
PROJECT NO. 25-456	SHEET NO.
DRAWN BY JA, JY	A4.1

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LEGEND: MATERIAL FINISH	
ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SHOP SUBMITTALS AND REVIEW INSTALLATION GUIDELINES.	
E14	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, STUCCO TEXTURE, COLOUR: PAINTED LIGHT TAUPE, TRIM: BLACK
E24	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, STUCCO TEXTURE, COLOUR: PAINTED LIGHT GREY, TRIM: BLACK
E34	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, WOOD GRAIN TEXTURE, COLOUR: WOOD-GRAN MEDIUM, TRIM: COLOUR MATCH
E4	METAL STAIRS, COLOUR: MEDIUM GREY
E54	FIBRE CEMENT CLADDING W/ VERTICAL REVEALS, SMOOTH TEXTURE, COLOUR: OFF-WHITE, TRIM: BLACK
E6	CURTAIN WALL SYSTEM W/ ENTRY DOORS & FRAMES, COLOUR: BLACK, CLEAR GLASS
E7	NEW SIGNAGE BY OTHERS - 3/4" PLYWOOD BACKING IF REQUIRED AND POWER AT ALL LOCATIONS. FINAL CONNECTION BY TENANT - REFER TO ELECTRICAL DRAWINGS
E8	PARAPET CAP FLASHINGS, COLOUR: BLACK
E9	PAINTED STEEL DOORS, COLOUR: MEDIUM GREY
E10	STEEL FRAME CANOPY, COLOUR: CHARCOAL

NOTE:
RTU - PARAPET TO PROVIDE SCREENING PER REQUIREMENTS OF LUB IP2007 AS TO NOT BE VISIBLE FROM GROUND LEVEL

[illegible]

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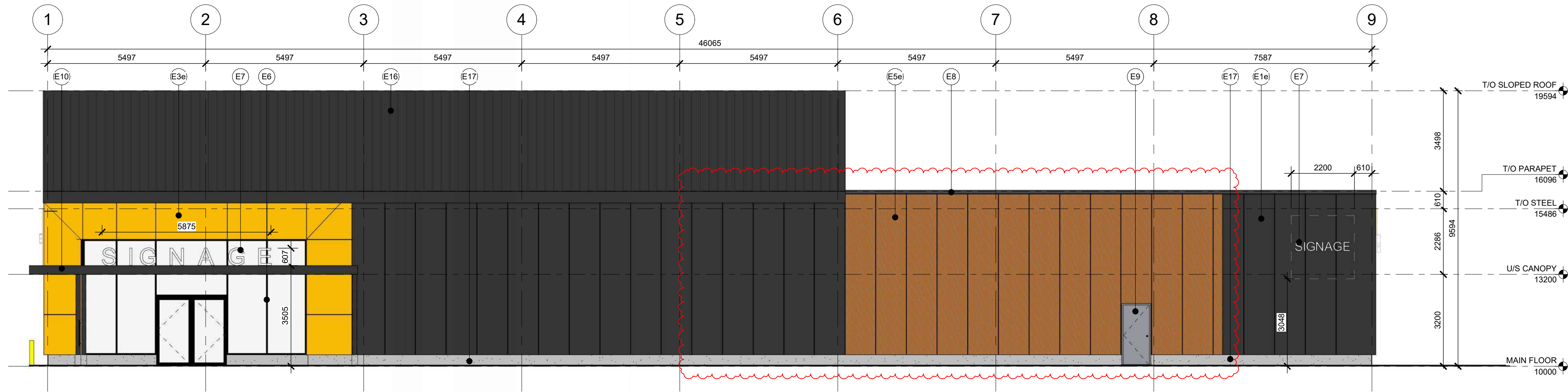
ELEVATIONS (CRU D)

DATE 2026.07.28	SCALE As indicated
PROJECT NO. 25-456	SHEET NO. A4.2
DRAWN BY JA, JY	

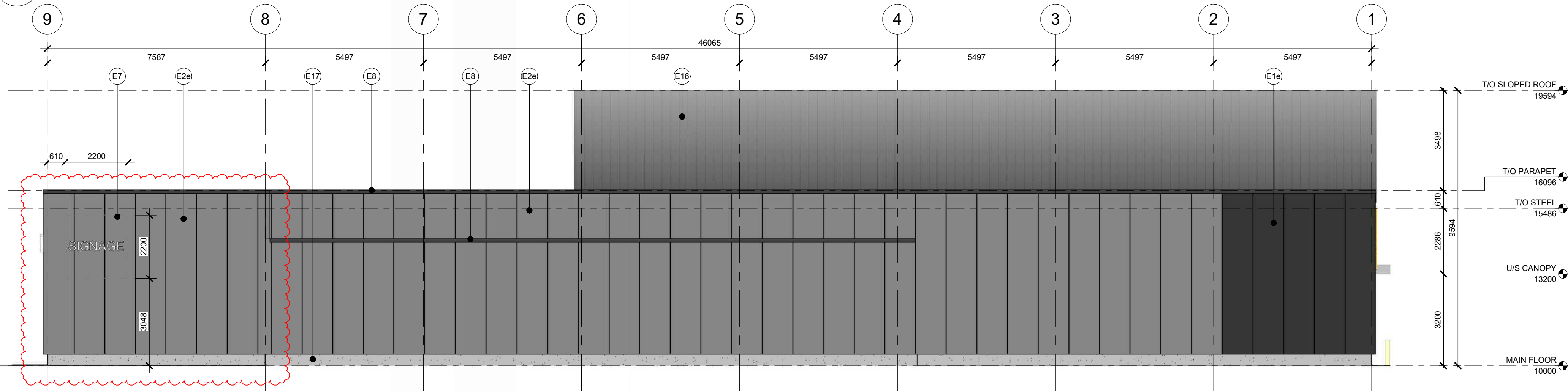
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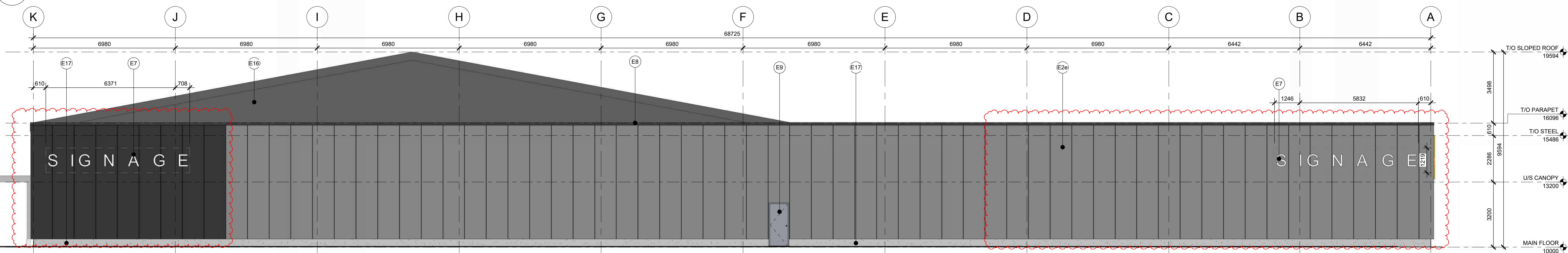
THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT PRIOR TO COMMENCING THE WORK. THIS DRAWING IS NOT TO BE SCALED.



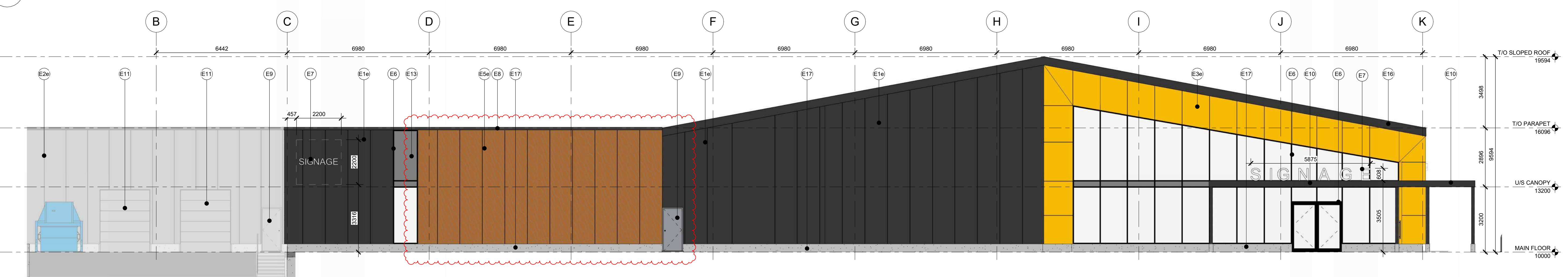
4 CONST. EAST BUILDING ELEVATION (CRU E)
A4.3 SCALE: 1 : 100



3 CONST. WEST BUILDING ELEVATION (CRU E)
A4.3 SCALE: 1 : 100



2 CONST. NORTH BUILDING ELEVATION (CRU E)
A4.3 SCALE: 1 : 100



1 CONST. SOUTH BUILDING ELEVATION (CRU E)
A4.3 SCALE: 1 : 100

LEGEND: MATERIAL FINISH	
ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SHOP SUBMITTALS AND REVIEW INSTALLATION GUIDELINES	
(E16)	VERTICAL METAL SIDING, COLOUR: CHARCOAL
(E29)	METAL PANEL, COLOUR: MEDIUM GREY
(E39)	ALUMINUM COMPOSITE MATERIAL PANELS, COLOUR: YELLOW
(E59)	COMPOSITE MATERIAL PANELS, COLOUR: WOOD GRAIN
(E8)	CURTAIN WALL SYSTEM W/ ENTRY DOORS & FRAMES, COLOUR: BLACK, CLEAR GLASS
(E7)	NEW SIGNAGE BY OTHERS - 3/4" PLYWOOD BACKING IF REQUIRED AND POWER AT ALL LOCATIONS. FINAL CONNECTION BY TENANT - REFER TO ELECTRICAL DRAWINGS
(E8)	PARAPET CAP FLASHINGS, COLOUR: BLACK
(E9)	PAINTED STEEL DOORS, COLOUR: MEDIUM GREY
(E10)	STEEL FRAME CANOPY, COLOUR: CHARCOAL
(E11)	PRE-FINISHED OVERHEAD DOORS, COLOUR: WHITE
(E19)	SPANDREL PANELS, COLOUR: MEDIUM GREY
(E18)	METAL ROOFING, COLOUR: CHARCOAL
(E17)	EXPOSED CONCRETE FOUNDATION
NOTE: RTU - PARAPET TO PROVIDE SCREENING PER REQUIREMENTS OF LUB IP2007 AS TO NOT BE VISIBLE FROM GROUND LEVEL	

LIMITING DISTANCE (CRU E)			
FACADE	LIMITING DISTANCE	EXPOSED BUILDING FACE	ALLOWABLE OPENINGS
CONST. EAST (CRU E)	27.3m	283 m²	100%
CONST. NORTH (CRU E)	15.5m	378 m²	100%
CONST. SOUTH (CRU E)	39.4m	378 m²	100%
CONST. WEST (CRU E)	15.6m	257 m²	100%

ROYOP - 62 MERCADO STREET SE

62 MERCADO ST SE,
CALGARY, AB
LOT 4, BLOCK 148, PLAN 251
0331

25-456



NO.	ISSUED FOR	DATE
1	50% CHECK SET	2025/09/16
2	90% CHECK SET	2025/10/02
3	CLIENT REVIEW	2025/10/27
4	DP SUBMISSION	2025/11/07
5	DP APPLICATION COMMENTS	2026/03/13
6	DETAILED REVIEW 1	2026/05/08
7	DETAILED REVIEW 2	2026/07/28

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ELEVATIONS (CRU E)

DATE 2026.07.28	SCALE As indicated
PROJECT NO. 25-456	SHEET NO.
DRAWN BY JA, JY	A4.3

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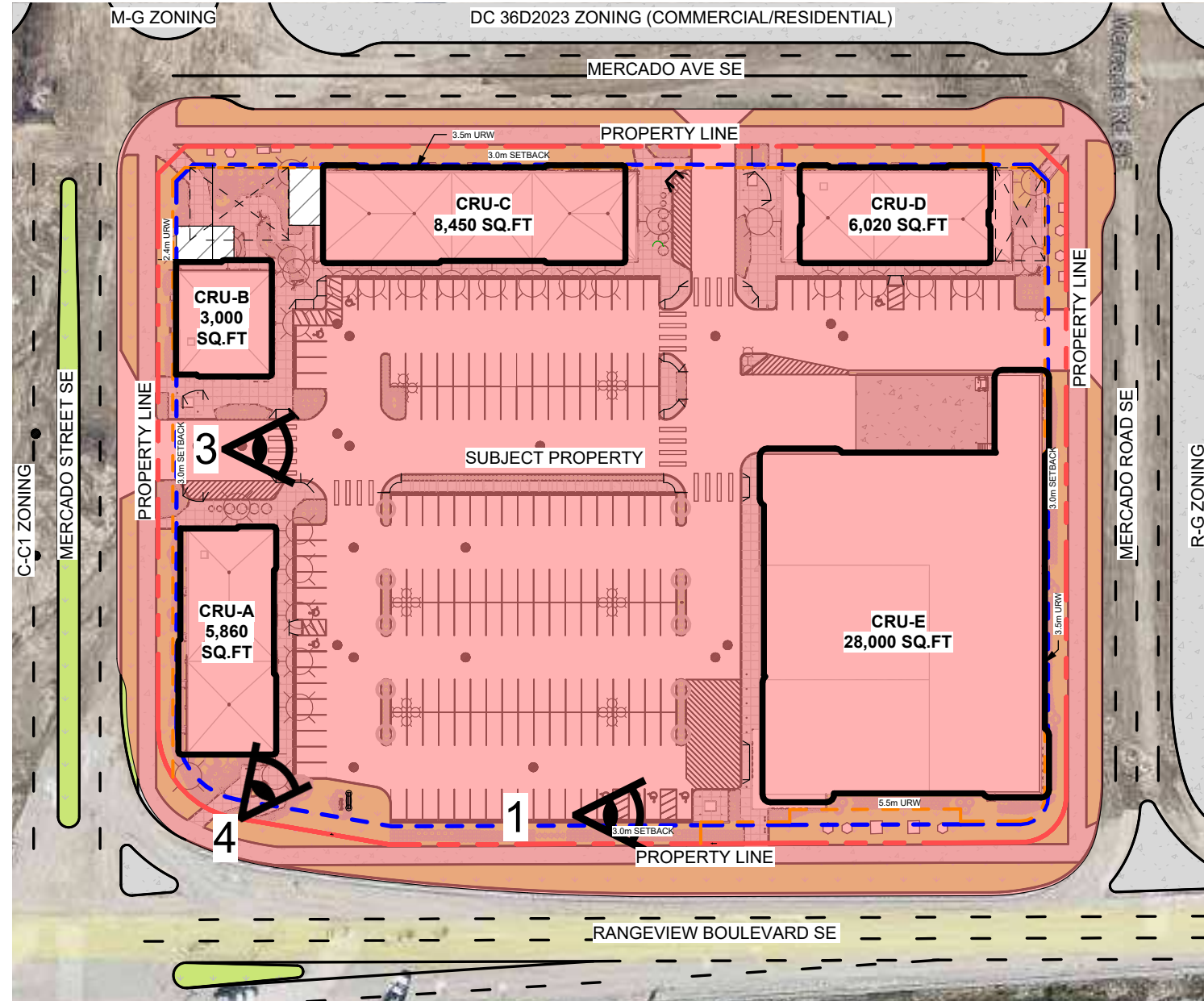
3 SITE PHOTO (W to E)
A6.0



1 SITE PHOTO (S to W)
A6.0



4 SITE PHOTO (SW to NE)
A6.0



2 PHOTO KEY PLAN
A6.0

ROYOP - 62 MERCADO STREET SE

62 MERCADO ST SE,
CALGARY, AB
LOT 4, BLOCK 148, PLAN 251
0331

25-456



NO.	ISSUED FOR	DATE
1	50% CHECK SET	2025/09/16
2	90% CHECK SET	2025/10/02
3	CLIENT REVIEW	2025/10/27
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5	DP APPLICATION COMMENTS	2026/03/13
6	DETAILED REVIEW 1	2026/05/08
7	DETAILED REVIEW 2	2026/07/28

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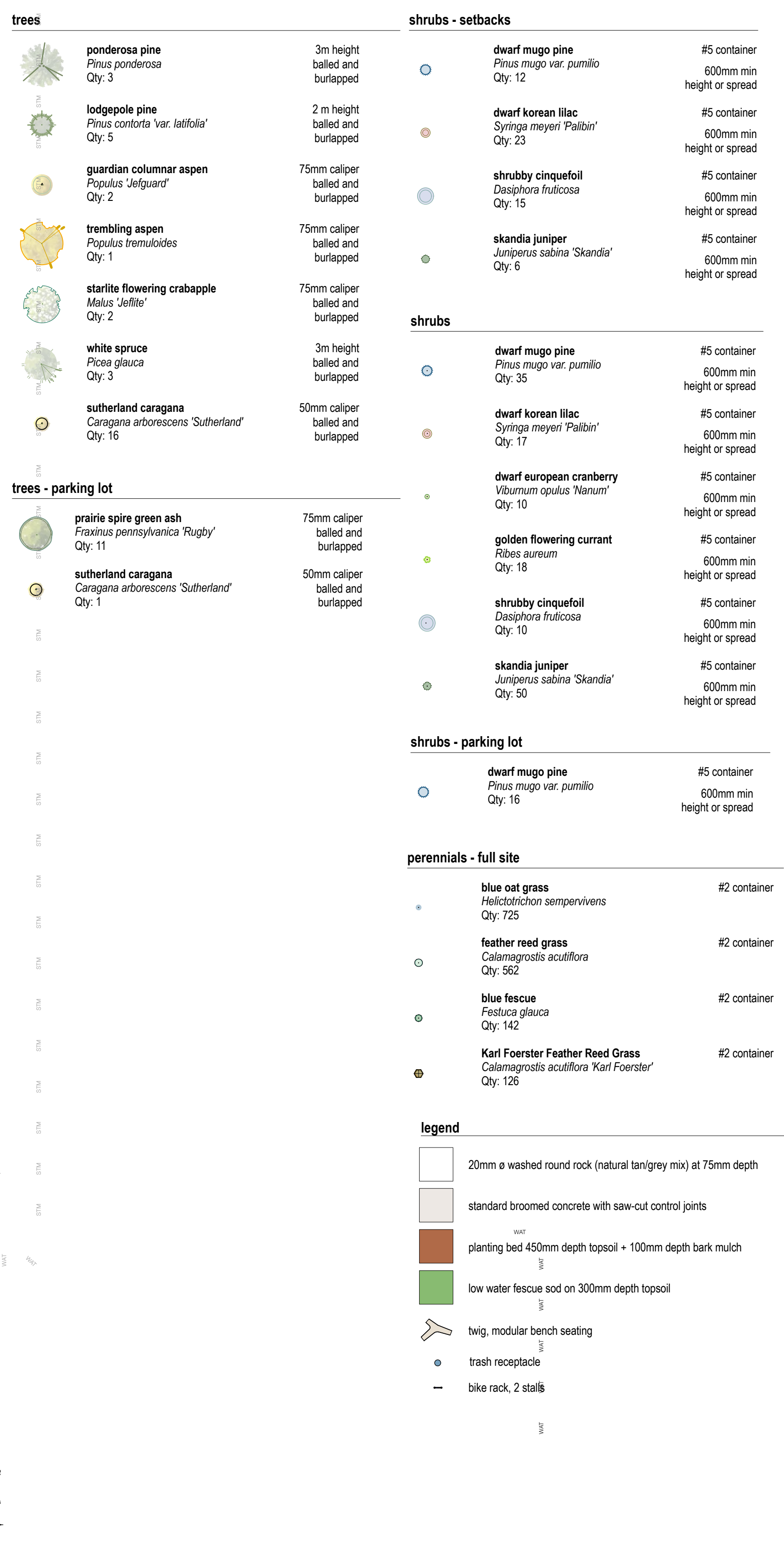
Info@neotericarchitecture.ca

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SITE PHOTOS

DATE 2026.07.28	SCALE As indicated
PROJECT NO. 25-456	SHEET NO.
DRAWN BY JA, JY	A6.0



notes

1. This drawing is copyright © 818 studio ltd., and shall not be reproduced, revised, transmitted and / or utilized by any third party outside of the Owner without written permission from 818 studio ltd.
2. Do not scale drawings.
3. Refer to Civil drawings for all grading information.
4. All walkways are plain concrete unless noted otherwise.
5. All landscape areas to be watered with a low water irrigation system whereby water delivery is confined to the tree + shrub areas.
Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
6. All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.

7. Enmax Ground Disturbance Guidelines to be followed; no shrubs with a root deeper than 0.75m within URW.

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE

13	new arch base - ENMAX revisions	2026-07-24		lk
12	base update	2026-05-08		pmt
11	base update	2026-04-22		lk
10	base update	2026-03-26		pt
9	civil base update	2026-03-12		bhm
8	base update	2026-03-09		bhm
7	base update	2026-03-03		bhm
6	base update	2025-11-06		pt
5	base update	2025-10-23		pt
4	civil base update	2025-10-23		pt
	number / revision	date	by	approved
3	re-issued for DTR response			2026-07-27
2	re-issued for DTR response			2026-05-08
1	issued for DP			2025-11-07
	issued for			date (y.m.d)

project

mercado (62)
development - east

drawing

landscape plan

drawn	approved
_____	_____
_____ bhm	_____ xxx
checked	project number
_____	_____
_____ xxx	_____ 0151.6
date	sheet
_____ Y/M/D	DPL1
scale	
_____ as noted	

DPL1

land use bylaw landscape requirements		
City of Calgary Zoning:	C-C1	
total parcel area	14,353.70 m2	
landscape setback areas		
3.0m front setback area: mercado avenue (north)	431.16 m2	
3.0m rear setback area: mercado road (east)	324.53 m2	
3.0m side setback area: ringview blvd (south)	436.19 m2	
3.0m side setback area: mercado street (west)	301.09 m2	
total setback area	1492.97 m2	
<i>note: low irrigation system to be utilized per 751.2b(1) 1 + 2 shrubs for every 50m2 of setback area</i>		
total number of trees required in setback areas	required	provided
3.0m front setback area: mercado avenue (north)	9	0*
3.0m rear setback area: mercado road (east)	6	0*
3.0m side setback area: ringview blvd (south)	9	0*
3.0m side setback area: mercado street (west)	6	0*
	trees in setback	0
trees on site (less parking lot + setback areas)	30	42
	total trees	42
<i>* due to utility right of way in north, east, and west setbacks, required trees have been planted in other areas on site</i>		
total number of shrubs required in setback areas	required	provided
3.0m front setback area: mercado avenue (north)	17	17
3.0m rear setback area: mercado road (east)	13	13
3.0m side setback area: ringview blvd (south)	17	17
3.0m side setback area: mercado street (west)	12	12
total shrubs in setback	59	59

total deciduous tree breakdown (75% of total trees)		required	provided
large trees (50% min 75mm cal)	16	16	16
small trees (50% min 50mm cal)	16	16	17
total deciduous trees	32	32	33
total site coniferous tree breakdown (25% of total trees)		required	provided
large trees (50% 3.0m ht min)	5	5	5
small trees (50% 2.0m ht min)	5	5	6
total coniferous trees	10	10	11
	total trees on site	42	44
parking lot total area* (including drive aisles, parking stalls & vehicular access) 7,443.81			
		required	provided
parking lot landscaped areas (0.15 m ² for every 1.0 m ² of total surface area)		1,116.54	1,706.73
required parking lot landscaped start/end of parking rows (1 tree each)		8	6
parking strips (1 tree per 15.0m of length)		4	4
	total trees in parking lot	12	12
required shrubs parking lot islands start/end of parking rows (2 shrubs each)			
shrubs in strips + landscaped areas around parking lot perimeter		16	16
	total shrubs in parking lot	16	33
total shrubs planted on site (less parking lot + setback planting requirements)		116	116
total shrubs on site		128	149

total number of shrubs required in setback areas	required	provided
3.0m front setback area: mercado avenue (north)	17	17
3.0m rear setback area: mercado road (east)	13	13
3.0m side setback area: rangeview blvd (south)	17	17
3.0m side setback area: mercado street (west)	12	12
total shrubs in setback	59	59