

ISSUED FOR DEVELOPMENT PERMIT

professional seal
prime consultant



client

consultants

phase / date

NOTE:

KEY PLAN

No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	2026.06.18
2	ISSUED FOR DEVELOPMENT PERMIT	2026.06.18
3	ISSUED FOR DEVELOPMENT PERMIT	2026.06.18

Project Title
MIXED USE DEVELOPMENT

Project Municipal Address
534/532 17 Avenue SW, Calgary AB

Project Legal Address
Plan:A1;Block:107;Lot:37-43

MC+A file No.
MCA 1298

Phase
DEVELOPMENT PERMIT

Date
2026.06.18

Scale

Drawn By
GM/NB

Checked By
Checker

Sheet Title
COVER SHEET

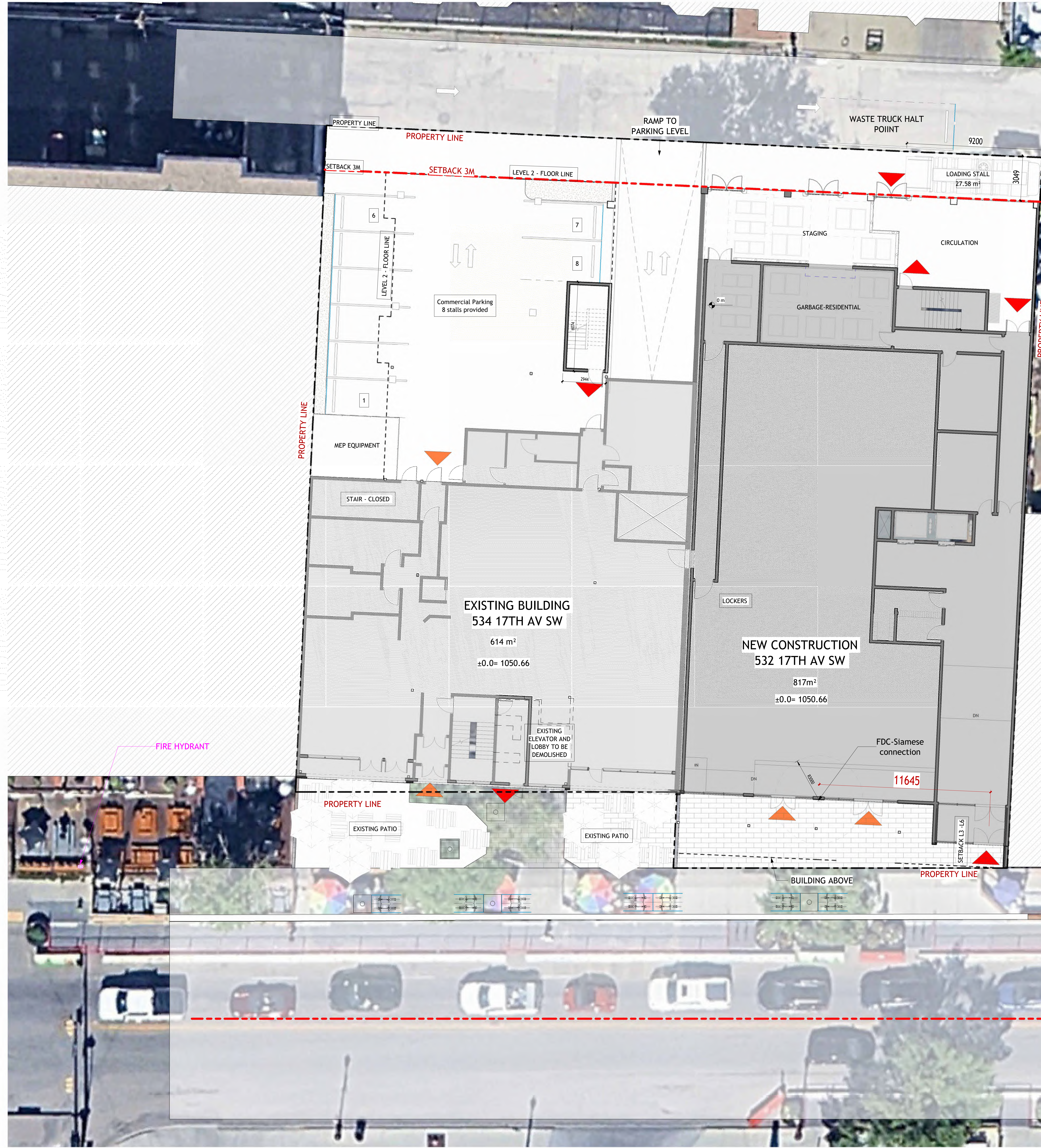
Sheet Number
D0.00



PERPECTIVE VIEW OF THE BUILDING

Sheet List - DP		
SHEET SET	Sheet Number	Sheet Name
DP	D0.00	COVER SHEET
DP	D0.01	SURVEY
DP	D0.02	AREA PLAN
DP	D1.01	SITE INFORMATION
DP	D1.02	LANDSCAPE PLAN
DP	D1.04	LOADING STALL MOVEMENT
DP	D2.00	PARKADE
DP	D2.01	MAIN FLOOR
DP	D2.02	LEVEL 2
DP	D2.03	LEVEL 3
DP	D2.04	LEVEL 4
DP	D2.05	LEVEL 5
DP	D2.06	LEVEL 6
DP	D2.07	ROOF PLAN
DP	D2.08	LANDSCAPE PLAN
DP	D3.00	BUILDING ELEVATIONS
DP	D3.01	BUILDING ELEVATIONS
DP	D4.00	BUILDING SECTIONS
DP	D4.01	BUILDING SECTIONS
DP	D5.00	PERSPECTIVES

2026-06-18 1:41:21 PM



1 SITE PLAN
1 : 100

PROPOSED MULTI-RESIDENTIAL

- ADDRESS : 534/532 17 Avenue SW, Calgary AB
- LEGAL ADDRESS : Plan:A1;Block:107;Lot:37-43
- LAND USE DESIGNATION : C-COR1f3.0h23 Commercial Corridor 1
- SITE AREA : 2,268sqm/ 24,415sqft/ 0.23 ha
- BUILDING COVERAGE : Foot Print Area/ Site Area x 100 = 64.58%
- MAX BUILDING HEIGHT : 24 metres
- FLOOR AREA RATIO : 3.97 (4.0 ALLOWED)
- PROPOSED GFA : 9,012 sqm/ 97,004 sqft (9072 sqm allowed)
- FRONT SETBACK AREA REQUIRED- NONE; MAX ALLOWED 3M, PROVIDED NONE
- REAR SETBACK AREA REQUIRED 3M, PROVIDED 3M
- SIDE SETBACK AREA RIGHT SIDE - NONE REQUIRED. LEFT SIDE - NONE REQUIRED
- NUMBER OF UNITS: 125 ; RETAIL AREA : 1062.25 SQM (11.7% OF GFA)
- BICYCLE PARKING CLASS 1 FOR @0.5/UNIT = 65 STALLS (138 PROVIDED) CLASS 2 FOR @0.1/UNIT = 13 STALLS (14 PROVIDED) EXCES CLASS 1BIKE PARKING- 73 EXCES CLASS 2BIKE PARKING- 1
- MOTOR VEHICLE PARKING STALLS RESIDENT PARKING @0.75 STALLS PER UNIT :93.75 VISITOR PARKING STALLS @0.1 STALLS PER UNIT :12.5 RETAIL PARKING @ 4PER 100 SQM GFA :42.49 TOTAL PARKING DEMAND: 148.74 = 149 STALLS TOTAL PARKING PROVIDED: 43 RELAXATION REQUESTED: 106
- AMENITY SPACE NUMBER OF UNITS WITHOUT BALCONIES: 54 REQUIRED @ 5.0 SQM/UNIT = 270 SQM ROOFTOP GARDEN COMMON AMENITY PROVIDED: 325 SQM
- WASTE CALCULATION RESIDENTIAL COMPONENT TOTAL OF UNITS : 125 UNITS WASTE PRODUCED PER WEEK PER UNIT : 0.24 M³ (0.3 YD³) WASTE PRODUCED : 30 M³ (39.2 YD³) RECOMMENDATION: RESIDENTIAL: 10 GARBAGE BINS - 4 YARDS EACH ORGANIC (4) ; GARBAGE(3); RECYCLE (3)
- RETAIL COMPONENT - EXISTING BUILDING + NEW CONSTRUCTION TOTAL RETAIL AREA : 1,062.25 M² WASTE GENERATED = 3M³ PER 1000.SQM OF DEVELOPMENT : 3.19M³ WASTE PRODUCED : 3.2M³ (4.18YD³)
- RECOMMENDATION: RETAIL: 3 GARBAGE BINS - 2 YARDS EACH ORGANIC (1) ; GARBAGE(1); RECYCLE (1)

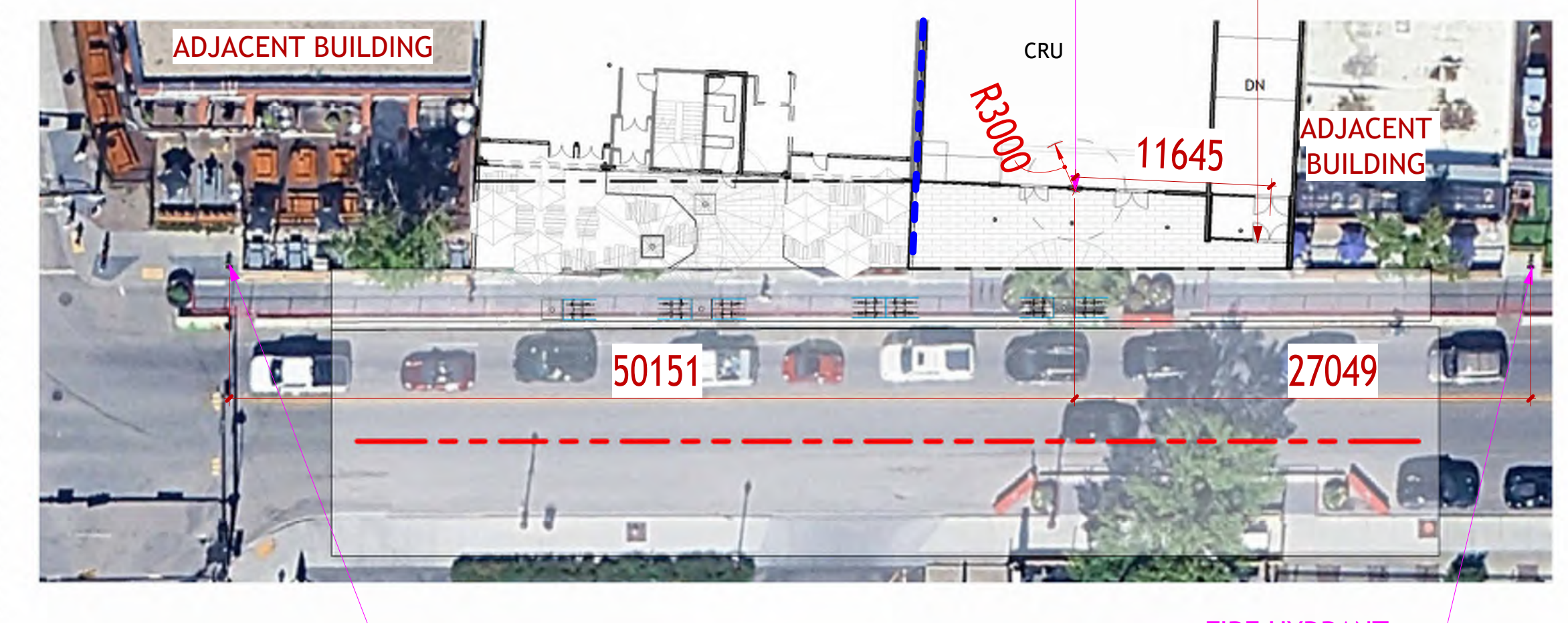
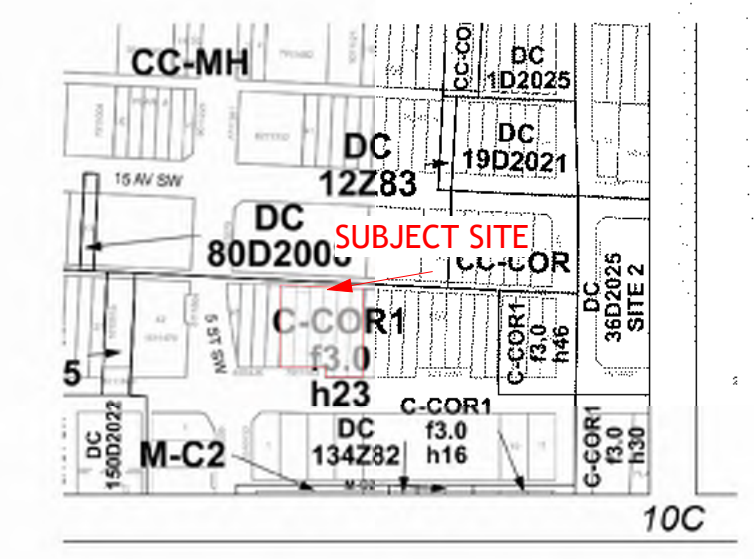
CRU area		
Level	Name	Area
MAIN FLOOR	CRU-1	612.99 m²
MAIN FLOOR	CRU-2	449.24 m²
Grand total:	2	1062.24 m²

Parking Schedule - BIKES			
PARKADE	Type	Count	No. Of Bikes
CLASS 1 BIKE STALL (1 PAX)		4	4
CLASS 1 BIKE STALL VERTICAL (2PAX)		41	82
CLASS 1 BIKE STALL (2PAX)		26	52
MAIN FLOOR			
CLASS 2 BIKE STALL (2PAX)		7	14

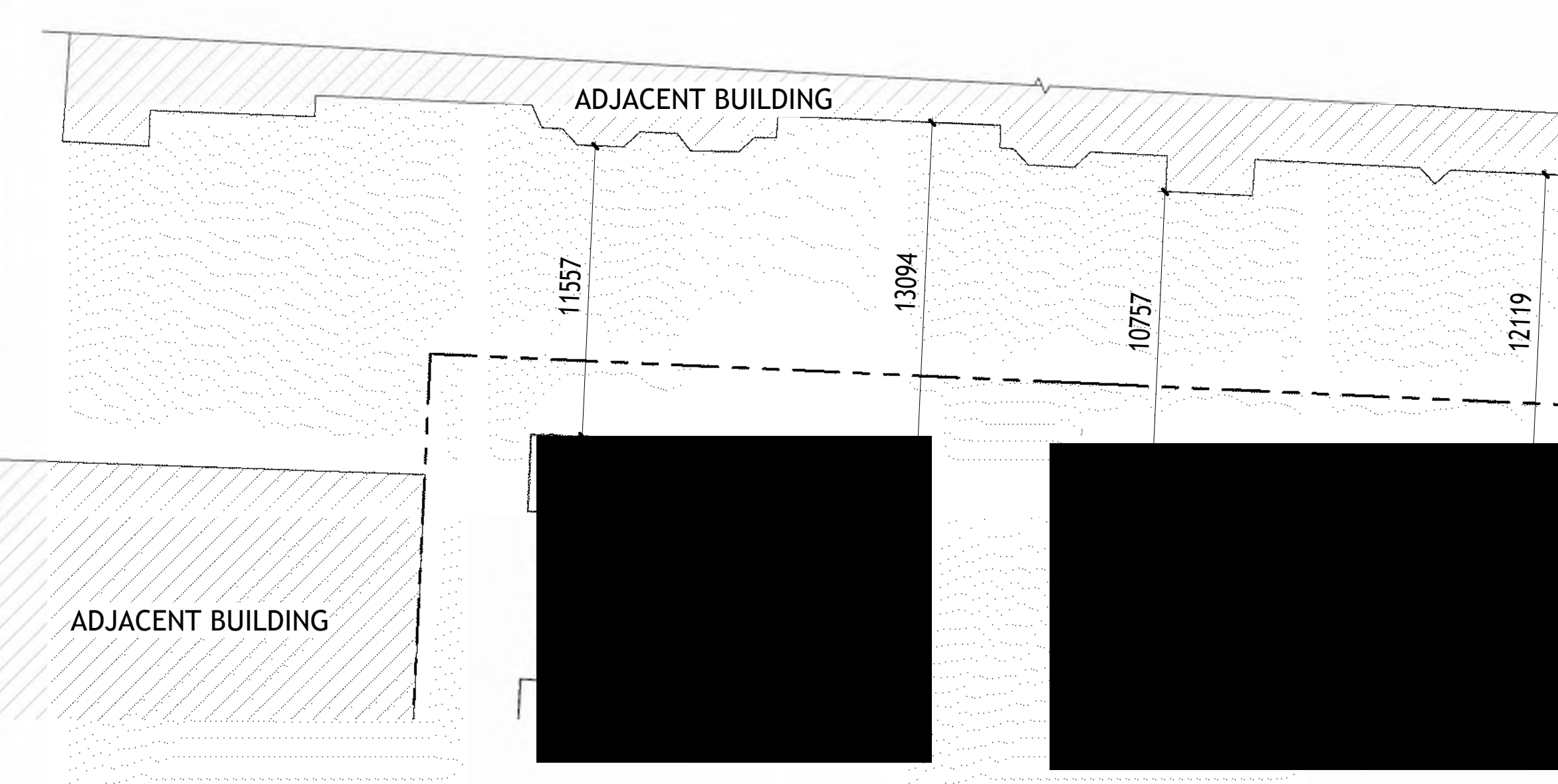
Parking Schedule - VEHICLES		
PARKADE	Type	Count
PARKING 2500 X 5400		21
PARKING 2600 X 5400		1
PARKING 2850 X 5400		11
PARKING ADA 2400 X 2400 X 5500		2
MAIN FLOOR		
PARKING 2500 X 5400		7
PARKING 2850 X 5400		1
		43

- LEGEND**
- PROPERTY LINE
 - SETBACK
 - MATCH LINE FOR EXISTING & NEW BUILDING
 - EXISTING BUILDING LEVEL
 - FENCE 1800
 - PROTECTION RAIL TYP A
 - PROTECTION RAIL TYP B
 - EXISTING COLUMN
 - EXISTING WALL
 - EXISTING FLOOR
 - BALCONY
 - RETAIL ENTRY/ EXIT
 - RESIDENTIAL ENTRY/ EXIT

NOTES
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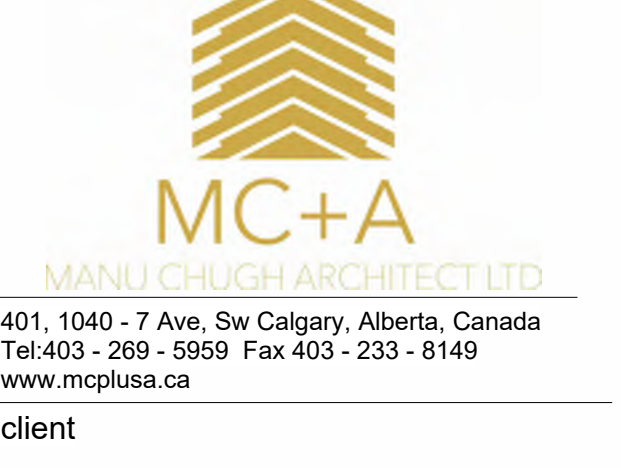


4 FIRE HYDRANT CONNECTIONS
1 : 300



3 L2-BUILDING DISTANCES
1 : 200

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Scale
As Indicated

Drawn By
GM/ NB

Checked By
MC

Sheet Title
SITE INFORMATION

Sheet Number
D1.01



LANDSCAPE ANALYSIS

SITE AREA: 2267.61 SQ.M.
 REQUIRED LANDSCAPED AREA = 40% OF SITE AREA = 907.04 SQ.M.
 PROVIDED LANDSCAPED AREA = 327.59 SQ.M.
 ROOFTOP AMENITY AREA = 324.58 SQ.M.
 TOTAL TREES PROVIDED WITHIN BOULEVARD = 5
 EXISTING TREES TO REMAIN IN BOULEVARD = 3
 PROPOSED TREES IN BOULEVARD = 2

LEGEND

- EXISTING PAVEMENT TO REMAIN AS IS
- EXISTING CONCRETE TO REMAIN AS IS
- PAVEMENT TO MATCH TO EXISTING PAVEMENT ON SITE
- REGULAR GREY COLOR CONCRETE
- DECIDUOUS TREES
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PERENNIALS
- CLASS 2 BIKE STALLS TOTAL QUANTITY: 14
- OUTDOOR FURNITURE
- UMBRELLA

DESIGN ELEMENTS

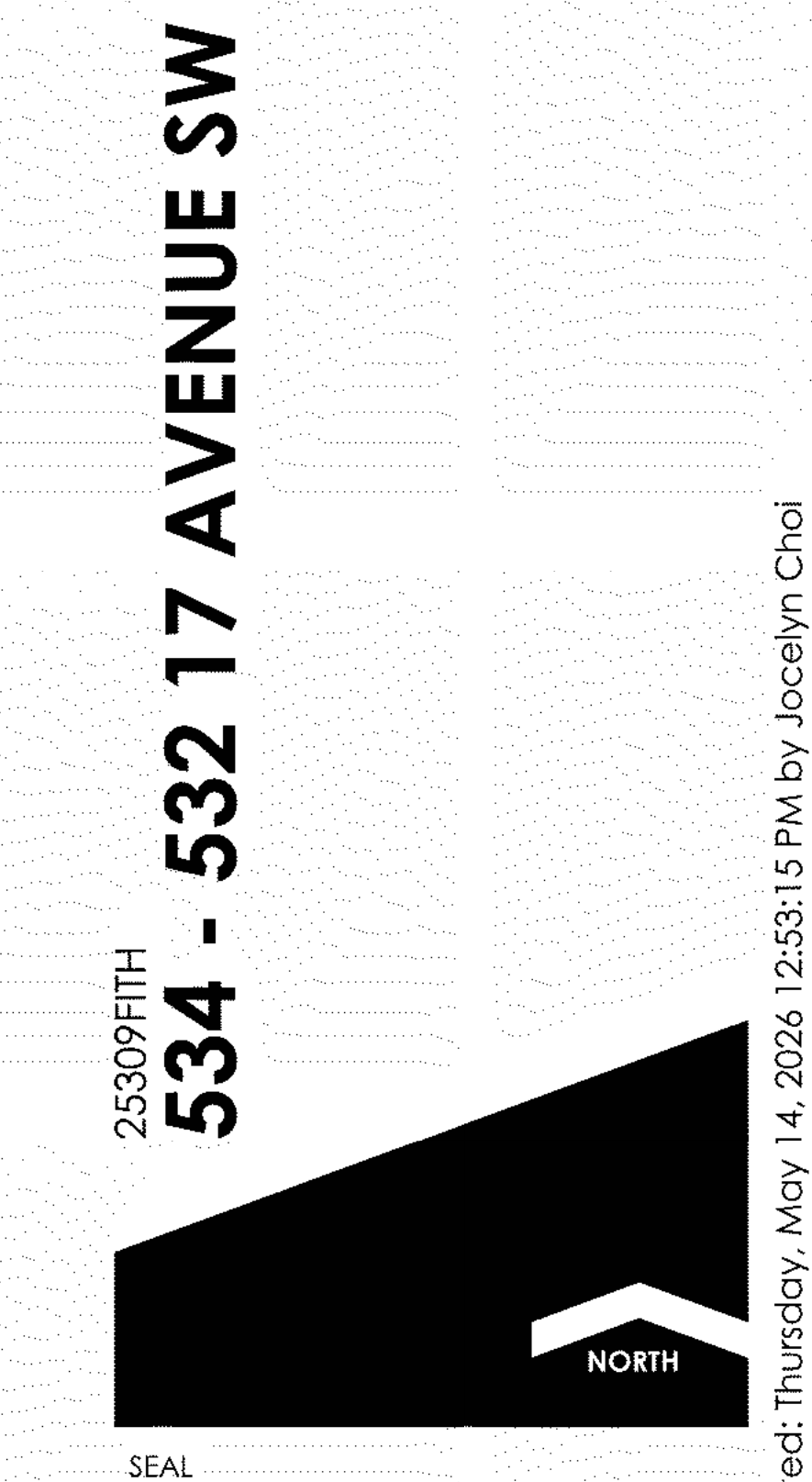
1. EXISTING PUBLIC SIDEWALK
2. EXISTING PATIO
3. NEW BUILDING ENTRANCE
4. BACK DRIVEWAY
5. CLASS 2 BIKE PARKING
6. MEP EQUIPMENT
7. BACK DOOR

GENERAL NOTES

- THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
- ALL PLANT MATERIAL SIZES SHOWN ARE MINIMUM SIZES.
- ALL PLANTING BEDS TO HAVE A MINIMUM OF 75MM DEPTH CHARCOAL MULCH UNLESS OTHERWISE NOTED.
- ALL SOFT SURFACE LANDSCAPE AREAS TO BE IRRIGATED WITH UNDERGROUND IRRIGATION SYSTEM, WITH EXTENT OF WATERING LIMITED TO TREES AND SHRUBS ONLY.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS.
- TOPSOIL AVAILABLE FOR PLANTINGS OVER PARKADE* TREES 1200MM SHRUBS 600MM GRASS & PERENNIALS 300MM
- TREE PROTECTION FOR THE 2 PUBLIC MANITOBA MAPLES WILL NEED TO BE DETERMINED AT PRE-CONSTRUCTION MEETING WITH URBAN FORESTRY AND THE DEVELOPER/ PROJECT CONTRACTOR. IF THE EXISTING SHIP AND ANCHOR PATIO IN THE CITY SETBACK WILL BE CHANGED OR CONSTRUCTION STORAGE AND ACCESS WILL BE REQUIRED, URBAN FORESTRY WILL REQUIRE TREE PROTECTION FENCING FOR THESE TREES. PLEASE CONTACT 311 OR EMAIL TREE.PROTECTION@CALGARY.CA
- IF DEVELOPMENT CAUSES THE PUBLIC TREE(S) TO NEED TO BE PRUNED FOR CLEARANCE, THE PRUNING MUST BE APPROVED BY URBAN FORESTRY. THE DEVELOPMENT WILL BE REQUIRED TO PRUNE THE PUBLIC TREE USING A CONTRACTOR THAT MEETS URBAN FORESTRY'S MINIMUM REQUIREMENTS AND AT THE DEVELOPER'S EXPENSE. PRUNING IS TO BE DONE TO THE SATISFACTION OF THE URBAN FORESTRY TECHNICIAN, PLEASE CONTACT 311 OR EMAIL TREE.PROTECTION@CALGARY.CA
- URBAN FORESTRY WILL NEED TO BE ON SITE DURING EXCAVATION NEAR THE PUBLIC GREEN ASH TREE LOCATED ON THE EAST SIDE OF THE DEVELOPMENT SITE. THIS IS TO DETERMINE THE IMPACTS AND IF THE TREE CAN BE SAFELY RETAINED. CONTACT 311 OR EMAIL TREE.PROTECTION@CALGARY.CA TO MAKE THE ARRANGEMENT.

EXISTING BOULEVARD TREES

- EXISTING TREE INFORMATION
- A. PUBLIC TREE 1 (T-32054191) - TO REMAIN
 - B. TREE SPECIES: FRAXINUS PENNSYLVANICA
 - C. CALIPER OF TREE TRUNK: 0.28M
 - D. CANOPY: 6M
 - E. HEIGHT OF TREE: LARGE (AT MATURITY)
 - F. LOCATION OF THE CENTRE POINT OF THE TREE TRUNK: SEE PLAN
 - G. SCALED OUTLINE OF THE TREE CANOPY DRIPLINE: SEE PLAN
- PUBLIC TREE 2 (T-32019781) - TO REMAIN
- A. TREE SPECIES: ACER NEGUNDO
 - B. CALIPER OF TREE TRUNK: 0.49M
 - C. CANOPY: 9M
 - D. HEIGHT OF TREE: MEDIUM (AT MATURITY)
 - E. LOCATION OF THE CENTRE POINT OF THE TREE TRUNK: SEE PLAN
 - F. SCALED OUTLINE OF THE TREE CANOPY DRIPLINE: SEE PLAN
- PUBLIC TREE 3 (T-32054189) - TO REMAIN
- A. TREE SPECIES: ACER NEGUNDO
 - B. CALIPER OF TREE TRUNK: 0.72M
 - C. CANOPY: 8M
 - D. HEIGHT OF TREE: MEDIUM (AT MATURITY)
 - E. LOCATION OF THE CENTRE POINT OF THE TREE TRUNK: SEE PLAN
 - F. SCALED OUTLINE OF THE TREE CANOPY DRIPLINE: SEE PLAN
- PUBLIC TREE 4 (T-32054187) - TO REMAIN
- A. TREE SPECIES: FRAXINUS PENNSYLVANICA
 - B. DIAMETER OF TREE TRUNK: 0.31M
 - C. CANOPY: 8M
 - D. HEIGHT OF TREE: LARGE (AT MATURITY)
 - E. LOCATION OF THE CENTRE POINT OF THE TREE TRUNK: SEE PLAN
 - F. SCALED OUTLINE OF THE TREE CANOPY DRIPLINE: SEE PLAN
- PUBLIC TREE 5 (T-32054190) - TO BE REMOVED
- A. TREE SPECIES: FRAXINUS PENNSYLVANICA
 - B. DIAMETER OF TREE TRUNK: 0.35M
 - C. CANOPY: 2M
 - D. HEIGHT OF TREE: LARGE (AT MATURITY)
 - E. LOCATION OF THE CENTRE POINT OF THE TREE TRUNK: SEE PLAN
 - F. SCALED OUTLINE OF THE TREE CANOPY DRIPLINE: SEE PLAN
- PUBLIC TREE 6 (T-51477589) - TO BE REMOVED
- A. TREE SPECIES: ACER SACCHARINUM
 - B. DIAMETER OF TREE TRUNK: 0.08M
 - C. CANOPY: 2M
 - D. HEIGHT OF TREE: LARGE (AT MATURITY)
 - E. LOCATION OF THE CENTRE POINT OF THE TREE TRUNK: SEE PLAN
 - F. SCALED OUTLINE OF THE TREE CANOPY DRIPLINE: SEE PLAN



ISSUED FOR	DATE
COORDINATION	250820
REVIEW	250902
DP REVISION	251117
DP REVISION	260506
DP REVISION	260514

NOT FOR CONSTRUCTION

SCALE 1:150
 DATE 260514
 DRAWN BY JC
 CHECKED BY YN

DP

L-1

GROUND LAYOUT



client

phase / date

NOTE:

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Scale
1 : 1

Drawn By
 Checked By

Author
 Checker

Sheet Title
LANDSCAPE PLAN

Sheet Number
D1.02



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 - GRASS & PERENNIALS 300MM

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LEGEND

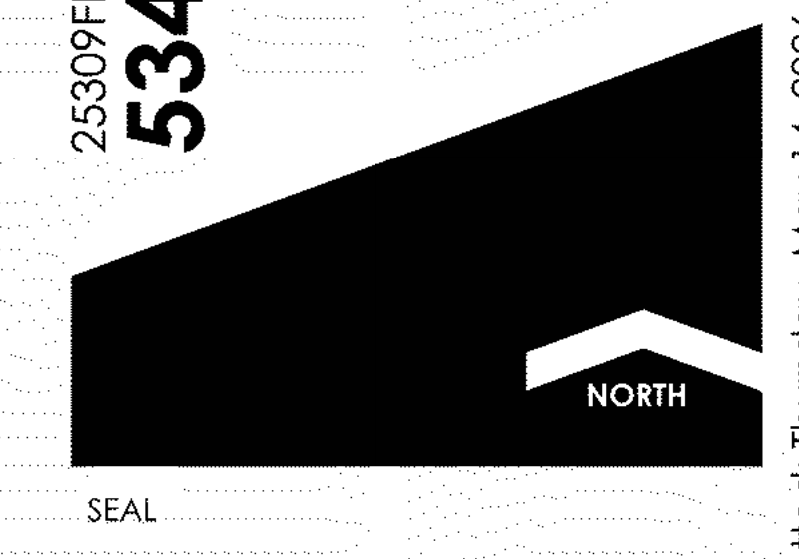
- REGULAR GREY COLOR PAVER
- WOOD OR PAVER DECK
- MOVABLE PLANTER
- MOVABLE OUTDOOR SOFA/ CHAIR
- MOVABLE OUTDOOR TABLE
- PICNIC TABLE
- OUTDOOR BBQ
- TWINKLE LIGHT (OPTIONAL)
- MOVABLE UMBRELLA
- 1800MM HEIGHT WOOD SCREEN

DESIGN ELEMENTS

1. ROOF ENTRANCE
2. MOVABLE PLANTER
3. OUTDOOR BBQ WITH PICNIC TABLE
4. SEATING NODE WITH SOFA CHAIRS AND UMBRELLA
5. OUTDOOR LOUNGING ZONE WITH SOFA, TABLE



25309FTH
534 - 532 17 AVENUE SW



ISSUED FOR	DATE
COORDINATION	250820
REVIEW	250902
DP REVISION	251117
DP REVISION	260506
DP REVISION	260514

SCALE 1:100
 DATE 260506
 DRAWN BY JC
 CHECKED BY YN

L-2
DP

ROOFTOP



consultants

phase / date

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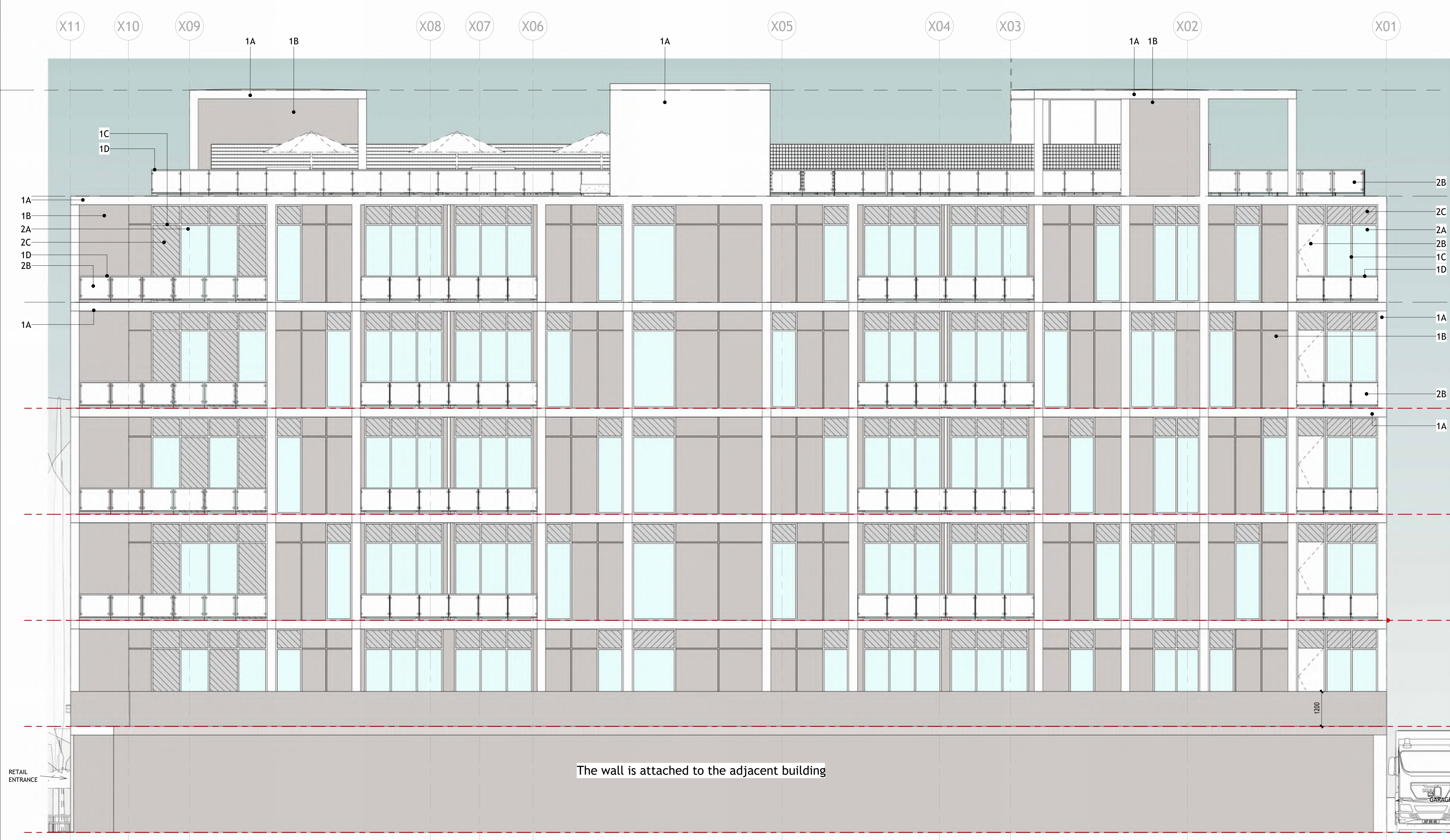
Date
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Scale
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Sheet Title
LANDSCAPE PLAN

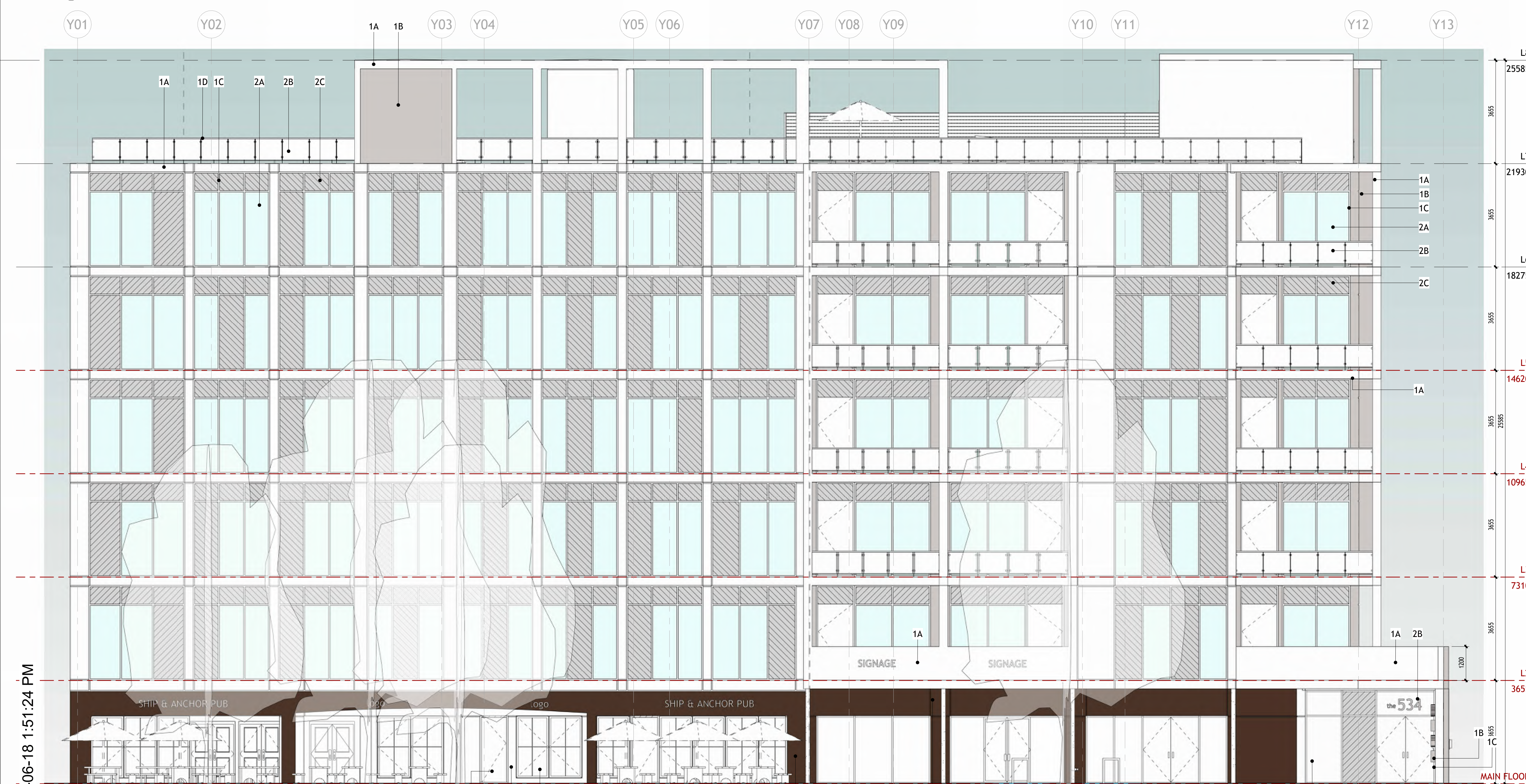
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1 EAST ELEVATION 1
1:75



3 EAST ELEVATION 2
1:75



2 SOUTH ELEVATION 1
1:75



4 SOUTH ELEVATION 2
1:75

- LEGEND**
- PROPERTY LINE
 - - - SETBACK
 - - - MATCH LINE FOR EXISTING & NEW BUILDING
 - - - EXISTING BUILDING LEVEL
 - - - FENCE 1800
 - - - PROTECTION RAIL TYP A
 - - - PROTECTION RAIL TYP B
 - EXISTING COLUMN
 - EXISTING WALL
 - EXISTING FLOOR
 - BALCONY
 - ▲ RETAIL ENTRY/ EXIT
 - ▲ RESIDENTIAL ENTRY/ EXIT
- NOTES**
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- MATERIAL LEGEND**
- 1A. ACM OR METAL CLADDING- WHITE
 - 1B. ACM OR METAL CLADDING- BEIGE
 - 1C. ALUMINIUM-BLACK
 - 1D. STAINLESS STEEL
 - 1E. ACM OR METAL CLADDING- BROWN
 - 2A. REFLECTIVE GLASS PANEL
 - 2B. CLEAR GLASS PANEL ON STEEL FRAME
 - 2C. SPANDREL GLASS-GREY
 - 3A. METAL CEILING-WHITE

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www.mcplusa.ca

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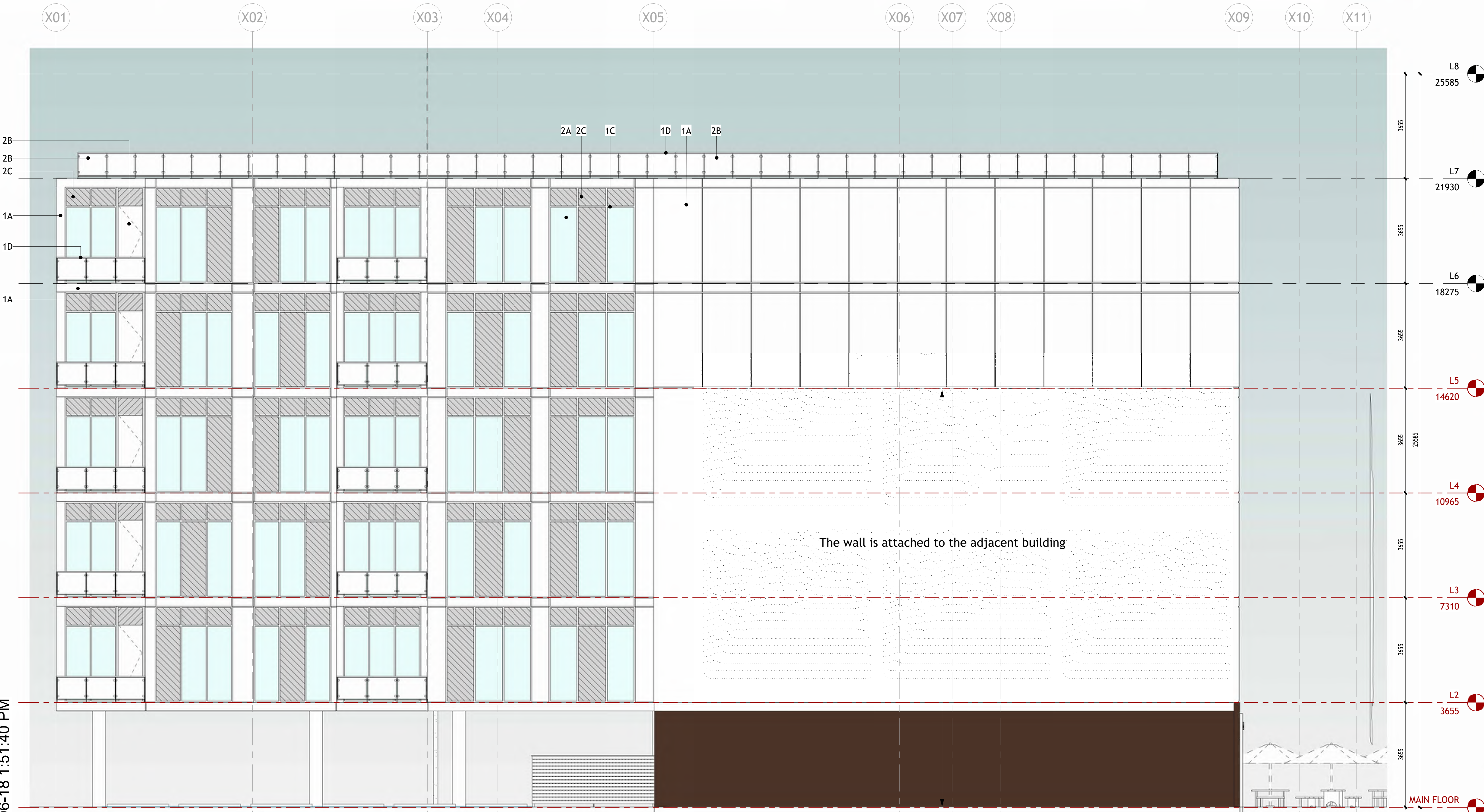
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BUILDING ELEVATIONS

Sheet Number
D3.00

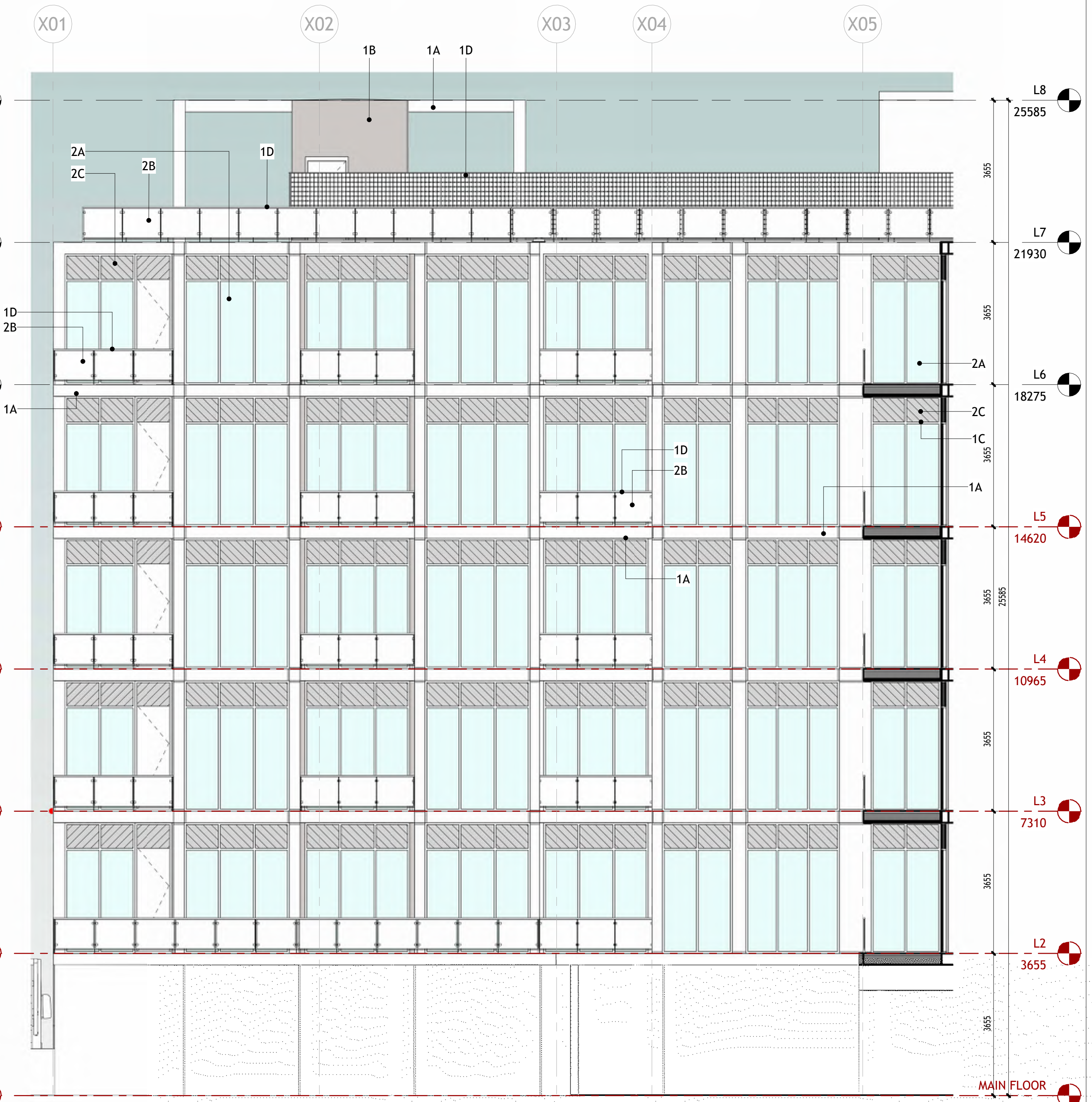
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1 NORTH ELEVATION
1 : 75



2 WEST ELEVATION 1
1 : 75



3 WEST ELEVATION 2
1 : 75

- LEGEND**
- PROPERTY LINE
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 - 2A. REFLECTIVE GLASS PANEL
 - 2B. CLEAR GLASS PANEL ON STEEL FRAME
 - 2C. SPANDREL GLASS-GREY
 - 3A. METAL CEILING-WHITE

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Sheet Title
BUILDING ELEVATIONS

Sheet Number
D3.01

2026-06-18 1:51:40 PM



1 VIEW-01-FROM SOUTH-12TH AV SW



2 VIEW-02 VIEW FROM NORTH LANE



3 VIEW 03-FROM EAST



4 VIEW 04 FROM WEST

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Tel: 403 - 269 - 5969 Fax: 403 - 233 - 8149
www.mcplusa.ca

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Sheet Title
PERSPECTIVES

Sheet Number
D5.00







