

# 25.013 SORAH ERIN WOODS

## ISSUED FOR DETAILED REVIEW

FEBRUARY 13, 2026

### DRAWING LIST:

DP.601 SITE RENDER

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E101 ELECTRICAL PLAN



ARTISTIC RENDERING FOR REFERENCE ONLY

### PROJECT INFORMATION:

#### PARCEL ADDRESS:

LEGAL: L: 7, B: 15, P: 2412090  
 MUNICIPAL: 295 ERIN WOODS DR S.E, CALGARY, AB  
 COMMUNITY: ERIN WOODS

ZONING: MC-G

#### PROPOSED GROSS BUILDING AREA:

BUILDING 1 486.41 SQ.M. / 5,235.67 SQ.FT.  
 BUILDING 2 675.46 SQ.M. / 7,270.59 SQ.FT.  
 BUILDING 3 738.93 SQ.M. / 7,953.74 SQ.FT.  
 BUILDING 4 868.85 SQ.M. / 9,352.23 SQ.FT.  
 BUILDING 5 870.81 SQ.M. / 9,373.28 SQ.FT.  
 BUILDING 6 878.98 SQ.M. / 9,461.29 SQ.FT.  
 BUILDING 7 797.81 SQ.M. / 8,587.56 SQ.FT.  
 BUILDING 8 854.170 SQ.M. / 854.170 SQ.FT.

TOTAL: 5,377.01 SQ.M. / 57,877.65 SQ.FT.

### BYLAW REGULATIONS:

#### BUILDING SETBACKS:

FRONT (SOUTH) 3.0m  
 SIDE (WEST) 3.0m  
 REAR (NORTH) 3.0m  
 SIDE (EAST) 1.2m

#### PARCEL COVERAGE:

PARCEL AREA: 7,125.99 SQ.M. / 76,746.68 SQ.FT.

BUILDING 1 FOOT PRINT: 172.24 SQ.M. / 1,854.03 SQ.FT.  
 BUILDING 2 FOOT PRINT: 262.54 SQ.M. / 2,826.00 SQ.FT.  
 BUILDING 3 FOOT PRINT: 311.04 SQ.M. / 3,348.00 SQ.FT.  
 BUILDING 4 FOOT PRINT: 311.04 SQ.M. / 3,348.00 SQ.FT.  
 BUILDING 5 FOOT PRINT: 311.04 SQ.M. / 3,348.00 SQ.FT.  
 BUILDING 6 FOOT PRINT: 273.29 SQ.M. / 2,941.70 SQ.FT.  
 BUILDING 7 FOOT PRINT: 79.35 SQ.M. / 854.17 SQ.FT.  
 BUILDING 8 FOOT PRINT: 1,720.56 SQ.M. / 18,519.90 SQ.FT.

#### DENSITY:

PROPOSED: 60 UNITS / 7,130 SQ.M. (.713 HA)  
 PROPOSED DENSITY: 84 UNITS PER HECTARE  
 UNIT COUNT: 60

#### AMENITY SPACE:

MINIMUM REQUIRED: 5.0 SQ.M. / 53.8 SQ.FT. / UNIT

PROPOSED: PRIVATE AMENITY(5.0 SQ.MX60UNIT): 300 SQ.M. / 3,228 SQ.FT. /UNIT

COMMON AMENITY(INDOOR): 362.2 SQ.M. / 3,898.9 SQ.FT.  
 COMMON AMENITY(OUTDOOR): 460.4 SQ.M. / 4,955.6 SQ.FT.  
 TOTAL COMMON AMENITY: 822.6 SQ.M. / 8,854.5 SQ.FT.

TOTAL AMENITY SPACE: 1,122.60 SQ.M. / 12,082.49 SQ.FT

#### VEHICULAR PARKING:

REQUIRED RESIDENTIAL STALLS  
 0.625 STALLS / UNIT 38 STALLS REQUIRED

PROVIDED STALLS:  
 RESIDENTIAL STALLS 39 STALLS

TOTAL PARKING STALLS: 39 STALLS PROPOSED

#### BICYCLE PARKING:

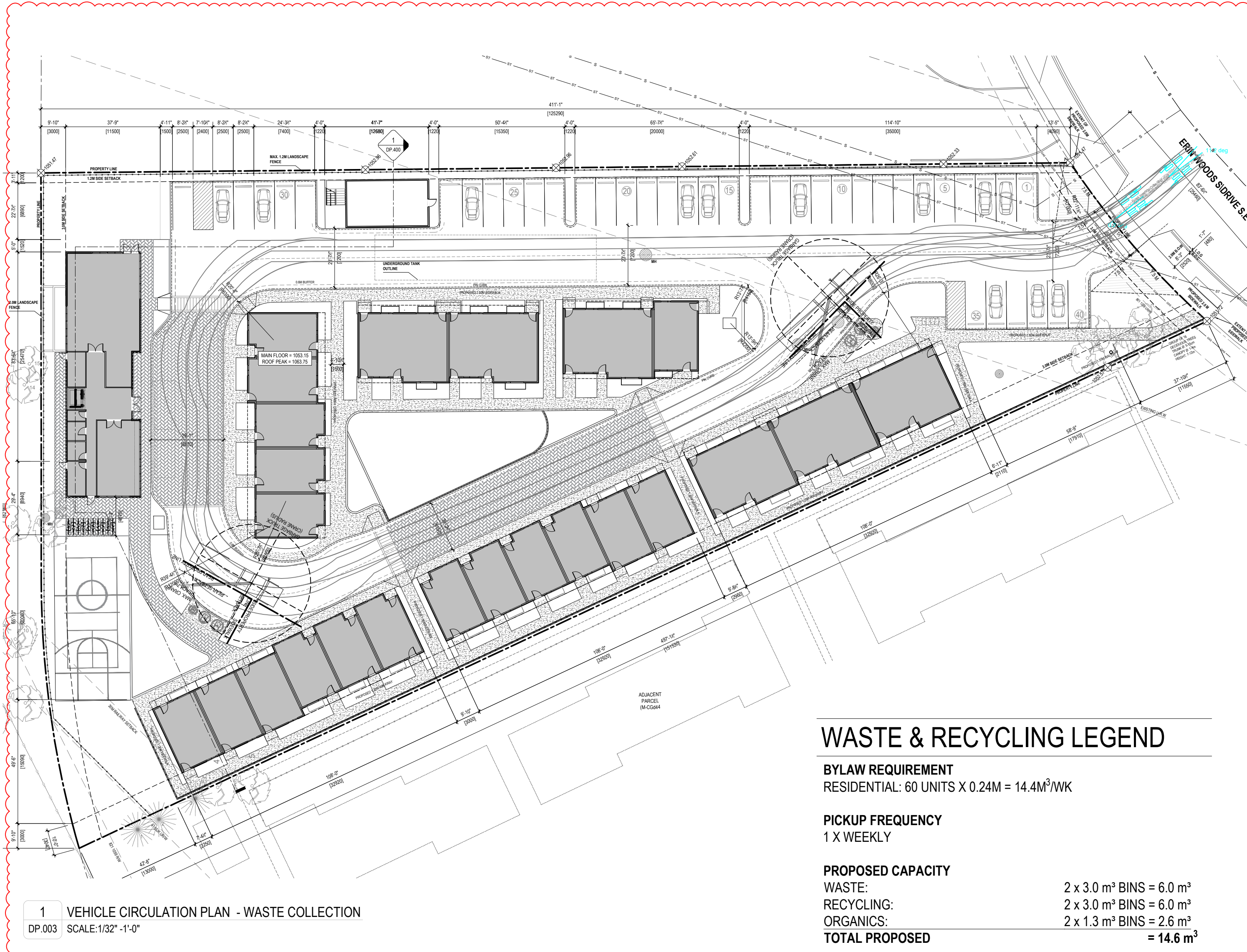
MINIMUM REQUIRED:  
 1.0 CLASS 1 BICYCLE STALLS / UNIT 60 UNITS x 1.0 = 60 STALLS REQUIRED  
 64 STALLS PROVIDED

0.1 CLASS 2 BICYCLE STALLS / UNIT 60 UNITS x 0.1 = 6 STALLS REQUIRED  
 8 STALLS PROVIDED









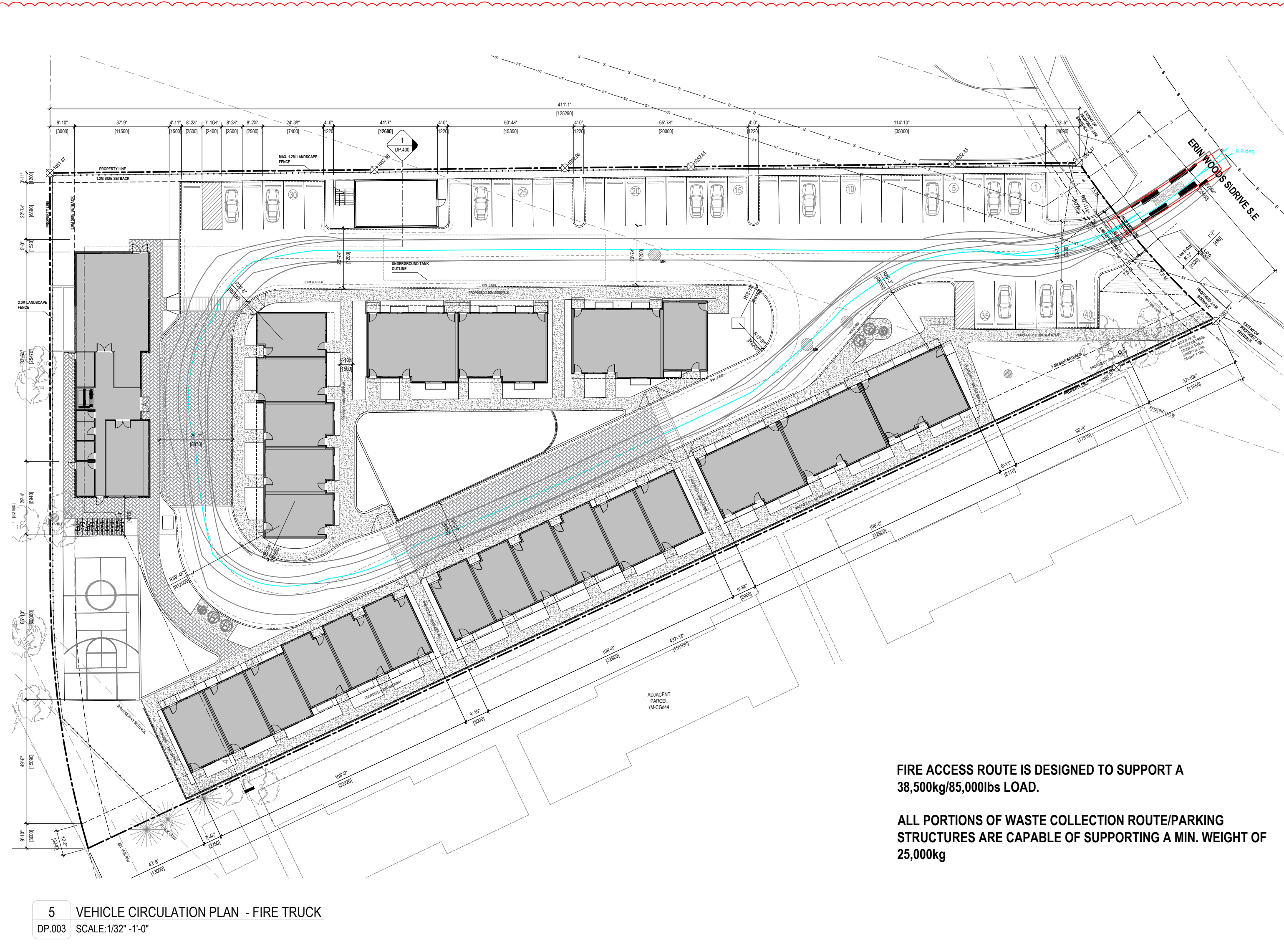
**WASTE & RECYCLING LEGEND**

**BYLAW REQUIREMENT**  
RESIDENTIAL: 60 UNITS X 0.24M = 14.4M<sup>2</sup>/WK

**PICKUP FREQUENCY**  
1 X WEEKLY

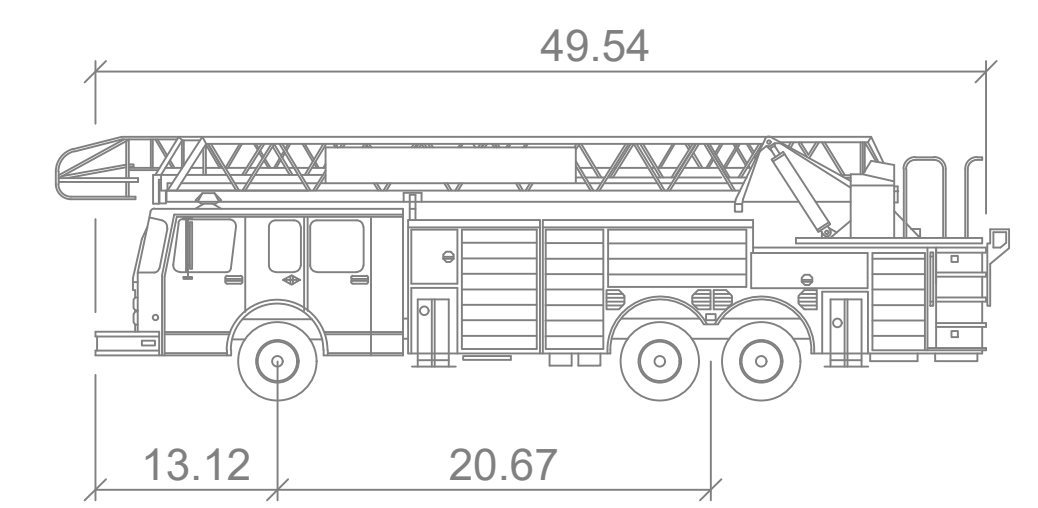
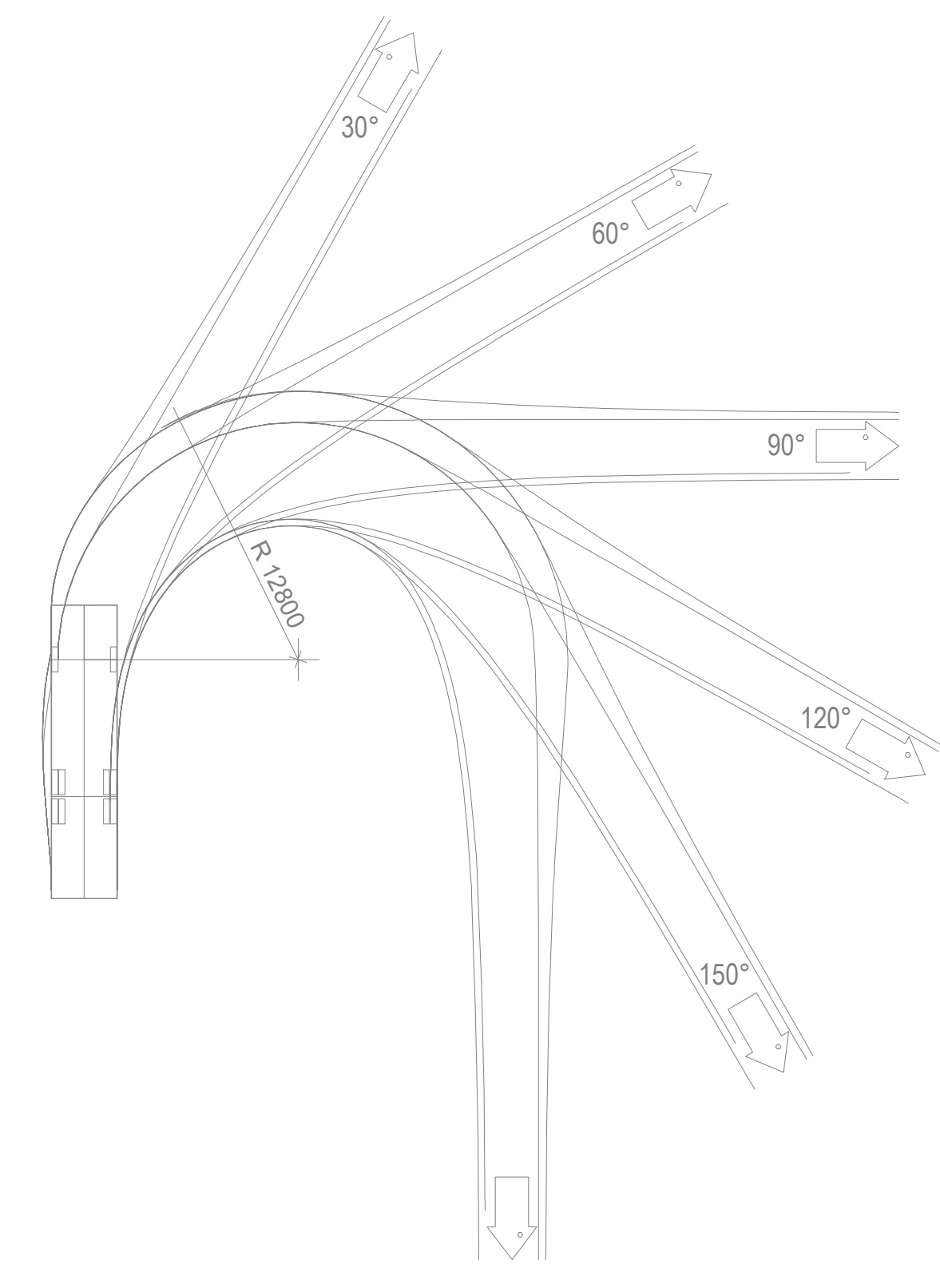
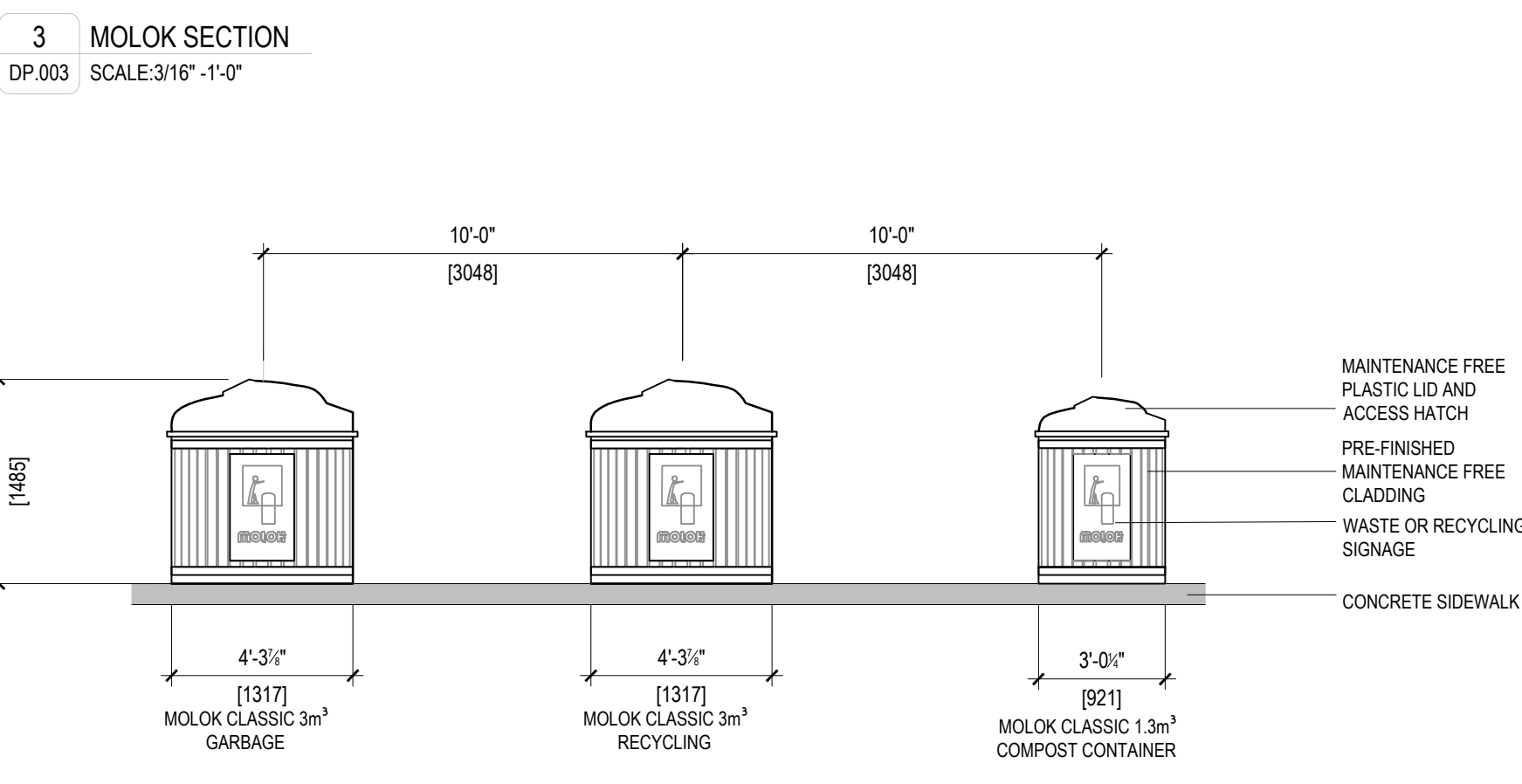
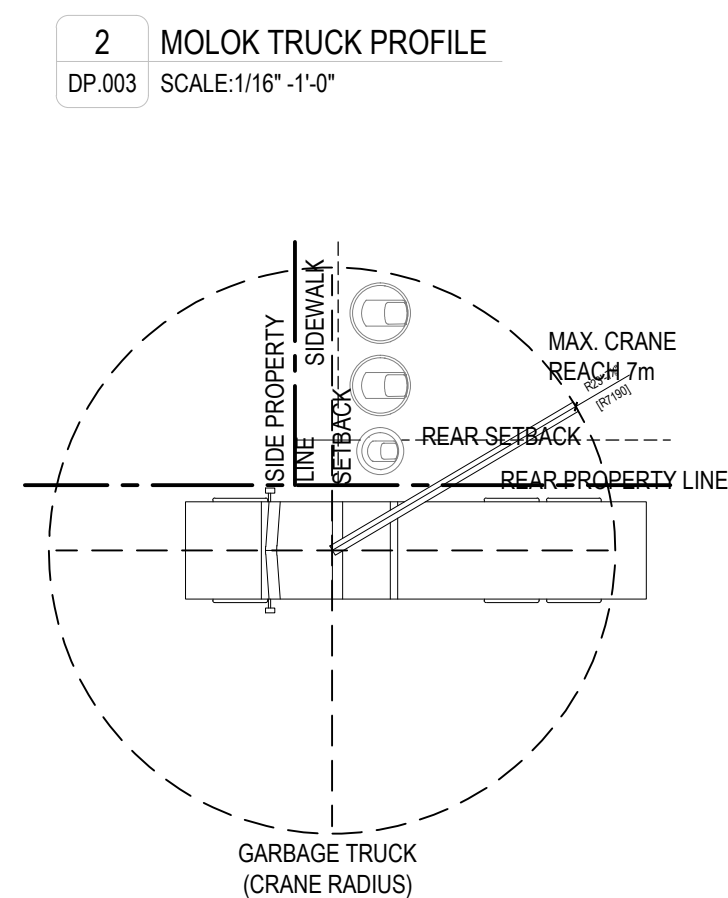
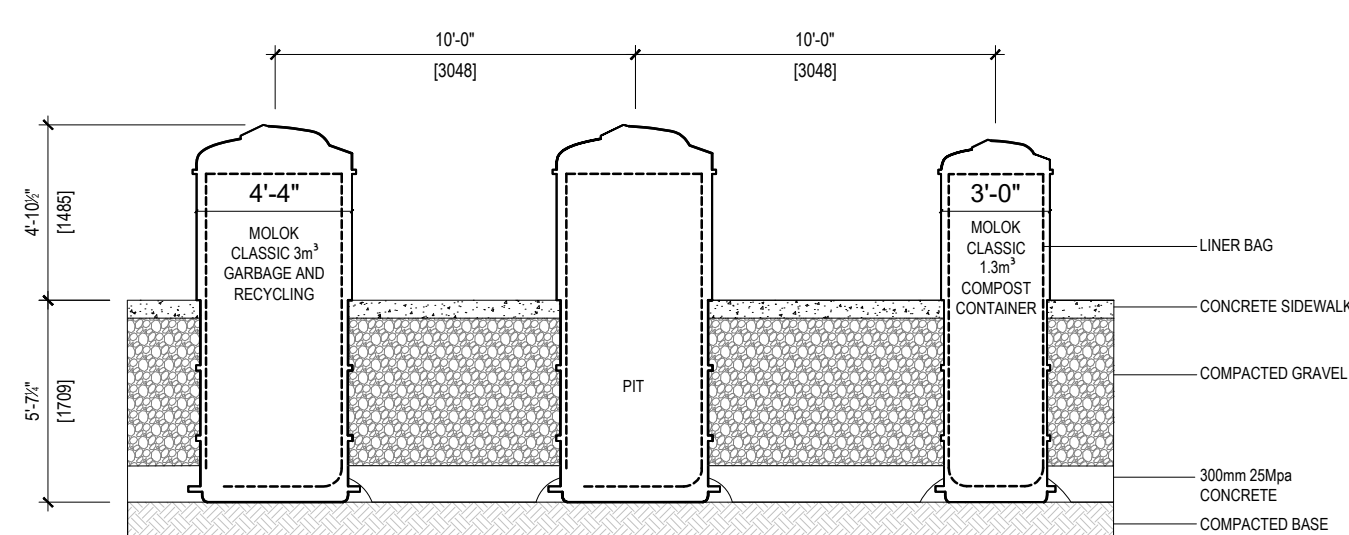
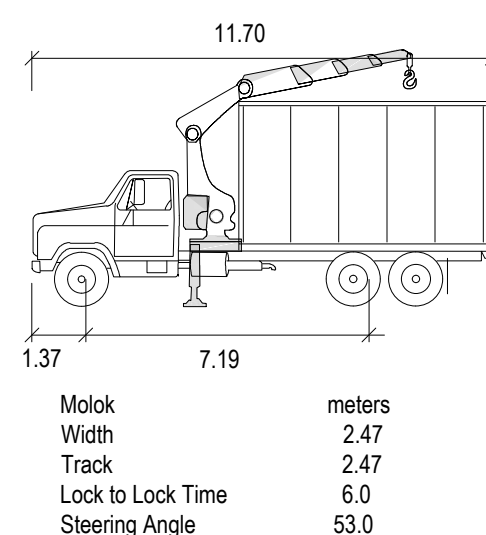
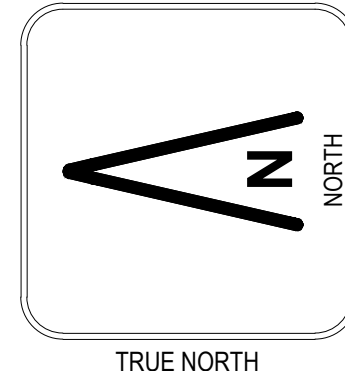
**PROPOSED CAPACITY**

WASTE:	2 x 3.0 m <sup>3</sup> BINS = 6.0 m <sup>3</sup>
RECYCLING:	2 x 3.0 m <sup>3</sup> BINS = 6.0 m <sup>3</sup>
ORGANICS:	2 x 1.3 m <sup>3</sup> BINS = 2.6 m <sup>3</sup>
<b>TOTAL PROPOSED</b>	<b>= 14.6 m<sup>3</sup></b>



**FIRE ACCESS ROUTE IS DESIGNED TO SUPPORT A 38,500kg/85,000lbs LOAD.**

**ALL PORTIONS OF WASTE COLLECTION ROUTE/PARKING STRUCTURES ARE CAPABLE OF SUPPORTING A MIN. WEIGHT OF 25,000kg**



**Fire Truck**

Width	: 8.53
Track	: 8.53
Lock to Lock Time	: 6.00 s
Steering Angle	: 32.62 deg

**RELEASES**

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	2025.11.14

**SORAH**

MUNICIPAL ADDRESS  
295 ERIN WOODS DRIVE S.E.  
CALGARY, AB

LEGAL ADDRESS  
L: 7 B: 15 P: 2412090

PROJECT NO.  
25.013

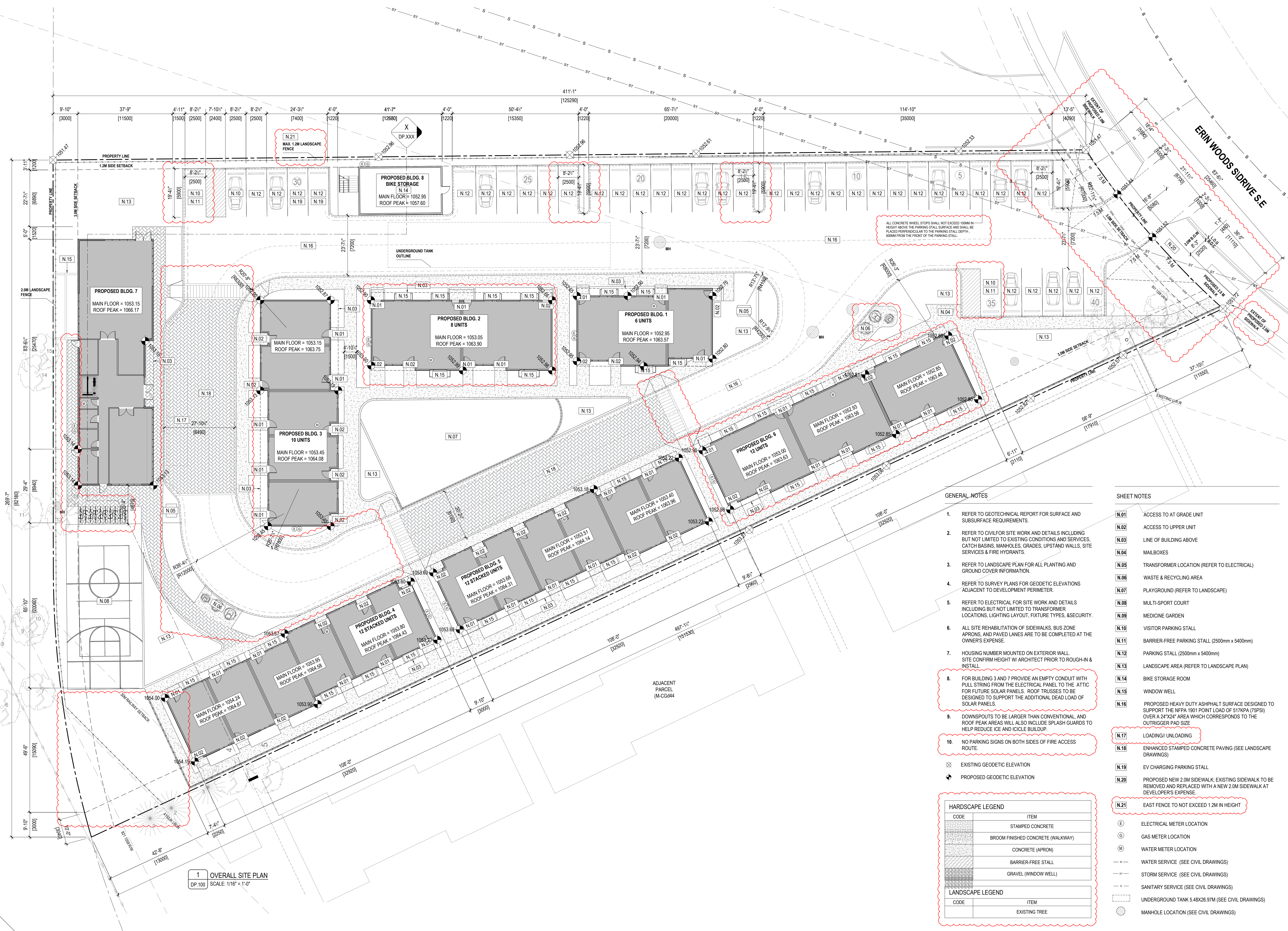
DATE  
14.11.2025

SCALE  
AS NOTED

**SITE DETAILS AND FIRE TRUCK ACCESS ROUTE**

**DP.003**

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



1 OVERALL SITE PLAN  
DP-100 SCALE: 1/16" = 1'-0"

GENERAL NOTES

- REFER TO GEOTECHNICAL REPORT FOR SURFACE AND SUBSURFACE REQUIREMENTS.
- REFER TO CIVIL FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO EXISTING CONDITIONS AND SERVICES, CATCH BASINS, MANHOLES, GRADES, UPSTAND WALLS, SITE SERVICES & FIRE HYDRANTS.
- REFER TO LANDSCAPE PLAN FOR ALL PLANTING AND GROUND COVER INFORMATION.
- REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
- REFER TO ELECTRICAL FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO TRANSFORMER LOCATIONS, LIGHTING LAYOUT, FIXTURE TYPES, & SECURITY.
- ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.
- HOUSING NUMBER MOUNTED ON EXTERIOR WALL. SITE CONFIRM HEIGHT W/ ARCHITECT PRIOR TO ROUGH-IN & INSTALL.
- FOR BUILDING 3 AND 7 PROVIDE AN EMPTY CONDUIT WITH PULL STRING FROM THE ELECTRICAL PANEL TO THE ATTIC FOR FUTURE SOLAR PANELS. ROOF TRUSSES TO BE DESIGNED TO SUPPORT THE ADDITIONAL DEAD LOAD OF SOLAR PANELS.
- DOWNSPOUTS TO BE LARGER THAN CONVENTIONAL AND ROOF PEAK AREAS WILL ALSO INCLUDE SPLASH GUARDS TO HELP REDUCE ICE AND ICICLE BUILDUP.
- NO PARKING SIGNS ON BOTH SIDES OF FIRE ACCESS ROUTE.

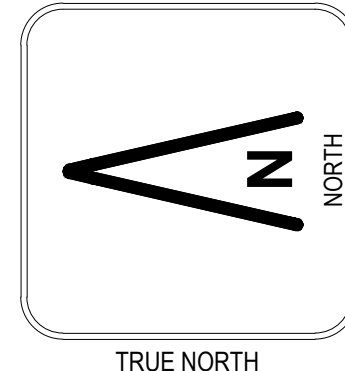
- ⊗ EXISTING GEODETIC ELEVATION
- ⬆ PROPOSED GEODETIC ELEVATION

HARDSCAPE LEGEND	
CODE	ITEM
[Pattern]	STAMPED CONCRETE
[Pattern]	BROOM FINISHED CONCRETE (WALKWAY)
[Pattern]	CONCRETE (APRON)
[Pattern]	BARRIER-FREE STALL
[Pattern]	GRAVEL (WINDOW WELL)
LANDSCAPE LEGEND	
CODE	ITEM
[Symbol]	EXISTING TREE

SHEET NOTES

- N.01 ACCESS TO AT GRADE UNIT
- N.02 ACCESS TO UPPER UNIT
- N.03 LINE OF BUILDING ABOVE
- N.04 MAILBOXES
- N.05 TRANSFORMER LOCATION (REFER TO ELECTRICAL)
- N.06 WASTE & RECYCLING AREA
- N.07 PLAYGROUND (REFER TO LANDSCAPE)
- N.08 MULTI-SPORT COURT
- N.09 MEDICINE GARDEN
- N.10 VISITOR PARKING STALL
- N.11 BARRIER-FREE PARKING STALL (2500mm x 5400mm)
- N.12 PARKING STALL (2500mm x 5400mm)
- N.13 LANDSCAPE AREA (REFER TO LANDSCAPE PLAN)
- N.14 BIKE STORAGE ROOM
- N.15 WINDOW WELL
- N.16 PROPOSED HEAVY DUTY ASPHALT SURFACE DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517KPA (75PSI) OVER A 24"X24" AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE.
- N.17 LOADING/ UNLOADING
- N.18 ENHANCED STAMPED CONCRETE PAVING (SEE LANDSCAPE DRAWINGS)
- N.19 EV CHARGING PARKING STALL
- N.20 PROPOSED NEW 2.0M SIDEWALK; EXISTING SIDEWALK TO BE REMOVED AND REPLACED WITH A NEW 2.0M SIDEWALK AT DEVELOPER'S EXPENSE.
- N.21 EAST FENCE TO NOT EXCEED 1.2M IN HEIGHT

- Ⓧ ELECTRICAL METER LOCATION
- Ⓞ GAS METER LOCATION
- Ⓜ WATER METER LOCATION
- W — WATER SERVICE (SEE CIVIL DRAWINGS)
- S — STORM SERVICE (SEE CIVIL DRAWINGS)
- S — SANITARY SERVICE (SEE CIVIL DRAWINGS)
- T — UNDERGROUND TANK 5.48X26.97M (SEE CIVIL DRAWINGS)
- Ⓞ MANHOLE LOCATION (SEE CIVIL DRAWINGS)



RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	2025.11.14

SORAH

MANUAL ADDRESS  
255 ERIN WOODS DRIVE S.E.  
CALGARY, AB  
USA ADDRESS  
L7 B:5 P:2412090  
PROJECT NO.  
25.013  
OWNER  
AD/N/P/P MF  
DATE  
14.11.2025 SCALE  
AS NOTED  
DRAWING TITLE  
OVERALL SITE PLAN  
DRAWING NUMBER

DP.100

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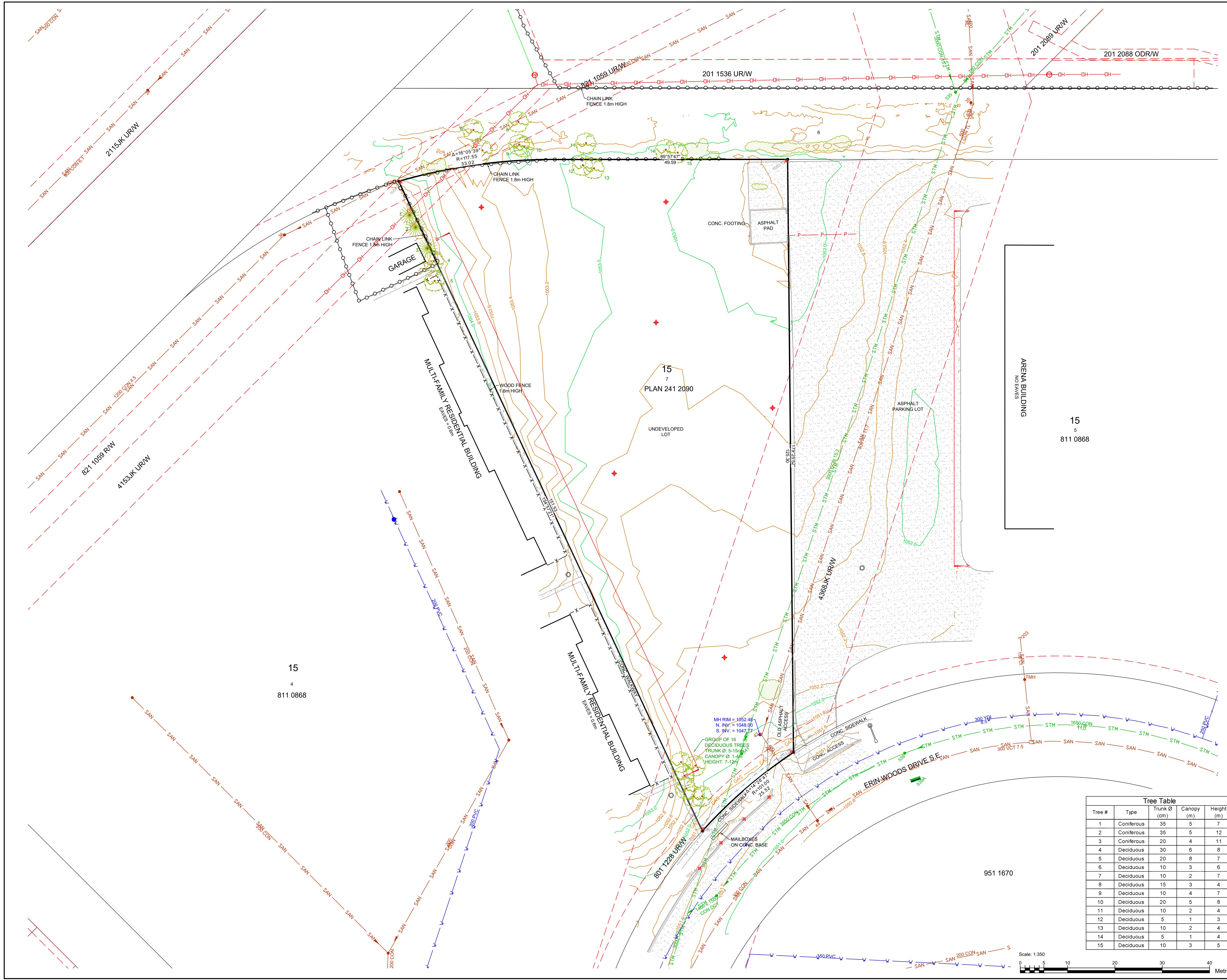












**Notes:**

- DISTANCES ARE IN METERS AND DECIMALS THEREOF.
- COORDINATES ARE BASED ON GNSS TIES TO ASCM 2972.
- COORDINATES ARE IN GROUND USING COMBINED SCALE FACTOR = 0.999737.
- PROJECTION: 3 DEGREE TRANSVERSE MERCATOR (STM)
- HORIZONTAL DATUM: NORTH AMERICA DATUM 1983 (NAD83).
- ADOPTED VERTICAL DATUM: CANADIAN VERTICAL DATUM 1928 (CVD28) VIA HT2.0 GEOD MODEL
- ORTHOMETRIC REFERENCE MERIDIAN: 114° W.
- ELEVATIONS SHOWN ARE GROUND SPOT ELEVATIONS.
- ON-SITE BURIED UTILITIES WERE LOCATED USING INDIRECT DETECTION PROCEDURES AND ARE SHOWN FOR REFERENCE PURPOSES ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE INDIVIDUAL UTILITY OWNERS, OPERATORS, OR AUTHORITIES TO OBTAIN ANY REQUIRED PERMITS AND METHODS OF LOCATING AND EXPOSING ANY BURIED FACILITIES PRIOR TO ANY PLANNED GROUND DISTURBANCE.
- UTILITY INFORMATION SHOWN FOR SANITARY, STORM, AND WATER FACILITIES IN THE ROADWAYS WAS OBTAINED FROM THE CITY OF CALGARY'S PUBLISHED DATABASE.
- THIS PARCEL IS NOT WITHIN THE LIMITS OF THE BOW RIVER FLOOD FRINGE.
- THIS PARCEL IS SUBJECT TO CALGARY INTERNATIONAL AIRPORT ZONING REGULATION 771 147 064.

**Legend:**

- 1110.0 MAJOR CONTOUR 1.0m INTERVAL
- 1110.2 MINOR CONTOUR 0.2m INTERVAL
- SPOT ELEVATION
- FOUND STATUTORY IRON POST
- FOUND DRILL HOLE
- SUBJECT PARCEL BOUNDARY
- ADJACENT PARCEL LINEWORK
- RIGHT OF WAY BOUNDARY
- FENCE
- FENCE - CHAINLINK
- FENCE - POST AND CABLE
- POWER POLE
- GUY WIRE
- LIGHT STANDARD
- MANHOLE
- FIRE HYDRANT
- VALVE
- SIGN
- BORE HOLE
- ELECTRICAL LINES - BURIED
- ELECTRICAL LINES - OVERHEAD
- GAS
- GAS LINE
- STM
- STORM LINE
- SAN
- SANITARY LINE
- COMMUNICATIONS - BURIED LINE
- COMMUNICATIONS - OVERHEAD LINE
- WATER MAIN
- SITE PHOTO LOCATION & DIRECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/BUSHES

No.	Revision Description	By	Date	Appr
00	ISSUED TO CLIENT	N.K.	APR. 7, 2025	N.K.

Title: **DEVELOPMENT PERMIT SITE SURVEY**

Job Description: **LOT 7, BLOCK 15  
PLAN 241 2090  
295 ERIN WOODS DRIVE S.E.  
CALGARY AB**

Client: **SORAH  
c/o Lawson Projects**

Watt Consulting Group Ltd.  
1300, 736 6<sup>th</sup> Avenue S.W.  
Calgary, AB, T2P 3T7  
T. 403.273.9001  
F. 403.273.3440  
www.wattconsultinggroup.com

**Tree Table**

Tree #	Type	Trunk Ø (cm)	Canopy (m)	Height (m)
1	Coniferous	35	5	7
2	Coniferous	35	5	12
3	Coniferous	20	4	11
4	Deciduous	30	6	8
5	Deciduous	20	8	7
6	Deciduous	10	3	6
7	Deciduous	10	2	7
8	Deciduous	15	3	4
9	Deciduous	10	4	7
10	Deciduous	20	5	8
11	Deciduous	10	2	4
12	Deciduous	5	1	3
13	Deciduous	10	2	4
14	Deciduous	5	1	4
15	Deciduous	10	3	5

Scale: 1:350  
0 5 10 20 30 40 Metres

Drawn: N.K. | Field Surveyor(s): C.A./K.M.  
Draft Chk: MARCH 27, 2025  
Approved: N.K. | Date: APRIL 4, 2025 | Sheet: | Total Sheets:  
Scale: 1:350 | File #: 4318.E01 | 01 | 02