

ISSUED FOR DEVELOPMENT PERMIT



PERPECTIVE VIEW OF THE BUILDING

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phase / date

NOTE:

KEY PLAN

No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	2025.11.18

Project Title
MIXED USE DEVELOPMENT

Project Municipal Address
534/532 17 Avenue SW,
Calgary AB

Project Legal Address
Plan:A1;Block:107;Lot:37-43

MC+A file No.
MCA 1298

Phase
DEVELOPMENT PERMIT

Date
2025.11.18

Scale

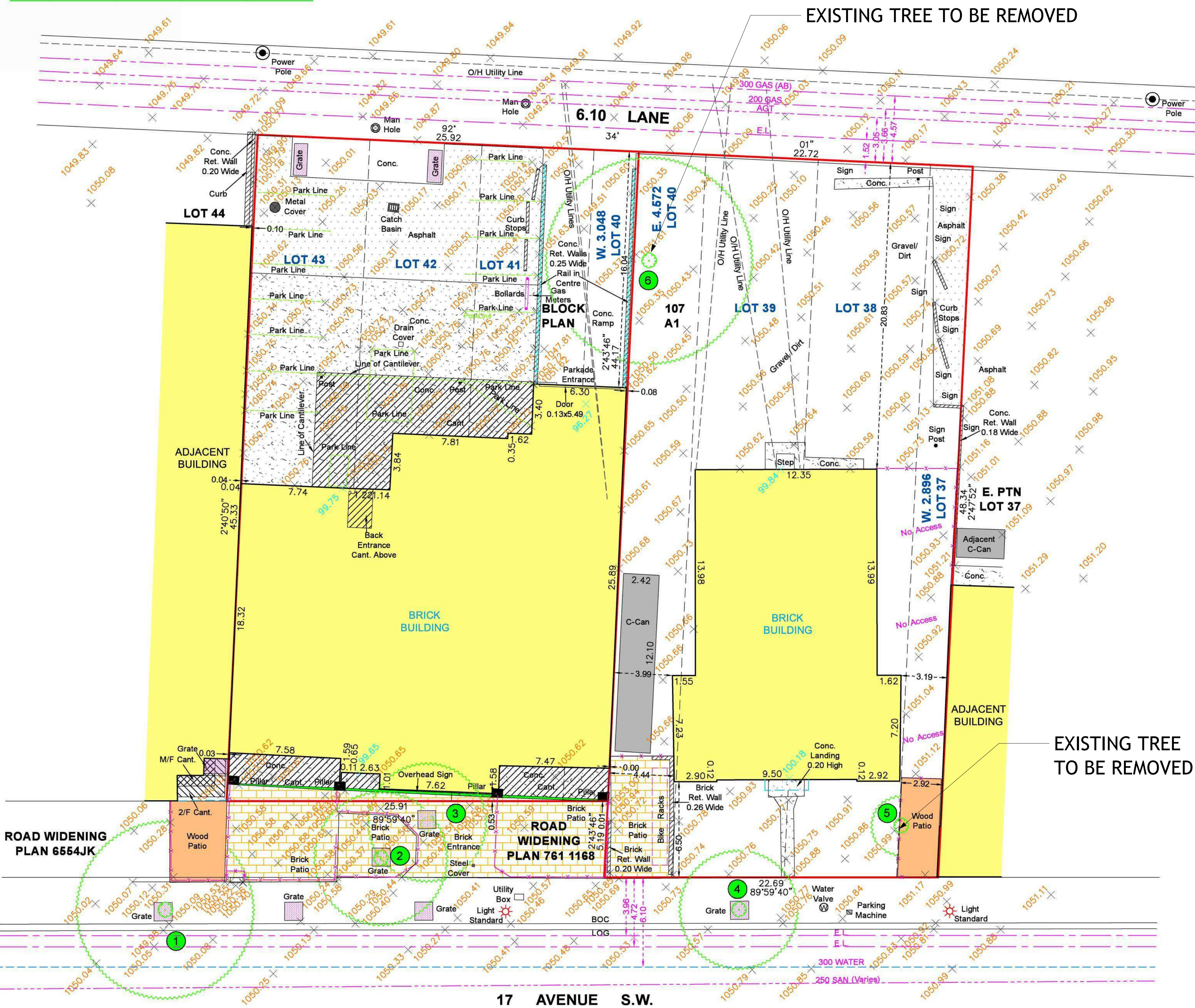
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Sheet Title
COVER SHEET

Sheet Number
D00.0

TREE SCHEDULE				
Tree #	Variety	Canopy (m)	Trunk (m)	Height (m)
1	DEC	6	0.3	10
2	DEC	9	0.5	11
3	DEC	8	0.6	11
4	DEC	8	0.4	10
5	DEC	4	0.1	3
6	DEC	14	0.8	11

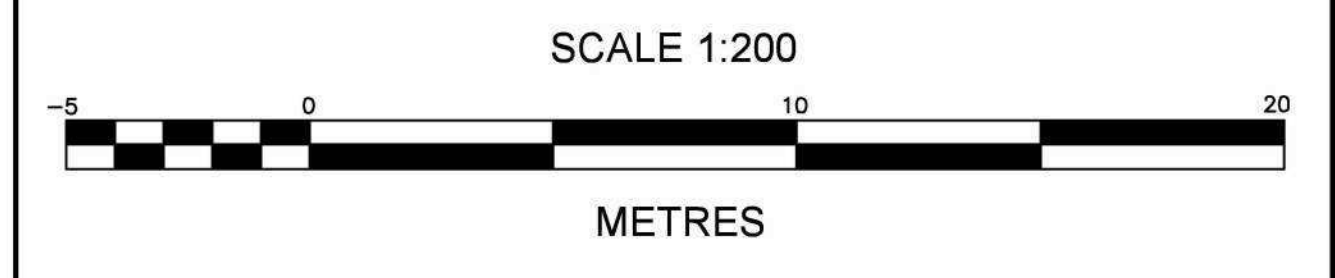


**CITY OF CALGARY
ALBERTA**

**PLAN SHOWING
SITE SURVEY
AFFECTING
W. 2.896 OF LOT 37, ALL OF LOTS
38, 39, 40, 41, 42 & 43, BLOCK 107,
PLAN A1, EXCEPTING THEREOUT
ROAD PLAN 761 1168
WITHIN
S.E. 1/4 SEC.16-24-1-W5M**

NOTES:
Distances shown are in metres and decimals thereof.
Location of underground utilities are copied from City of Calgary Block Profile sheets.
All elevations are geodetic elevations and are derived from ASCM 359000, Elevation = 1051.169

PROPERTY DESCRIPTION:
CLIENT:
STRATEGIC
MUNICIPAL ADDRESS:
532/534 - 17 AVENUE S.W.
CALGARY, ALBERTA
DATE OF SURVEY:
APRIL 1-3, 2025



LEGEND

Spot elevations are shown thus	+
New elevations are shown thus	+
Subject Property is shown thus	Red outline
Eave Fascia are shown thus	Blue dashed line
Fences are shown thus	Black dashed line
Building foundation shown thus	Black dashed line
Overhead Utilities shown thus	Black dashed line
Gas line shown thus	Blue dashed line
Sanitary Lines shown thus	Green dashed line
Storm lines shown thus	Red dashed line
Water lines shown thus	Blue dashed line
AGT Lines shown thus	Blue dashed line
E.L. Lines shown thus	Black dashed line
Deciduous trees are shown thus	Green circle with dots
Tree Canopy shown thus	Green circle with dots
Power Poles shown thus	Black circle with cross
Manhole shown thus	Black circle with dot
Water valve shown thus	Black circle with cross
Light Standards shown thus	Black circle with cross
Sign shown thus	Black circle with cross
Catch Basins shown thus	Black square

TOTAL
Total Geomatics & Consulting Inc

REVISED: September 30, 2025
REVISED: July 23, 2025

NITIN BANSAL A.L.S.	TOTAL GEOMATICS & CONSULTING INC.	DATE: April 10, 2025
DWN BY:CD	93 ROYAL CREST VIEW N.W., CALGARY	JOB NO: TG25-0082
CK'D BY:NB	T3G 5W5, ALBERTA, PH.:(403) 478 3635	ACAD FILE NO:TG25-0082SS

DISCLAIMER:
This plan represents best information at the time of Survey.
Total geomatics and Consulting Inc. and its employees take no responsibility for the location of any Underground Conduits, Pipes or any other facilities whether shown on or Omitted from this plan.
All underground installation should be located by the respective authorities prior to Construction
CALL ALBERTA ONE CALL: 1-800-242-3447



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1:1

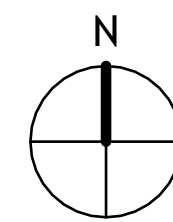
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Sheet Title
SURVEY

Sheet Number
D00.1

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Date	Description
2025.11.18	ISSUED FOR DEVELOPMENT PERMIT

PROPOSED MULTI-RESIDENTIAL

- ADDRESS : 534/532 17 Avenue SW, Calgary AB
- LEGAL ADDRESS : Plan:A1;Block:107;Lot:37-43
- LAND USE DESIGNATION : C-COR1f3.0h23 Commercial Corridor 1
- SITE AREA : 2,268sqm/ 24,415sqft / 0.23 ha
- BUILDING COVERAGE : Foot Print Area/ Site Area x 100
1,464.77 sqm/ 2,268 x100 = 64.58%
- MAX BUILDING HEIGHT : 24 metres
- FLOOR AREA RATIO : 4.0 ALLOWED (4.0 PROVIDED)
- PROPOSED GFA : 9,050.88 sqm/ 97,446.45 sqft

- FRONT SETBACK AREA
REQUIRED- NONE; MAX ALLOWED 3M, PROVIDED NONE

- REAR SETBACK AREA
REQUIRED 3M, PROVIDED 3M

- SIDE SETBACK AREA
RIGHT SIDE - NONE REQUIRED. LEFT SIDE - NONE REQUIRED

- NUMBER OF UNITS: 125 ; RETAIL AREA : 1036.25 SQM (11.45% OF GFA)
- BICYCLE PARKING
CLASS 1 FOR @0.5/UNIT = 62.5 - 63 STALLS (93 PROVIDED)
CLASS 2 FOR @0.1/UNIT = 12.5 - 13 STALLS (17 PROVIDED)
EXCES CLASS 1BIKE PARKING- 30
EXCES CLASS 2BIKE PARKING- 4

- MOTOR VEHICLE PARKING STALLS
RESIDENT PARKING @0.75 STALLS PER UNIT :93.75
VISITOR PARKING STALLS @0.1 STALLS PER UNIT :12.5
RETAIL PARKING @ 4PER 100 SQM GFA :41.45
TOTAL PARKING DEMAND: 147.7 = 148 STALLS
TOTAL PARKING PROVIDED: 49
RELAXATION REQUESTED: 99

- AMENITY SPACE
NUMBER OF UNITS WITHOUT BALCONIES: 49
REQUIRED @ 5.0 SQM/UNIT = 245 SQM
ROOFTOP GARDEN COMMON AMENITY PROVIDED: 255 SQM

WASTE CALCULATION

- RESIDENTIAL COMPONENT
TOTAL OF UNITS : 125 UNITS
WASTE PRODUCED PER WEEK PER UNIT : 0.24 M³ (0.3 YD³)
WASTE PRODUCED :30M³ (39.24YD³)
RECOMMENDATION:
RESIDENTIAL: 10 GARBAGE BINS - 4 YARDS EACH
ORGANIC (4) ; GARBAGE(3); RECYCLE (3)
- RETAIL COMPONENT - EXISTING BUILDING + NEW CONSTRUCTION
TOTAL RETAIL AREA : 1,036.25 M²
WASTE GENERATED = : 3.108M³
WASTE PRODUCED : 3.2M³ (4.18YD³)
- RECOMMENDATION:
RETAIL: 3 GARBAGE BINS - 2 YARDS EACH
ORGANIC (1) ; GARBAGE(1); RECYCLE (1)

Area Schedule		
Level	Name	Area
MAIN FLOOR	CRU 1	609.91 m ²
MAIN FLOOR	534 STAIRS	19.49 m ²
MAIN FLOOR	CRU 2	426.33 m ²
MAIN FLOOR	RESIDENTIAL AND CRU 1/2 W/ER	162.49 m ²
MAIN FLOOR	CIRCULATION	138.5 m ²
MAIN FLOOR	MAIL	26.27 m ²
MAIN FLOOR	ELEVATOR	13.83 m ²
MAIN FLOOR	MEP	17.53 m ²
MAIN FLOOR	OFFICE	19.32 m ²
MAIN FLOOR	532 STAIRS	18.34 m ²
MAIN FLOOR	VESTIBULE	12.76 m ²
LEVEL 2	L2 - 534	733.01 m ²
LEVEL 2	L2 - 532	777.1 m ²
LEVEL 3	L3 - 534	742.28 m ²
LEVEL 3	L4 - 532	776.72 m ²
L4	L4 - 532	776.72 m ²
L4	L4 - 534	742.28 m ²
L5	L5 - 532	776.72 m ²
L5	L5 - 534	742.28 m ²
LEVEL 6	L6 - 532	776.72 m ²
LEVEL 6	L6 - 534	742.28 m ²
Grand total:	21	9050.88 m ²

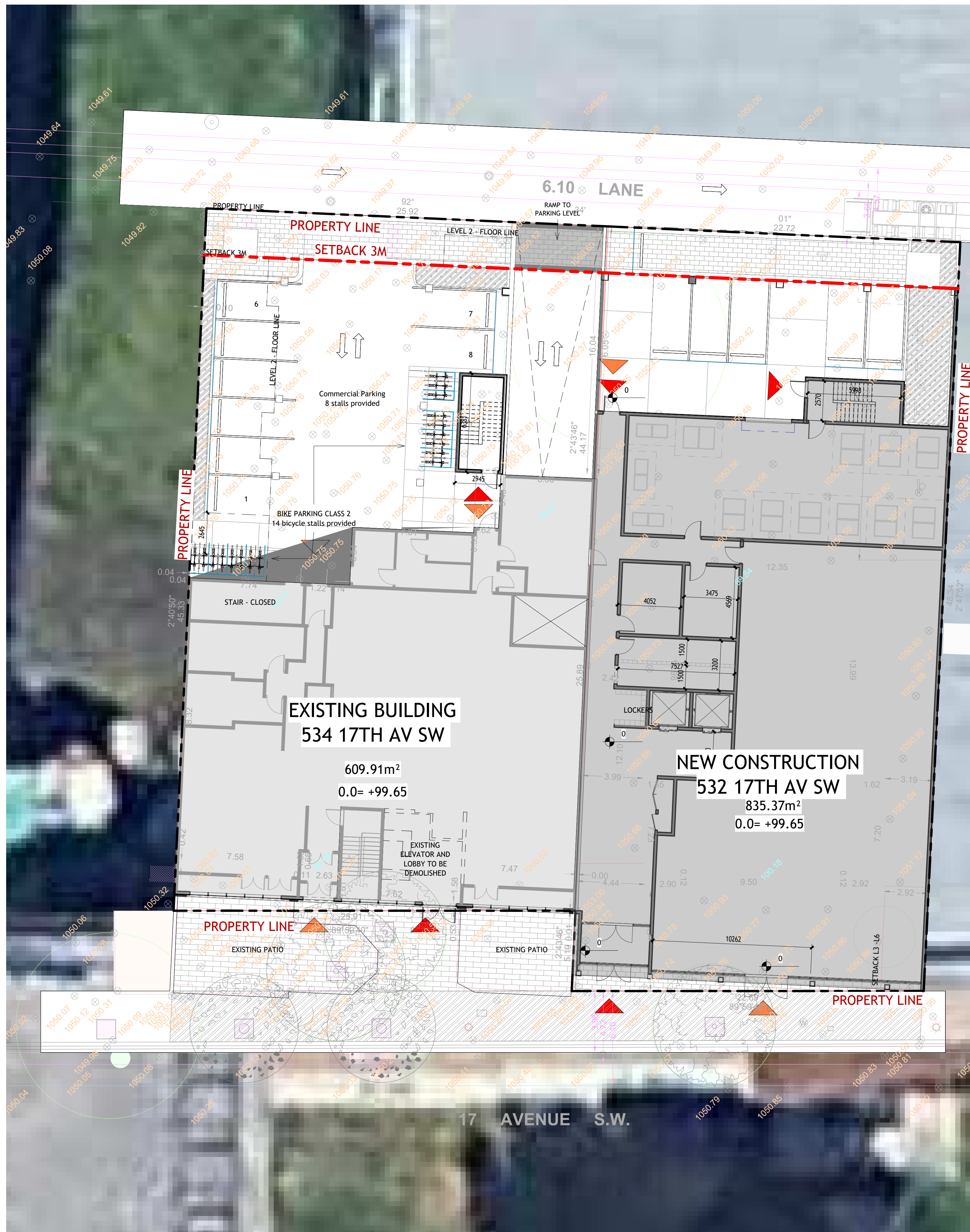
CRU area		
Level	Name	Area
MAIN FLOOR	CRU 1	609.91 m ²
MAIN FLOOR	CRU 2	426.33 m ²
Grand total:	2	1036.25 m ²

Parking Schedule - BIKES			
Type	Count	No. Of Bikes	
PARKADE			
CLASS 1 BIKE STALL- (1 pax)	5	5	
CLASS 2 BIKE STALL(2PAX)	44	88	
MAIN FLOOR			
CLASS 2 BIKE STALL- (1 pax)	1	1	
CLASS 2-BIKE STALL(2PAX)	8	16	

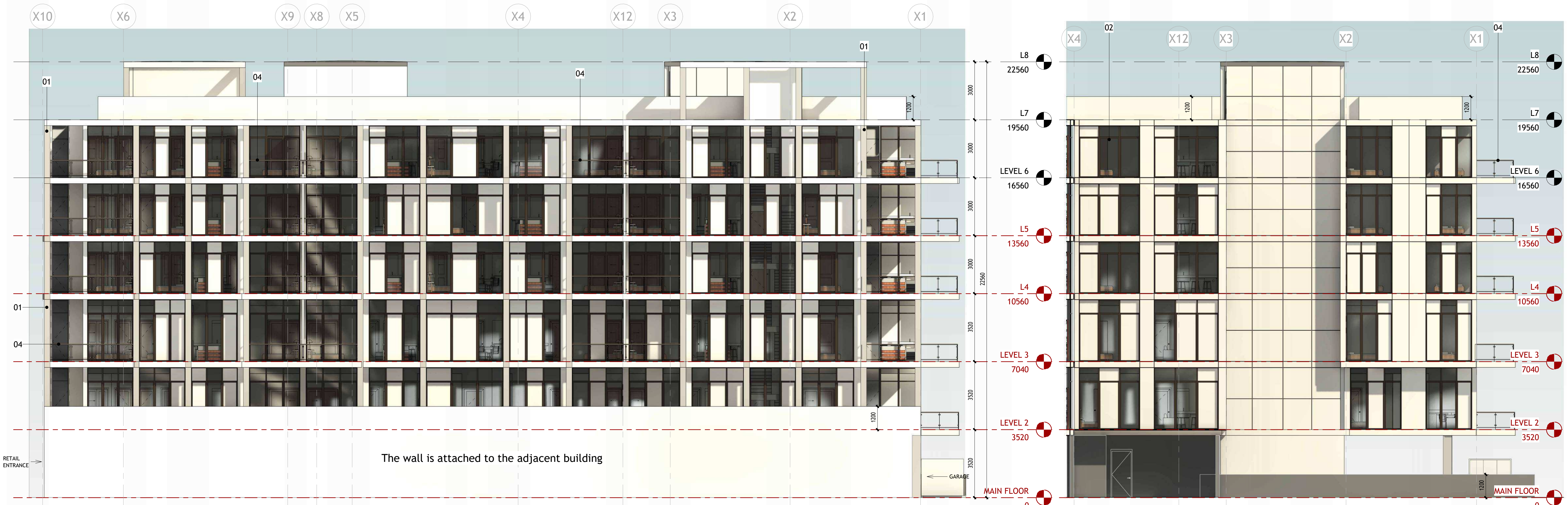
Parking Schedule - VEHICLES		
Type	Count	
PARKADE		
PARKING 2500 X 5400	25	
PARKING-2850 X 5400	9	
PARKING- ADA- 2400 +2400 x 5500	2	
MAIN FLOOR		
PARKING 2500 X 5400	12	
PARKING-2850 X 5400	1	
	49	

- LEGEND**
- PROPERTY LINE
 - SETBACK
 - MATCH LINE FOR EXISTING & NEW BUILDING
 - EXISTING BUILDING LEVEL
 - EXISTING COLUMN
 - EXISTING WALL
 - EXISTING FLOOR
 - BALCONY
 - RETAIL ENTRY/ EXIT
 - RESIDENTIAL ENTRY/ EXIT
- NOTES**

DESIGN IS SUBJECT TO MODIFICATIONS BASED ON FINDINGS FROM THE AS-BUILT DRAWINGS OF THE EXISTING BUILDING STRUCTURE ON 534 17TH AV SW AND AS DETERMINED BY THE STRUCTURAL CONSULTANT



1 SITE PLAN
1 : 150



1 EAST ELEVATION 1
1 : 100

3 EAST ELEVATION 2
1 : 100



2 SOUTH ELEVATION 1
1 : 100

4 SOUTH ELEVATION 2
1 : 100

- LEGEND**
- — — — — PROPERTY LINE
 - - - - - SETBACK
 - - - - - MATCH LINE FOR EXISTING & NEW BUILDING
 - - - - - EXISTING BUILDING LEVEL
 - █ EXISTING COLUMN
 - █ EXISTING WALL
 - █ EXISTING FLOOR
 - █ BALCONY
 - ▲ RETAIL ENTRY/ EXIT
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- MATERIAL LEGEND**
1. ACM
 2. REFLECTIVE GLASS PANEL
 3. CLEAR GLASS PANEL ON STEEL FRAME
 4. CLEAR GLASS RAILING
 5. ACM PARAPET
 6. MOUNTAIN CEDAR
 7. BELLARA STEEL SIDING

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Sheet Title
BUILDING ELEVATIONS

Sheet Number
D3.00

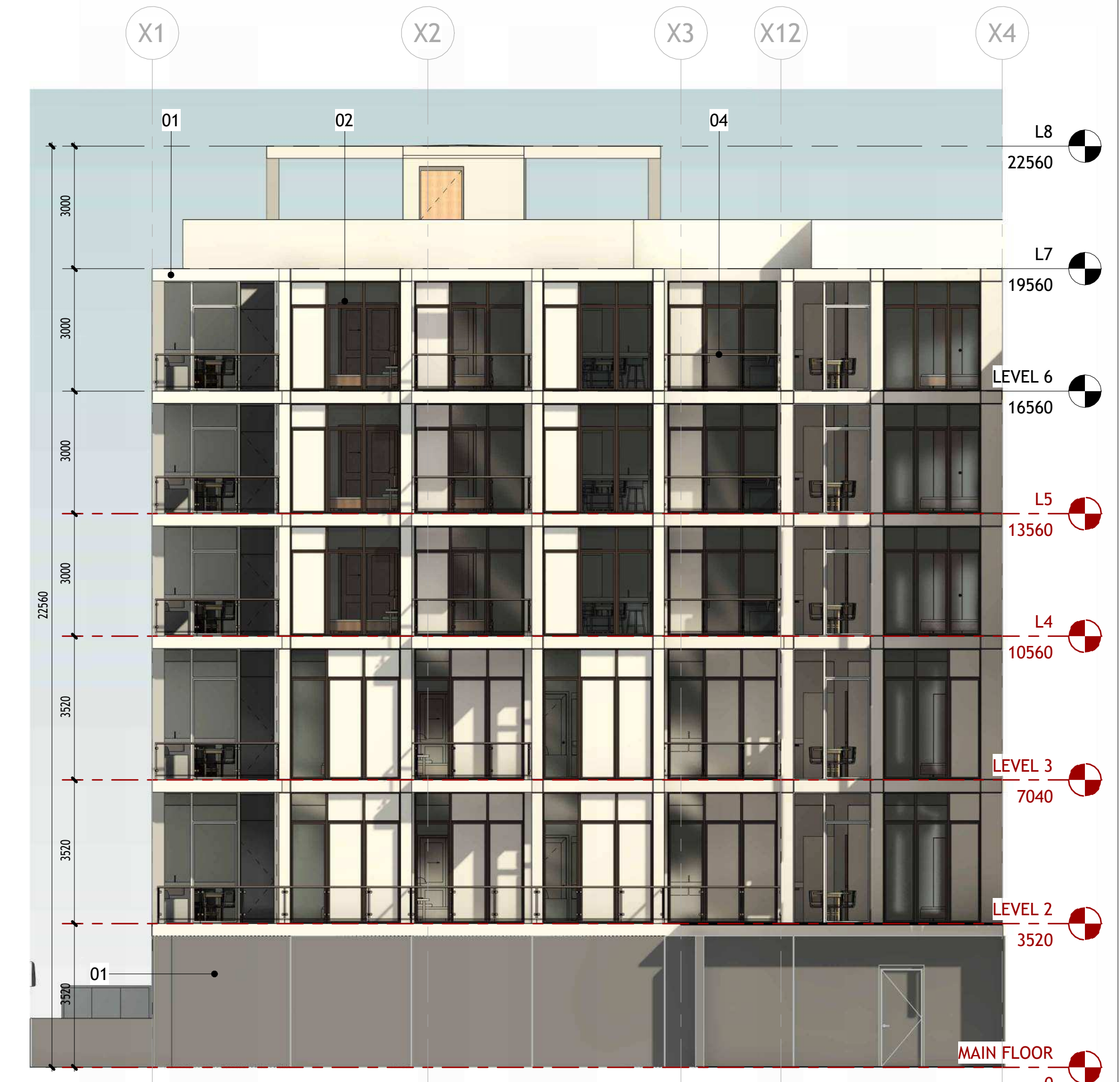
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1 NORTH ELEVATION
1 : 100



2 WEST ELEVATION 1
1 : 100



3 WEST ELEVATION 2
1 : 100

LEGEND

1. ACM
2. REFLECTIVE GLASS PANEL
3. CLEAR GLASS PANEL ON STEEL FRAME
4. CLEAR GLASS RAILING
5. ACM PARAPET
6. MOUNTAIN CEDAR BELLARA STEEL CEILING
7. BELLARA STEEL SIDING

LEGEND

- PROPERTY LINE
- SETBACK
- MATCH LINE FOR EXISTING & NEW BUILDING
- EXISTING BUILDING LEVEL
- EXISTING COLUMN
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Sheet Title
BUILDING ELEVATIONS

Sheet Number
D3.01

2025-11-18 10:01:27 AM



1 VIEW-01-FROM SOUTH-12TH AV SW



2 VIEW-02 VIEW FROM NORTH LANE



3 VIEW 03-FROM EAST



4 VIEW 04 FROM WEST

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Sheet Title
PERSPECTIVES

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D5.00