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PROPOSED

CHEYCRES RESIDENTIAL DEVELOPMENT

4 CHEYENNE CRESCENT N.W. CALGARY, AB

WESTERLY 5FT OF LOT 42; LOT 43; BLOCK 1; PLAN 9046HO

ISSUED FOR DEVELOPMENT PERMIT

DRAWING INDEX

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DP.01	REVIEW & ANALYSIS
DP.02	SURVEY PLAN
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DP.04	SITE PLAN
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DP.10	SHADOW STUDY
DP.11	SHADOW STUDY

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: First The Westerly 5ft (1.52m) of Lot 42 Second All of Lot 43 Block 1 Plan 9046H0

MUNICIPAL ADDRESS: 4 Cheyenne Crescent N.W. Calgary, Alberta

DATE OF SURVEY: October 29th, 2025.

LEGEND Elevations are shown thus: X = 1000.00 Metres. (Geodetic) Elevations are referred to ASCM 115824 Elev.=1099.95 Distances are in metres and decimals thereof. Bearings are Grid (3TM-114W) and Derived from GNSS Observations. Found Iron Posts are shown thus: Found Iron Bars are shown thus: Magnetic Nails are shown thus: Calculation points are shown thus: Fire Hydrants are shown thus: Water Valves are shown thus: Gas Valves are shown thus: Power Poles are shown thus: Lamp Standards are shown thus: Street Signs are shown thus: Property lines are shown thus: Eaves are shown thus: Fences are shown thus: Streetlight Cables are shown thus: Underground Electrical lines shown thus: Stormline are shown thus: Sanitaryline are shown thus: Combined Storm/Sanitary are shown thus: Telephone Lines are shown thus: Waterline are shown thus: Gasline are shown thus: Overhead Electrical lines shown thus: All fences are within 0.2 metres of the property lines unless otherwise shown. All eaves are measured to fascia unless otherwise shown. Unless noted otherwise lines outside of property are not to scale.

NOTE: Title information is based on the C. of T. 131.316.452 which was searched on the 4th day of November, 2025, and is subject to: No Pertinent Registration.

ABBREVIATIONS A---Arc Length Acc---Accessory A/C---Air Conditioner Bldg---Building BOC---Back of Curb BOW---Back of Walk Calc---Calculated Cantl---Cantilever Conc---Concrete C.S---Countersunk DH---Drill Hole Enc---Encroaches EOA---Edge of Asphalt EOR---Edge of Road Fd---Found I---Iron Post I.B---Iron Bar LGC---Lip of Gutter M.A---Maintenance Access Mk---Mark M.N---Magnetic Nail O.D---Overland Drainage R---Radius Reg---Registration Ret---Retaining R/W---Right of Way W/O---Walkout Basement W.W---Window Well

This plan represents the best information at the time of survey. Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction. Call Alberta One-Call: 1-800-242-3447

--- denotes Coniferous --- denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Deciduous	0.30	6.00	7.00
2	Deciduous	0.30	6.00	8.00
3	Trunk	0.40	---	---
4	Bush	---	1.20	1.20
5	Bush	---	1.90	1.80
6	Deciduous	0.10	3.00	5.00
7	Deciduous	0.40	6.00	6.00
8	Coniferous	0.80	6.00	13.00
9	Bush	---	1.20	1.00
10	Deciduous	0.35	6.00	8.00
11	Deciduous	0.18	5.00	8.00
12	Deciduous	0.22	7.00	7.00
13	Deciduous	0.30	5.00	8.00

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Project Title: Cheyres Residential Development

Legal Address: Westerly 5ft of Lot 42, Lot 43, Block 1 Plan 9046 H0

Municipal Address: 4 Cheyenne Crescent N.W. Calgary, AB

NOT FOR CONSTRUCTION

1 Issued for Review 16 Nov 2025 2 Issued for CP 19 Nov 2025 3 Issued for Review 11 Feb 2026 4 Issued for DR 1 03 Mar 2026 5 Issued for CR 1 20 May 2026

Drawing Title

SURVEY PLAN

Scale

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Date

20 May 2026

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DP.02

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1 KEY PLAN
1:5

Key Plan:

Seat

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Cheyres Residential Development

Legal Address:
Westerly 5ft of Lot 42;
Lot 43; Block 1 Plan 9046 HO

Municipal Address:
4 Cheyenne Crescent N.W.
Calgary, AB

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1 Issued for Review	14 Nov 2022
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3 Issued for Review	11 Feb 2023
4 Issued for DR 1	03 Mar 2023
5 Issued for DR 1	20 May 2023

Drawing Title:

KEY PLAN. STREETSCAPE ELEVATIONS

TABLE 1. Continued

Scale:

As indicated

Date:
20 May 2026

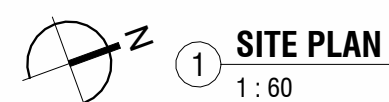
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Project Title:
Cheyres Residential Development

Legal Address:
Westerly 5ft of Lot 42,
Lot 43, Block 1 Plan 9046 HC

Municipal Address:
4 Cheyenne Crescent N.W.,
Calgary, AB

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Drawing Title

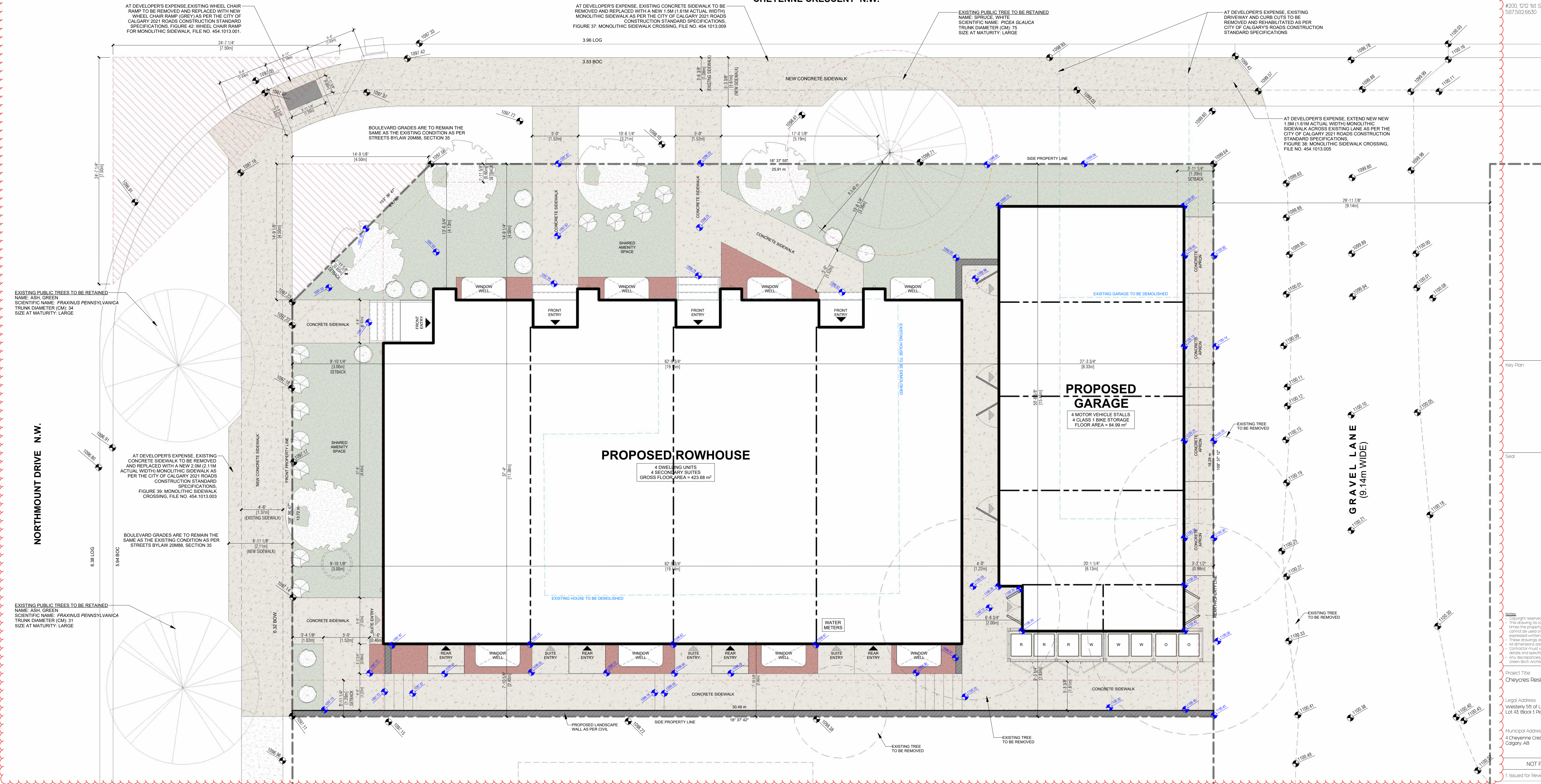
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CHEYENNE CRESCENT N.W.



1 LANDSCAPE PLAN
1:60

LEGEND:

- PROPOSED BUILDING
- SOD (SOFTSCAPE)
- MULCH (SOFTSCAPE)
- CONCRETE (HARDSCAPE)
- WASHED ROCK (HARDSCAPE)
- PROPOSED ENTRY

PROPOSED PLANTING LEGEND:

- TREES DECIDUOUS**
REQUIRED: 1 per 110m² OF PARCEL
= 5 TREES
PROVIDED: 5 TREES
CALLIPER: 60mm MINIMUM
- SHRUBS**
REQUIRED: 3 per 110m² OF PARCEL
= 20 SHRUBS
PROVIDED: 22 SHRUBS
HEIGHT: 0.6m MINIMUM @ PLANTING
- PROPOSED SOD**
NAME: KENTUCKY BLUEGRASS
(*Poa pratensis*)
- PROPOSED TREE PLANTING**
NAME: COLUMNAR COLORADO SPRUCE
(*Picea pungens* "Fastigiata")
QTY: 5
SIZE: 15ft (H); 6ft (W)
- PROPOSED SHRUBS**
NAME: MUGO PINE
(*Pinus mugo*)
QTY: 11 PROVIDED
SIZE: Min. Height or Spread of 0.60m at time of planting
- KARL FOERSTER REED GRASS**
(*Calamagrostis acutifolia* "Karl Foerster")
QTY: 11 PROVIDED
SIZE: Min. Height or Spread of 0.60m at time of planting

LANDSCAPING STAT:

- PARCEL AREA:** 546.77 m²
PRINCIPAL BUILDING: 212.62 m²
DETACHED GARAGE: 79.91 m²
GARAGE APRON: 5.90 m²
WASTE BINS PAD: 7.41 m²
LANDSCAPE AREA: 211.28 m²
- HARD LANDSCAPING:**
CONCRETE: 108.78 m²
- SOFT LANDSCAPING:**
SOD (KENTUCKY BLUEGRASS): 95.82 m²
MULCH: 6.68 m²
102.50 m²
- SOFT LANDSCAPE COVERAGE = 48.51%**

NOTES:

- ALL SOFT LANDSCAPED AREA TO BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
- MIN. SOIL DEPTH REQUIRED FOR SOD = 300mm
- MIN. SOIL DEPTH REQUIRED FOR SHRUBS = 600mm
- MIN. SOIL DEPTH REQUIRED FOR TREES = 1,200mm

TREE TABLE

#	Variety	Species	Trunk	Canopy	Height	Owner	Status
T1	Deciduous	Ash, Green	0.34	6.00	7.00	Public	Retained
T2	Deciduous	Ash, Green	0.31	6.00	8.00	Public	Retained
T6	Deciduous		0.10	3.00	5.00	Private	Removed
T7	Deciduous		0.40	6.00	6.00	Private	Removed
T8	Coniferous	Spruce, White	0.80	6.00	13.00	Public	Retained
T10	Deciduous		0.35	6.00	8.00	Private	Removed
T11	Deciduous		0.18	5.00	8.00	Private	Removed
T12	Deciduous		0.22	7.00	7.00	Private	Removed
T13	Deciduous		0.30	5.00	8.00	Private	Removed

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Project Title:
Cheyres Residential Development

Legal Address:
Westerly St of Lot 42,
Lot 43, Block 1 Plan 9046 H0

Municipal Address:
4 Cheyenne Crescent N.W.
Calgary, AB

NOT FOR CONSTRUCTION

- | | |
|---------------------|-------------|
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| 2 Issued for CP | 19 Nov 2025 |
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| 4 Issued for DR 1 | 03 Mar 2026 |
| 5 Issued for CR 1 | 20 May 2026 |

Drawing Title:

LANDSCAPE PLAN

Scale:
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Date:
20 May 2026
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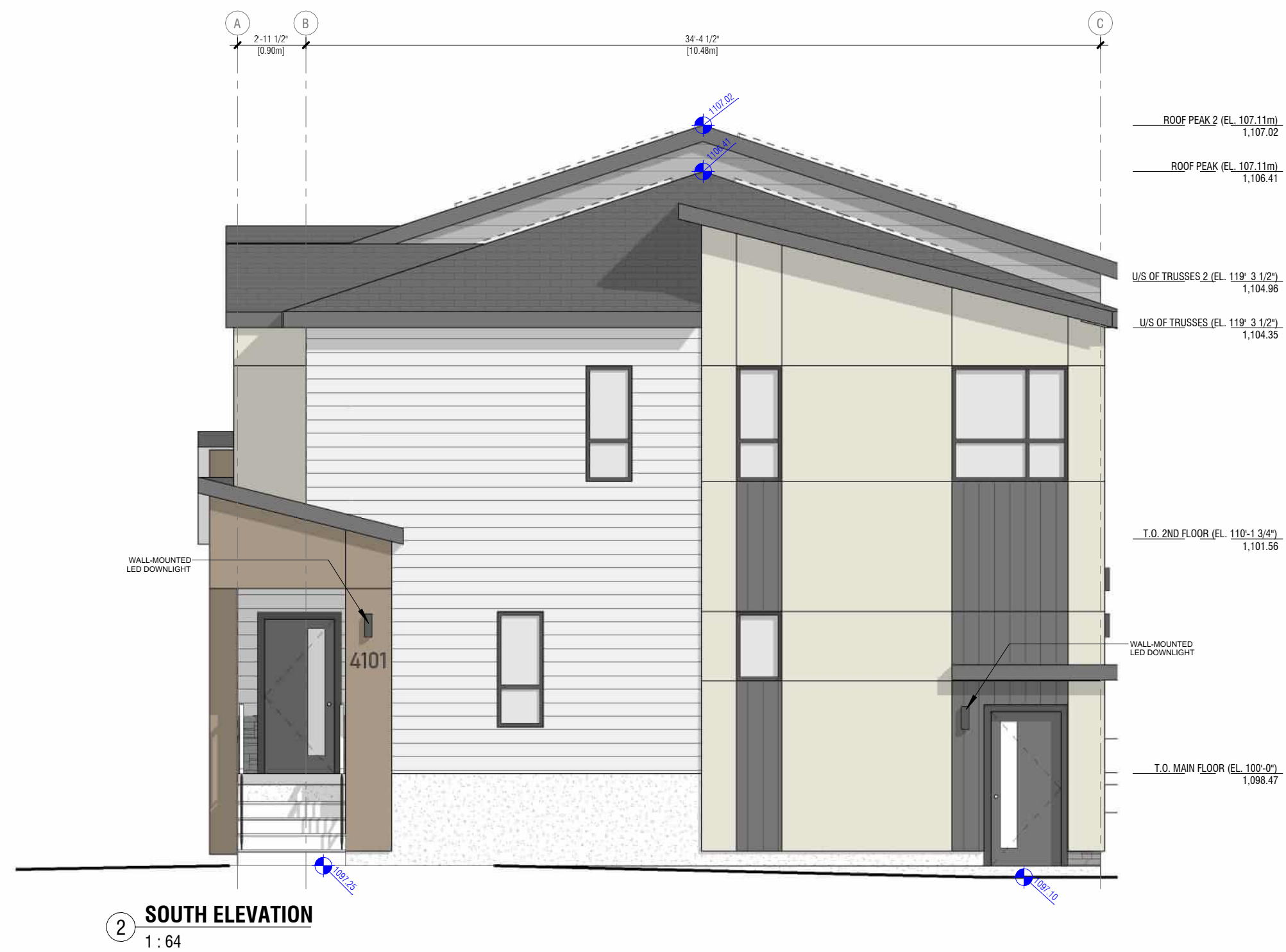
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MATERIAL LEGEND:

AS-1	ROOFING 1 MAT'L 30-YEAR ASPHALT SHINGLES MFR IKO - DYNASTY COLOR GRANITE BLACK	SB-1	WALL CLADDING 4 MAT'L SMART PANEL MFR LP SMARTSIDE COLOR SAND DUNES
FR-1	FASCIA/RAINFWARE MAT'L ALUMINUM/ METAL MFR MITTEN COLOR IRON ORE	SB-2	WALL CLADDING 5 MAT'L SMART PANEL MFR LP SMARTSIDE COLOR TERRA BROWN
LP-1	WALL CLADDING 1 MAT'L SIDING MFR LP SMARTSIDE COLOR SNOWSCAPE WHITE	MS-1	MASONRY 1 MAT'L MANUFACTURED STONE MFR DUTCH QUALITY STONE COLOR STACK LEDGE
LP-2	WALL CLADDING 2 MAT'L SIDING MFR LP SMARTSIDE COLOR CAVERN STEEL	MS-2	MASONRY 2 MAT'L CONCRETE PAVING COLOR GREY
LP-3	WALL CLADDING 3 MAT'L SIDING MFR LP SMARTSIDE COLOR MIDNIGHT SHADOW	FR-1	BALCONY RAILINGS MAT'L PREFINISHED METAL COLOR SW 9560 NIGHT OUT

Key Plan:

Seal:

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Drawing Title

ELEVATIONS

Scale:

As Indicated

Date:

20 May 2026

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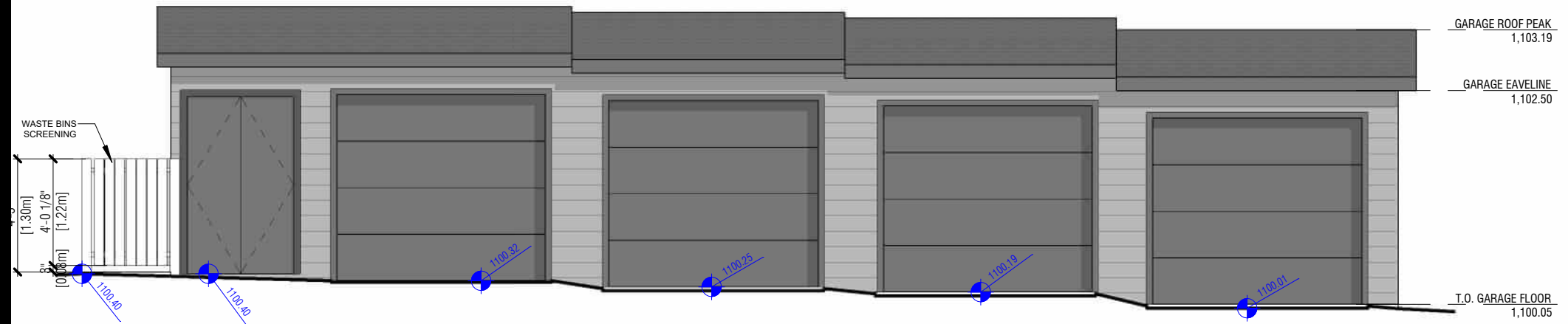
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2 GARAGE ELEVATION 1

1 : 64



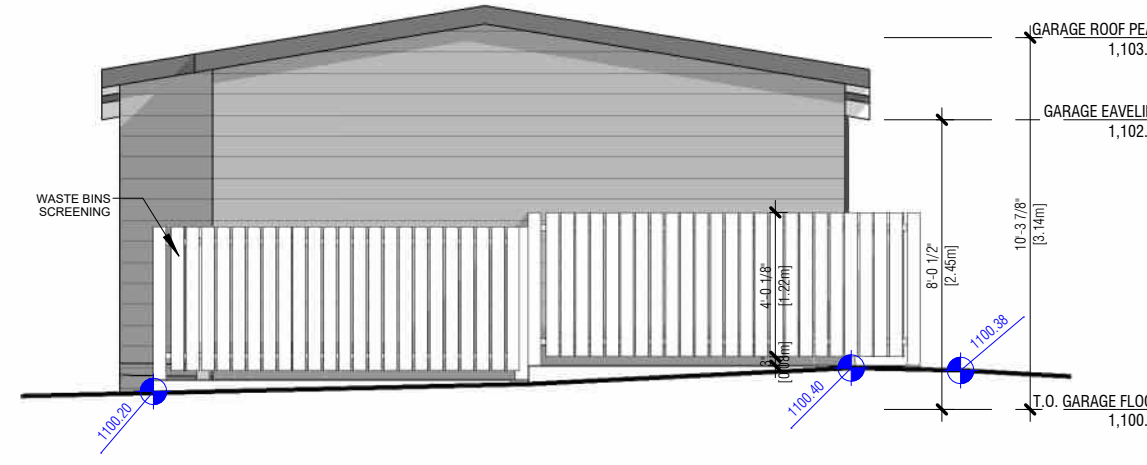
3 GARAGE ELEVATION 3

1 : 64



4 GARAGE ELEVATION 2

1 : 64



5 GARAGE ELEVATION 4

1 : 64

MATERIAL LEGEND:

AS-1	ROOFING 1 MAT'L 30-YEAR ASPHALT SHINGLES MFR IKO - DYNASTY COLOR GRANITE BLACK	SB-1	WALL CLADDING 4 MAT'L SMART PANEL MFR LP SMARTSIDE COLOR SAND DUNES
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LP-2	WALL CLADDING 2 MAT'L SIDING MFR LP SMARTSIDE COLOR CAVERN STEEL	MS-2	MASONRY 2 MAT'L CONCRETE PAVING COLOR GREY
LP-3	WALL CLADDING 3 MAT'L SIDING MFR LP SMARTSIDE COLOR MIDNIGHT SHADOW	FR-1	BALCONY RAILINGS MAT'L PREFINISHED METAL COLOR SW 9560 NIGHT OUT

Key Plan:

Seal:

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Drawing Title

GARAGE

Scale:

As Indicated

Date:

20 May 2026

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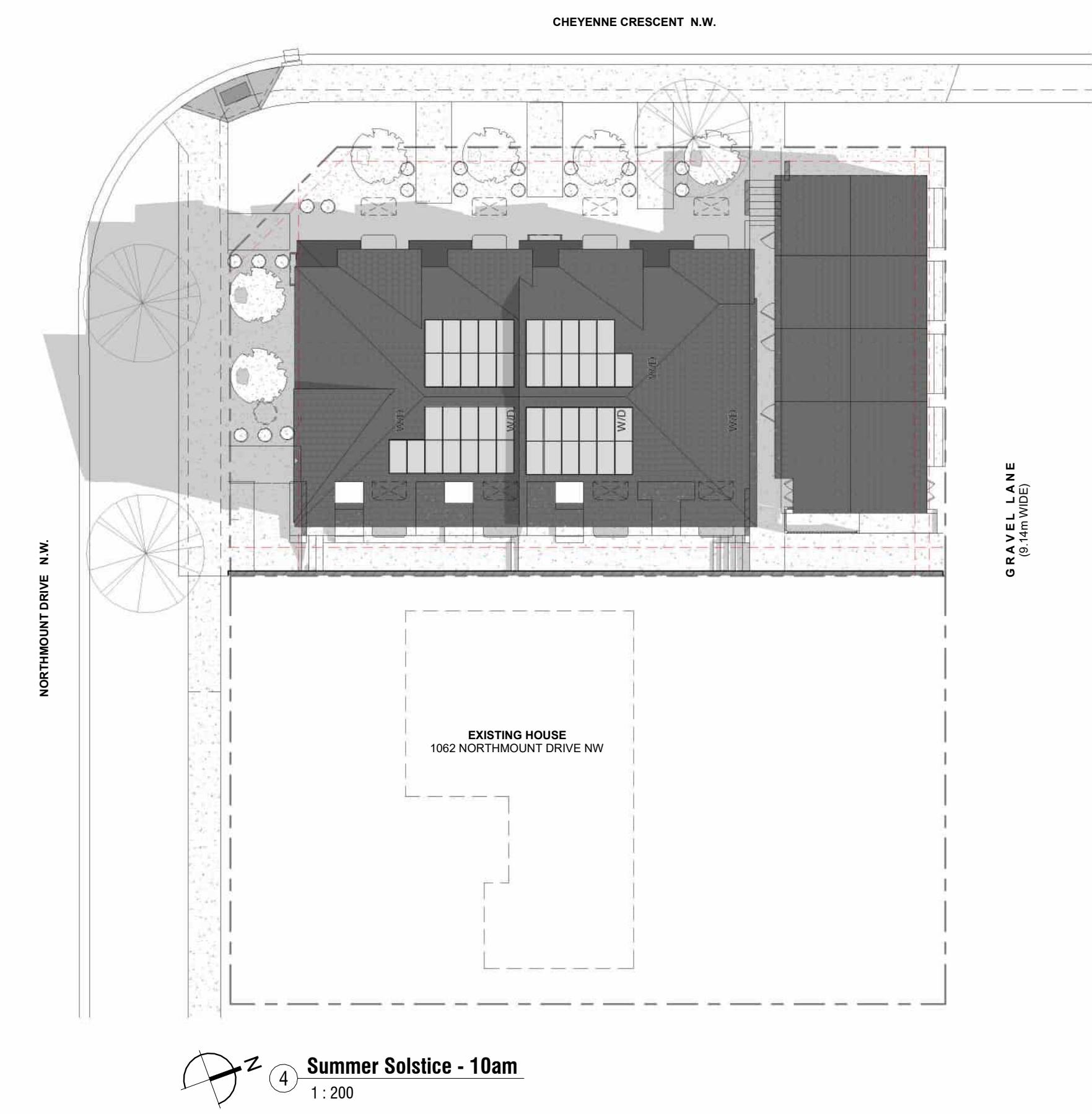
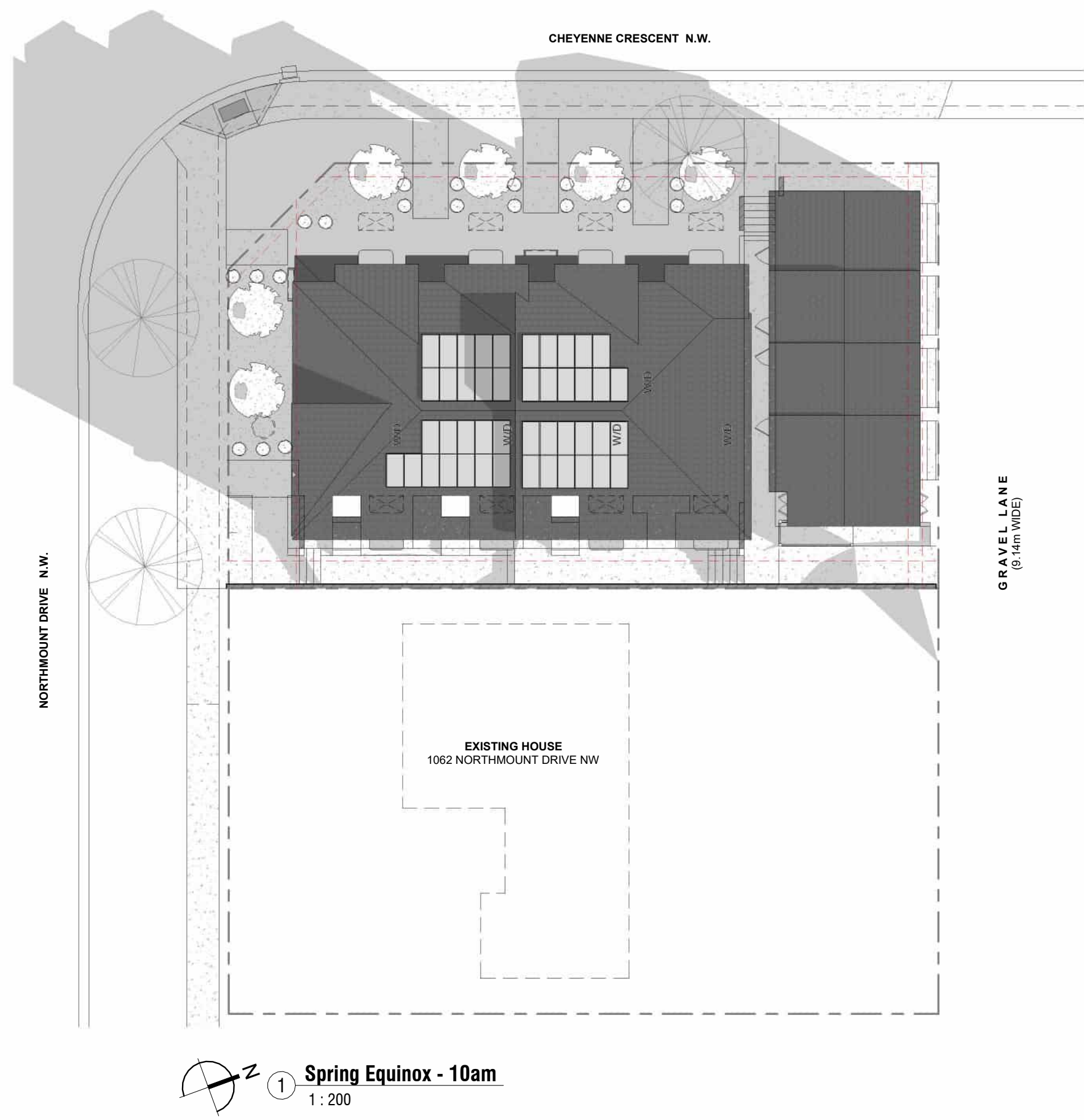
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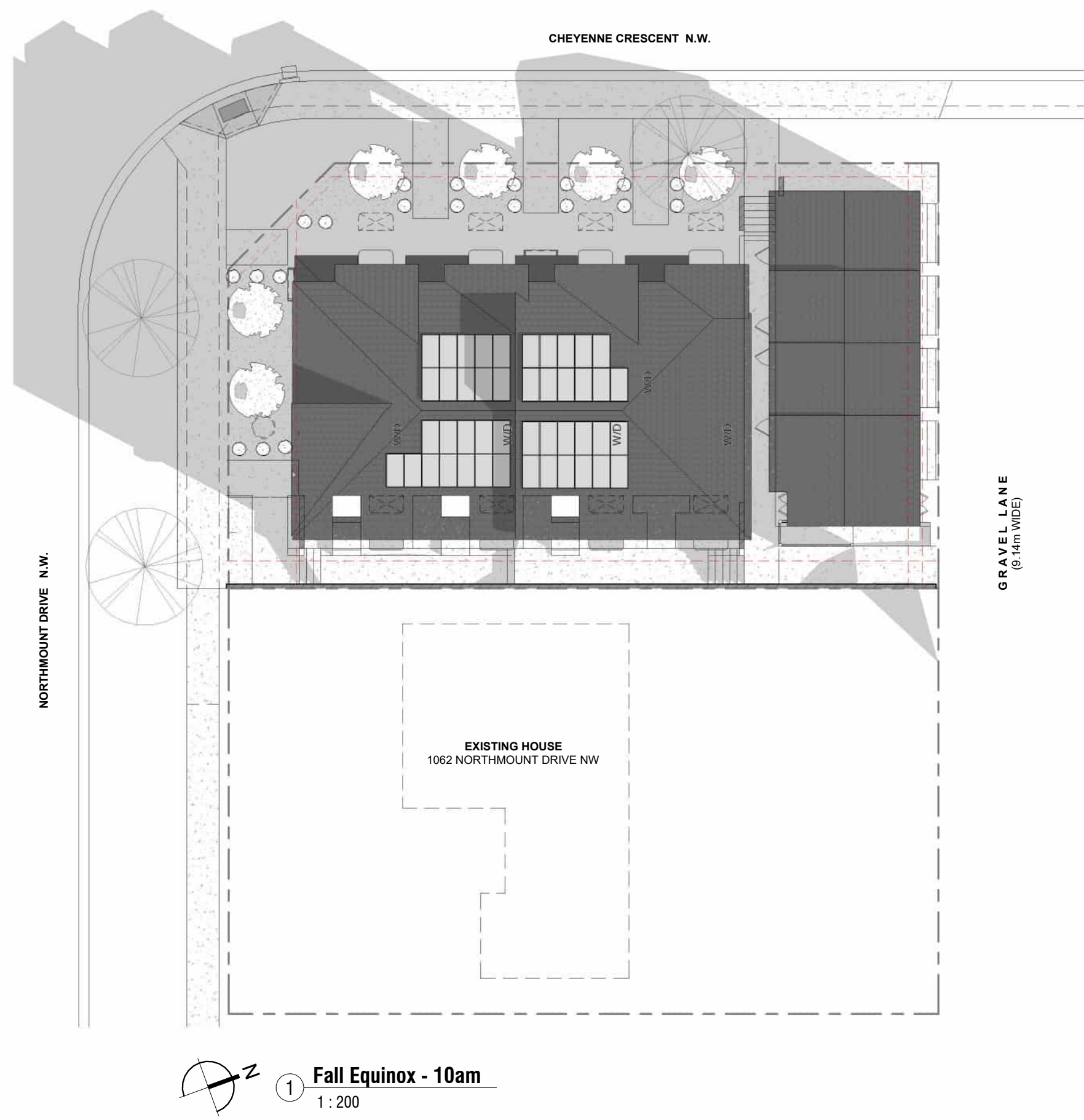
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SHADOW STUDY	
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Drawing Title

SHADOW STUDY

Scale: As Indicated	Sheet No: DP.11
Date: 20 May 2026	
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DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: First
The Westerly 5ft (1.52m) of Lot 42
Second
All of Lot 43
Block 1
Plan 9046HO

MUNICIPAL ADDRESS: 4 Cheyenne Crescent N.W.
Calgary, Alberta
DATE OF SURVEY: October 29th, 2025.
DATE OF UPDATE: April 20th, 2026.

LEGEND
Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASOM 115824 Elev.=1099.95
Distances are in metres and decimals thereof.
Bearings are Grid (STM-114°W) and Derived from GNSS Observations.
Found Iron Posts are shown thus: _____
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Fire Hydrants are shown thus: _____
Water Valves are shown thus: _____
Gas Valves are shown thus: _____
Power Poles are shown thus: _____
Manholes are shown thus: _____
Lamp Standards are shown thus: _____
Street Signs are shown thus: _____
Property lines are shown thus: _____
Utility Right of Way are shown thus: _____
Eaves are shown thus: _____
Fences are shown thus: _____
Streetlight Cables are shown thus: _____
Underground Electrical lines shown thus: _____
Stormline are shown thus: _____
Sanitaryline are shown thus: _____
Combined Storm/Sanitary are shown thus: _____
Telephone Lines are shown thus: _____
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NOTE:
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No Pertinent Registration.

ABBREVIATIONS
A--Arc Length
Acc.--Accessory
A/C--Air Conditioner
Bldg--Building
BOC--Back of Curb
BOW--Back of Walk
Calc.--Calculated
Cant.--Cantilever
Conc.--Concrete
C.S.--Countersunk
DH--Drill Hole
Enc.--Encroaches
EOA--Edge of Asphalt
EOR--Edge of Road
Fd.--Found
I--Iron Post
I.B.--Iron Bar
LOG--Lip of Gutter
M.A.--Maintenance Access
Mk.--Mark
M.N.--Magnetic Nail
O.D.--Overland Drainage
R--Radius
Reg.--Registration
Ret.--Retaining
R/W--Right of Way
W/O--Walkout Basement
W.W.--Window Well

This plan represents the best information at the time of survey.
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Call Alberta One-Call: 1-800-242-3447

--- denotes Coniferous
--- denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Deciduous	0.30	6.00	7.00
2	Deciduous	0.30	6.00	8.00
3	Trunk	0.40	---	---
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5	Bush	---	1.90	1.80
6	Deciduous	0.10	3.00	5.00
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8	Coniferous	0.80	6.00	13.00
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10	Deciduous	0.35	6.00	8.00
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12	Deciduous	0.22	7.00	7.00
13	Deciduous	0.30	5.00	8.00

