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PROPOSED

CHEYCRES RESIDENTIAL DEVELOPMENT

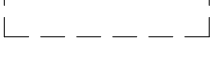
4 CHEYENNE CRESCENT N.W. CALGARY, AB

WESTERLY 5FT OF LOT 42; LOT 43; BLOCK 1; PLAN 9046HO

ISSUED FOR DEVELOPMENT PERMIT

DRAWING INDEX	
SHEET #	SHEET NAME
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DP.05	LANDSCAPE PLAN
DP.06	BUILDING PLANS
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DP.08	SECTIONS
DP.09	GARAGE

LEGEND

Existing Property Line.....	---
Existing Setback Lines.....	- - - - -
Proposed Concrete.....	
Proposed Dwellings.....	
Proposed Cantilever.....	
Proposed Garage.....	
Proposed Roof Overhang.....	- - - - -
Proposed Mulch.....	
Proposed Decorative Stone.....	
Proposed Sod.....	
Windows.....	W
Doors.....	D
Garage Door.....	GD
Overhead Door.....	OD
Existing Geodetic.....	 101.23
Proposed Geodetic.....	 101.23

CODE REVIEW

This analysis is based of the National Building Code of Canada, Alberta Edition, 2023

DESCRIPTION:
Rowhouse building and garage
• Number of dwelling units: 4.0
• Number of suites: 4.0

BUILDING AREA
• Rowhouse = 232.04 m²
• Garage = 75.55 m²

GROSS FLOOR AREA
• Basement = 230.62 m²
• Main Floor = 232.04 m²
• 2nd Floor = 230.62 m²
• Garage = 75.55 m²

NUMBER OF STOREYS:
• Rowhouse: 2.0
• Garage: 1.0

OCCUPANCY CLASSIFICATION
Group C - Residential Occupancy
Rowhouse is classified under Part 9 - Small Buildings.

OCCUPANT LOAD
2 persons per sleeping room

FIRE & LIFE SAFETY:
9.10.9.16
• 1-hr FRR of wall assemblies between residential suites
• 1-hr FRR of floor assemblies between stacked suites
• 1-hr Load bearing elements
• 4-hr Fire Wall to be provided between dwelling unit

SMOKE AND CO ALARM
9.10.19.3 & 9.32.4.1 Hardwired and interconnected in each dwelling unit

MEANS OF EGRESS
• Each suite required to have a code complaint exit or shared protected exit path
• Bedroom windows to meet egress size (0.35m2 clear operable window - 380mm min. width

SOUND TRANSMISSION
9.11.1.1 (b) Min. STC between dewlling unit is 50

ZONING BYLAW REVIEW

This analysis is based of the City of Calgary Land Use Bylaw1P2007

MUNICIPAL ADDRESS:
• 4 Cheyenne Crescent N.W. Calgary, AB

LEGAL ADDRESS:
• The Westerly 5ft (1.52m) of Lot 42
• All of Lot 43; Block 1; Plan 9046 HO

LAND USE DESIGNATION:
• **R-CG Residential - Grade-Oriented Infill**
• Neighboring Lots' Designations: **R-CG**

PROPOSED USES:
• Rowhouse (Discretionary)
• Secondary Suite (Permitted)

DESCRIPTION:
Single Rowhouse building with a 4-Car detached garage
• Number of dwelling units: 4.0
• Number of secondary suites: 4.0

SITE AREA
• 546.77m² = 0.054677 ha
• Units / Ha = 73.16

GROSS FLOOR AREA
• Basement = 230.62 m²
• Main Floor = 232.04 m²
• 2nd Floor = 230.62 m²
• Garage = 75.55 m²

Developed Area = 307.59 m²

SECTION	DESCRIPTION	REQUIRED	PROPOSED
---------	-------------	----------	----------

GENERAL			
529	Density (Units/Ha)	75.0 max.	73.16
531	Parcel Width	7.5 m min.	18.29 m
532	Facade Width	4.2 m min.	10.11 m
534 (d)	Parcel Coverage	60.0 % max.	56.26 %
535 (1)	Building Depth		

SETBACK (Rowhouse)			
537	Front Setback	3.0 m min.	3.00 m
539 (1)	Side Setback	1.2 m min.	3.00 m
539 (6)	Side Setback (Street)	0.6 m min.	1.20 m
540 (2)	Rear Setback	1.2 m min.	8.35 m

SETBACK & HEIGHT (Garage)			
345 (6) a	Building Height	4.6 m max.	3.53 m
345 (6) b	Eaveline Height	3.0 max.	2.79 m
345 (1)	Side Setback (Street)	1.2 m min.	3.05 m
	Side Setback	0.6 m min.	2.62 m
	Rear Setback	0.6 m min.	0.60 m

LANDSCAPE			
542 (7)	Soft landscape	30.0% min.	61.07%
542.2 (2)	1.0 tree per 110m ²	5.0	6.00 Trees
	3.0 shrubs per 110m ²	15.0	30.00 Shrubs

OTHERS			
543 (2)	Amenity Space		30.0 m ²
546 (2)	0.5 Parking Stalls/Unit	4.0	4.0 Parking Stalls
546.2 (1)	1.0 Bike Stalls/Unit	4.0	4.0 Class 1 Bike Stalls

OTHERS

BIKE LOCKER SPECIFICATIONS:
Provided 3.0 Dero Single (D1) in-ground mounted Bike Lockers (Class 1) or similar to accommodate bicycle parking stalls. As indicated on A101 Site plan. To be installed according to manufacturers' installation guide.

GARBAGE/RECYCLING
Shared Storage and collection

LIGHT FIXTURES (OR EQUIVALENT)

Fitting: E27
Max. Watt: 1X100W
Standard Lamp: E27
Ships with: Bulbs not included
Line voltage: 110-120V, 50-60Hz
Operation Voltage: 110-120V, 50-60Hz
Safety Class: 1
Safety Type: IP44
Certificated: ENEC

DISCLAIMER

The Gas line information shown on this sheet is compiled from records maintained by ATCO Gas. No warrantee or guarantee is given as to the accuracy or completeness of those records. Service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only and do not indicate the actual location or length of the service line. Dial-Before-You-Dig services should be utilized before commencement of any excavation or construction.

LANDSCAPE STAT	
Parcel Area:	546.77 m ²
Building Footprint:	232.04 m ²
Garage Footprint:	75.55 m ²
Garage Apron:	5.90 m2
Waste/Recycling Pad:	10.13 m ²
Landscaping Area:	185.80 m ²

HARD LANDSCAPE	
Concrete Sidewalk:	54.15 m ²
Washed Rock:	20.90 m ²

SOFT LANDSCAPE	
Mulch:	18.20 m ²
Sod:	92.55 m ²

Coverage: 59.61 %

NOTE

All soft landscaped area are to be irrigated by an underground irrigation system. Soil depth of 600mm for planting beds with shrubs and 300mm in all other areas. All plant materials must be species capable of healthy growth in Calgary and must conform to the standards of the Canadian nursery landscape association.

This property does not fall within the overland flow region of the floodway/flood fringe according to the map from www.calgary.ca

TREE LEGEND

TREE
Required: 1 tree per 110 sqf (5 Trees)
Proposed: 6 new trees

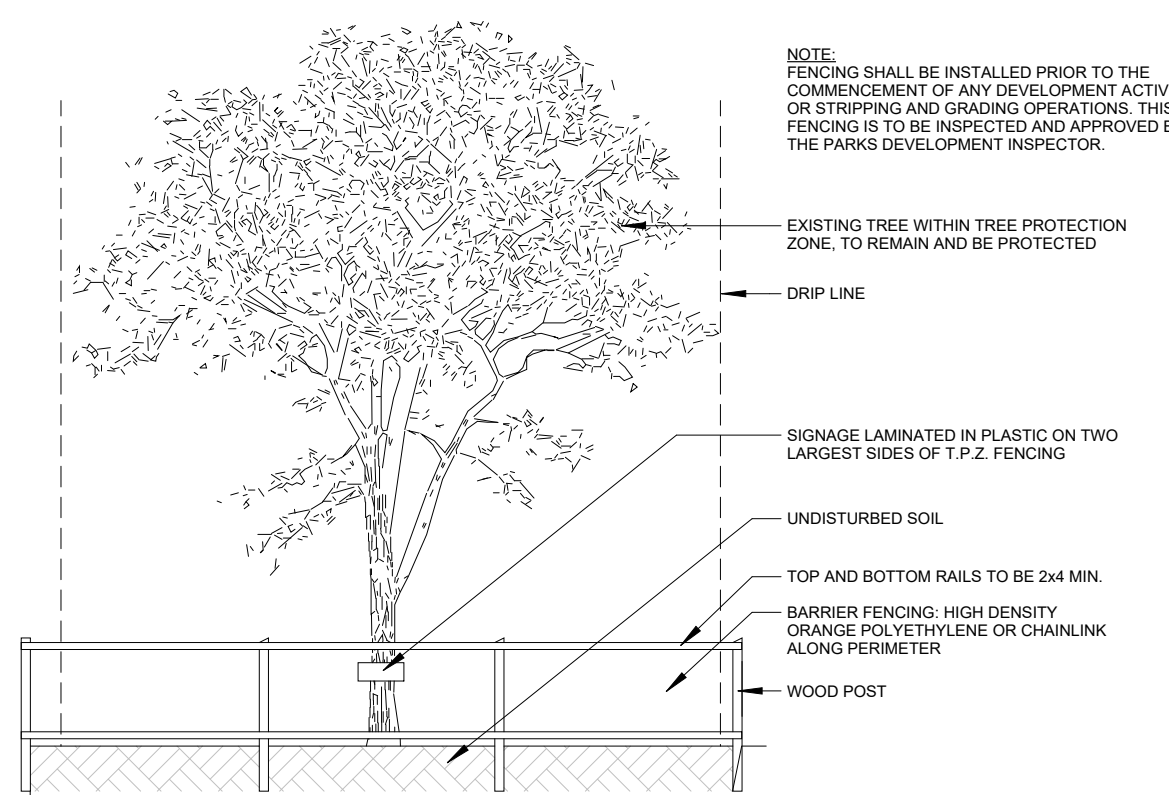
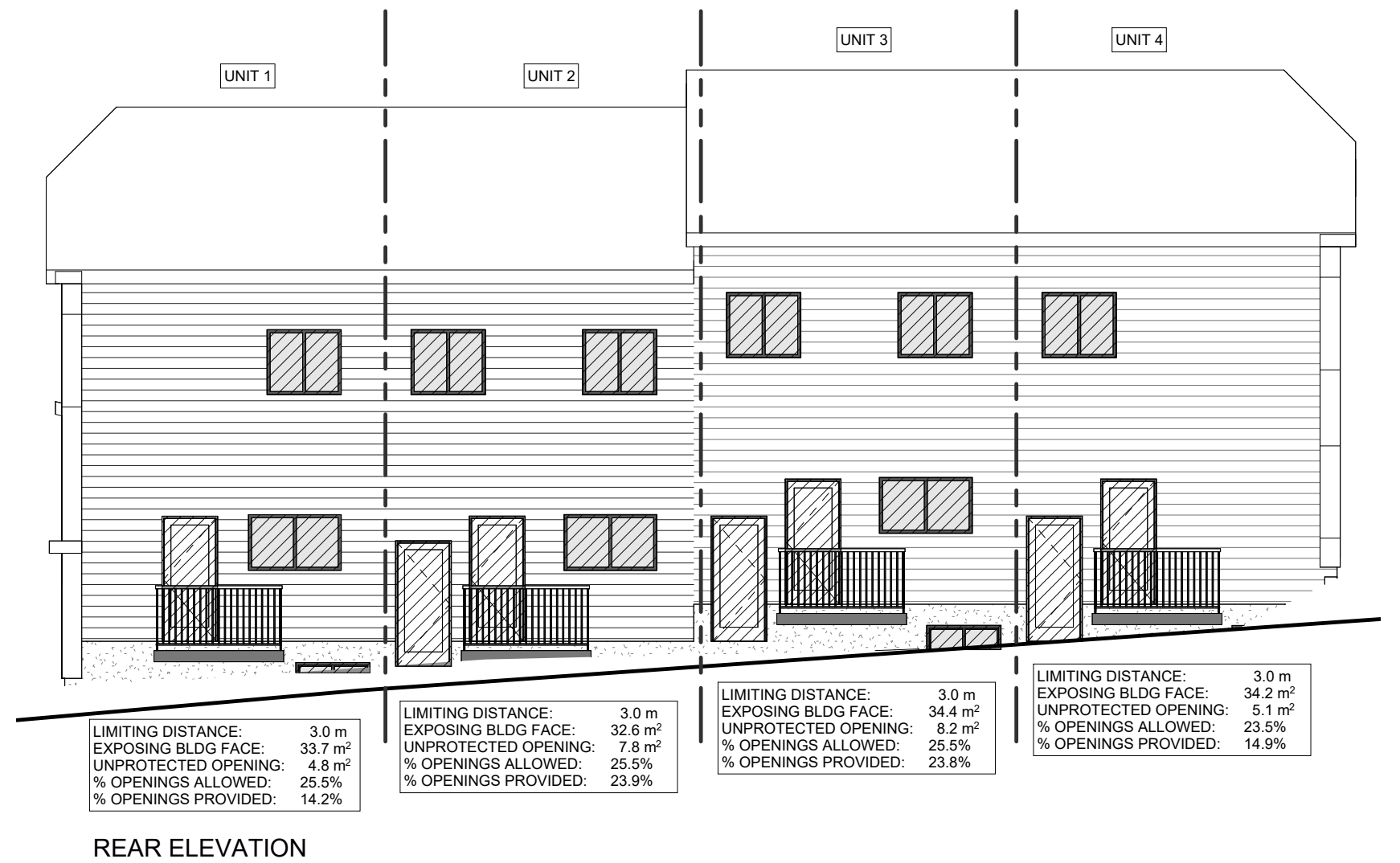
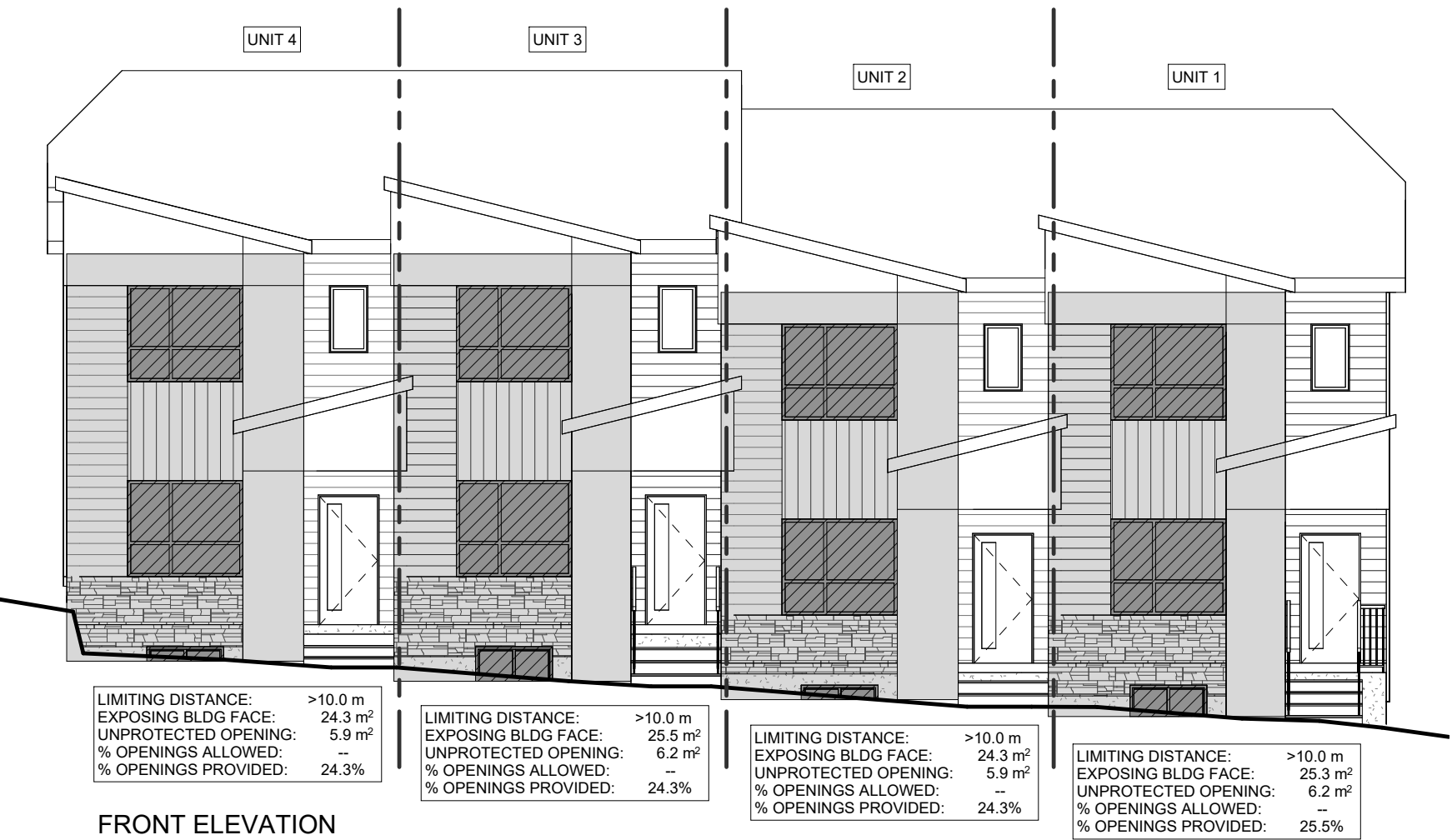
TREES - DECIDUOUS
Name: COLUMNAR COLORADO SPRUCE
(*Picea pungens "Fastigiata"*)
Qty: 6
Size: 15ft (H); 6ft (W)

SHRUB
Required: 3 per 110 sqf (15 Shrubs)
Proposed: 30 Shrubs

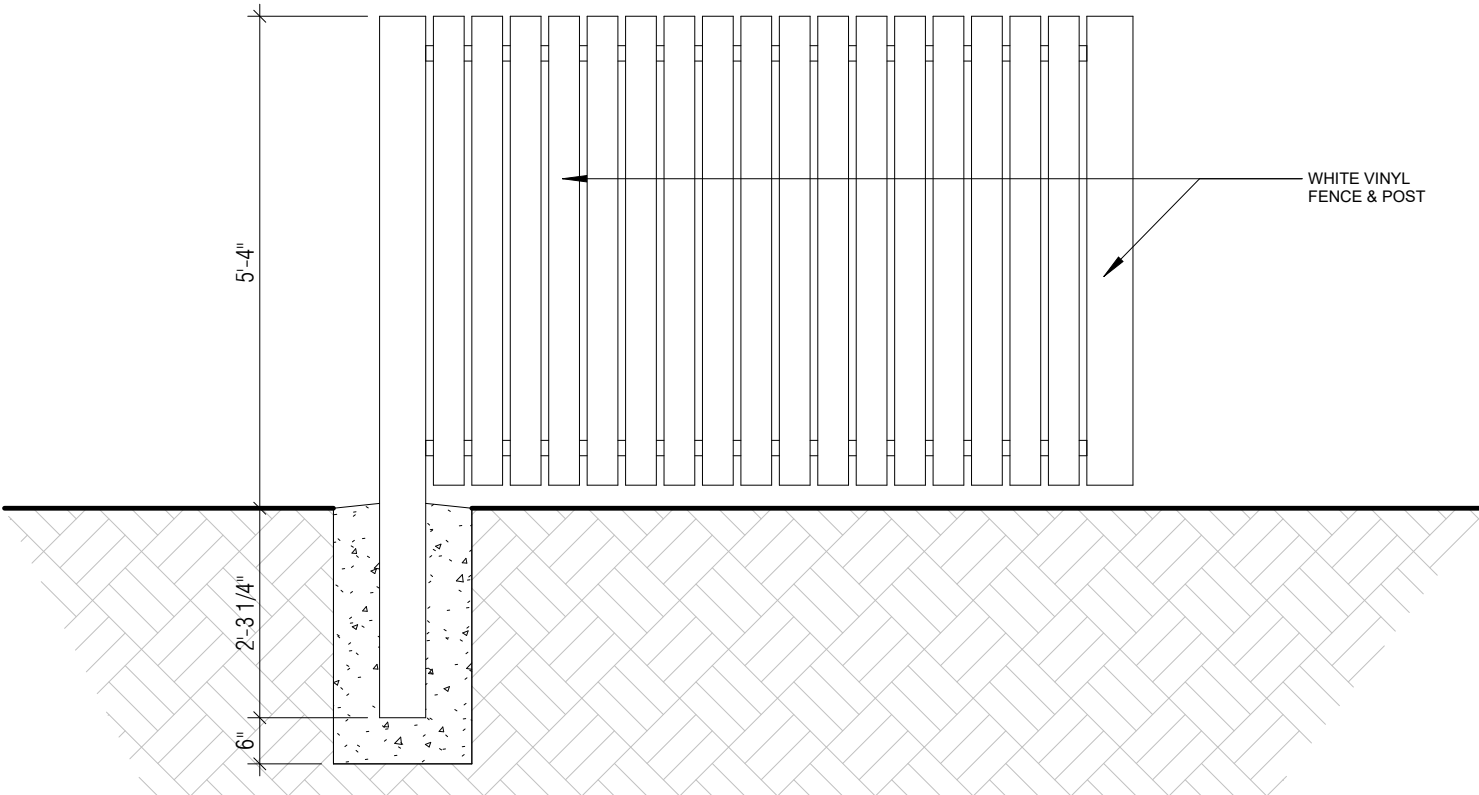
SHRUBS
Name: MUGO PINE
(*Pinus Mugo*)
Qty: 30
Size: (Min. Height or Spread of 0.60m at time of planting)

EXISTING TREE ON SITE
• 4 existing trees
• 4 trees to be removed

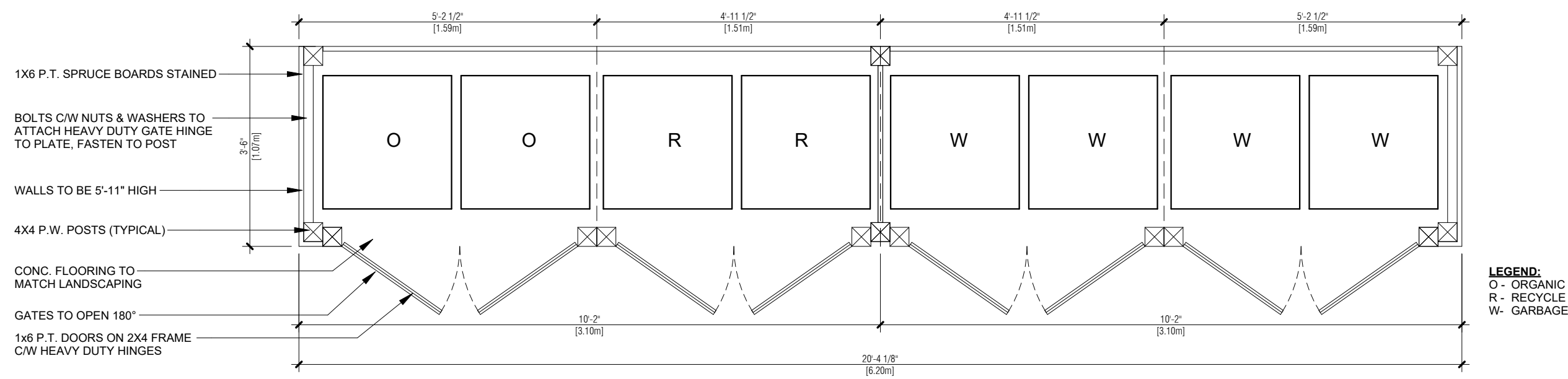
SPATIAL SEPARATION



2 TREE PROTECTION
1 : 40



3 FENCE ELEVATION / DETAIL
1 : 25



9 GARBAGE ENCLOSURE
1 : 25

DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: First The Westerly 5ft (1.52m) of Lot 42
Second All of Lot 43
Block 1 Plan 9046H0

MUNICIPAL ADDRESS: 4 Cheyenne Crescent N.W.
Calgary, Alberta

DATE OF SURVEY: October 29th, 2025.

LEGEND
Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASCM 115824 Elev.=1099.95
Distances are in metres and decimals thereof.
Bearings are Grid (3TM-114W) and Derived from GNSS Observations.
Found Iron Posts are shown thus: X
Found Iron Bars are shown thus: X
Magnetic Nails are shown thus: X
Calculation points are shown thus: X
Fire Hydrants are shown thus: X
Water Valves are shown thus: X
Gas Valves are shown thus: X
Power Poles are shown thus: X
Manholes are shown thus: X
Lamp Standards are shown thus: X
Street Signs are shown thus: X
Property lines are shown thus: X
Utility Right of Ways are shown thus: X
Eaves are shown thus: X
Fences are shown thus: X
Streightlight Cables are shown thus: X
Underground Electrical lines shown thus: X
Stormline are shown thus: X
Sanitaryline are shown thus: X
Combined Storm/Sanitary are shown thus: X
Telephone Lines are shown thus: X
Waterline are shown thus: X
Gasline are shown thus: X
Overhead Electrical lines shown thus: X
All fences are within 0.2 metres of the property lines unless otherwise shown.
All eaves are measured to fascia unless otherwise shown.
Unless noted otherwise lines outside of property are not to scale.

NOTE:
Title information is based on the C. of T. 131.316.452 which was searched on the 4th day of November, 2025, and is subject to:
No Pertinent Registration.

ABBREVIATIONS
A---Arc Length
Acc---Accessory
A/C---Air Conditioner
Bldg---Building
BOC---Back of Curb
Mk---Mark
Calc---Calculated
Canl---Cantilever
Conc---Concrete
C.S---Countersunk
DH---Drill Hole
Enc---Encroaches
EOA---Edge of Asphalt
EOR---Edge of Road
Fd---Found
I---Iron Post
I.B---Iron Bar
LOG---Lip of Gutter
M.A---Maintenance Access
Mk---Mark
M.N---Magnetic Nail
O.D---Overland Drainage
R---Radius
Reg---Registration
Ret---Retaining
R/W---Right of Way
W/O---Walkout Basement
W.W---Window Well

This plan represents the best information at the time of survey.
Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.
Call Alberta One-Call: 1-800-242-3447

--- denotes Coniferous
--- denotes Deciduous

Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Deciduous	0.30	6.00	7.00
2	Deciduous	0.30	6.00	8.00
3	Trunk	0.40	---	---
4	Bush	---	1.20	1.20
5	Bush	---	1.90	1.80
6	Deciduous	0.10	3.00	5.00
7	Deciduous	0.40	6.00	6.00
8	Coniferous	0.80	6.00	13.00
9	Bush	---	1.20	1.00
10	Deciduous	0.35	6.00	8.00
11	Deciduous	0.18	5.00	8.00
12	Deciduous	0.22	7.00	7.00
13	Deciduous	0.30	5.00	8.00

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- Contractor must verify all dimensions, datum, drawings, details and specifications prior to start of construction.
- Any discrepancies, errors or omissions are to be reported to Green Birch Architecture Inc. prior to start of construction.

Project Title
Cheyres Residential Development

Legal Address
Westerly 5ft of Lot 42,
Lot 43, Block 1 Plan 9046 H0

Municipal Address
4 Cheyenne Crescent N.W.
Calgary, AB

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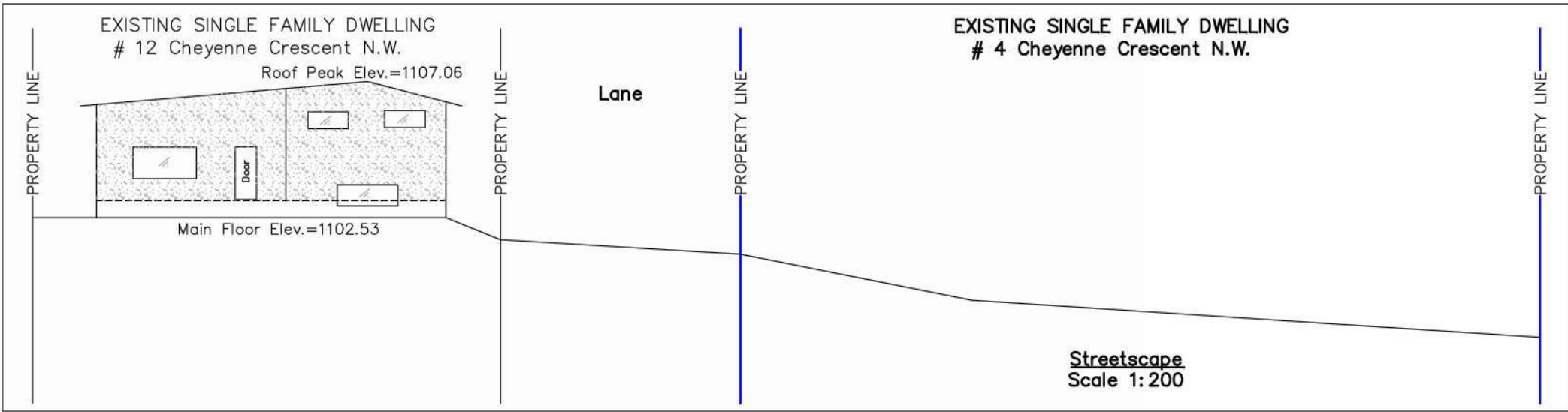
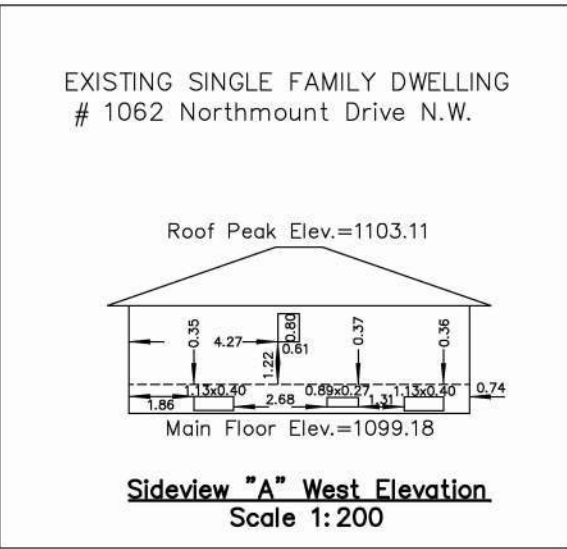
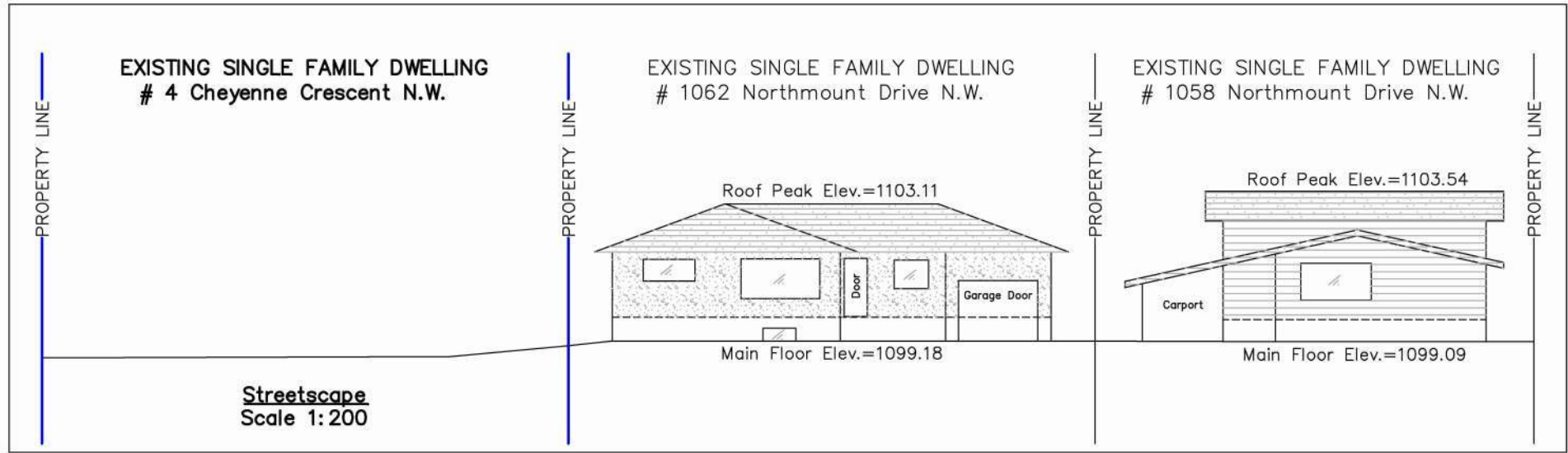
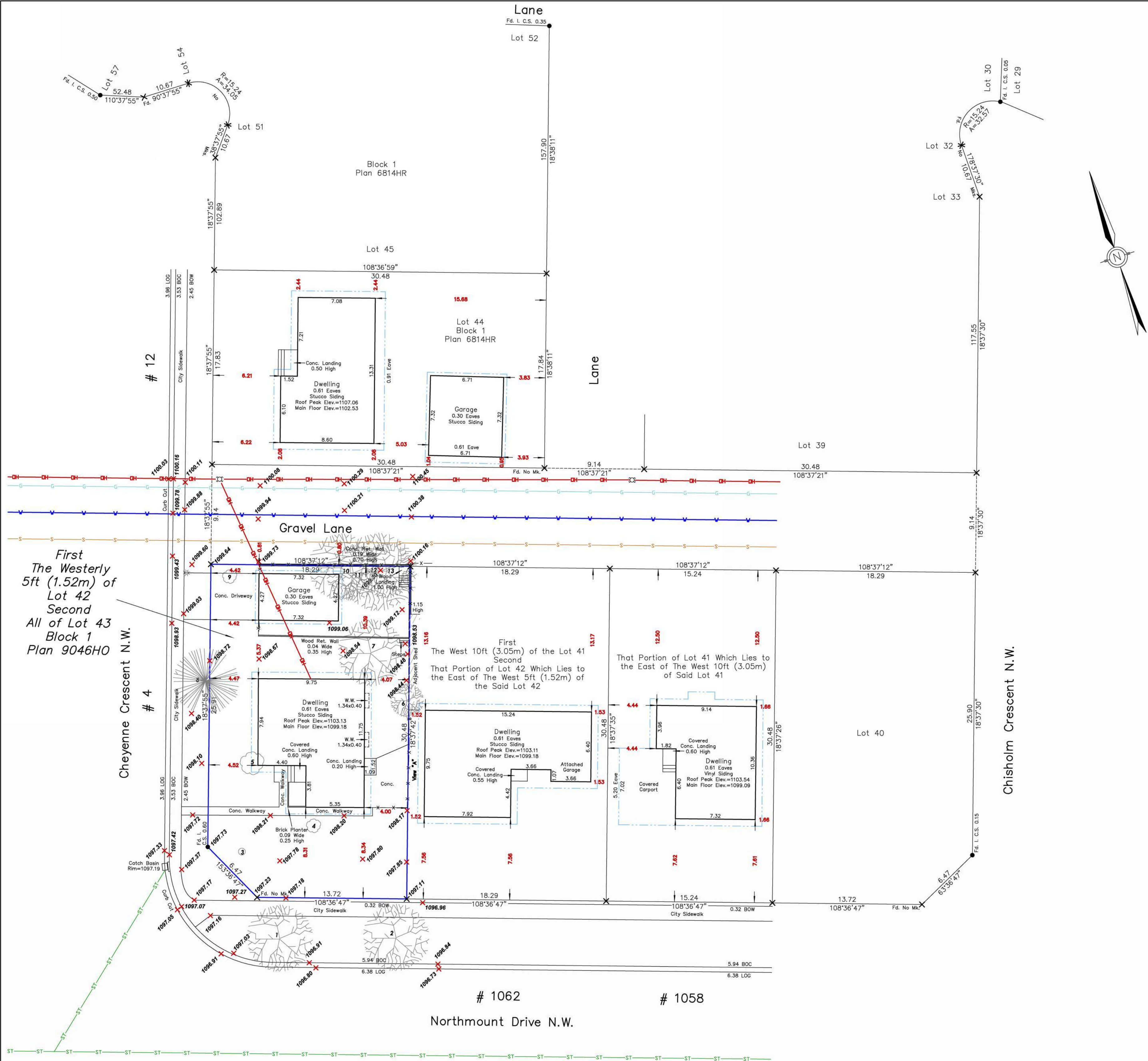
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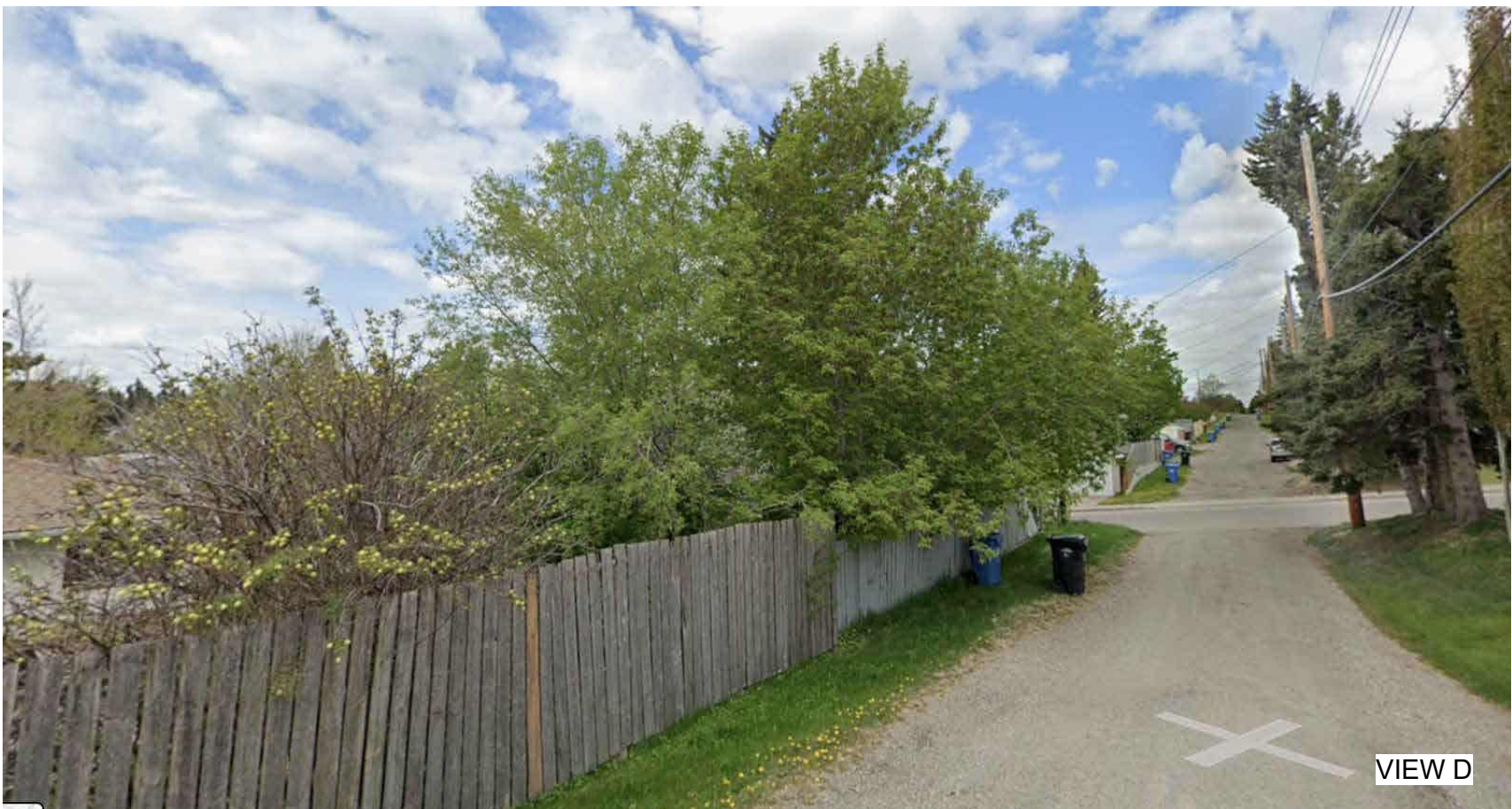
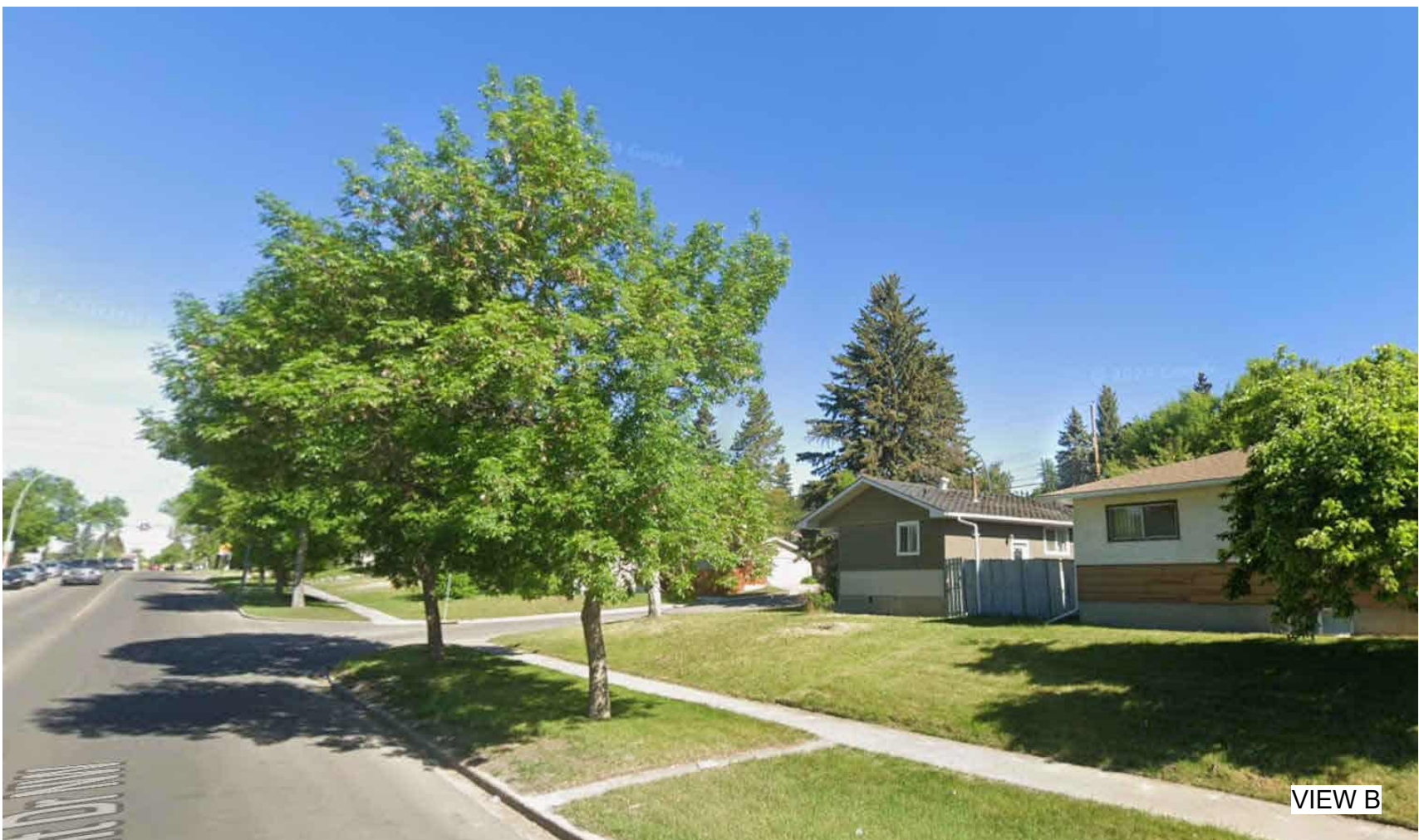
SURVEY PLAN

Scale
As Indicated
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Key Plan:

Scale:

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Project Title:
Cheyres Residential Development

Legal Address:
Westley St of Lot 42,
Lot 43, Block 1, Plan 9046 H0

Municipal Address:
4 Cheyenne Crescent NW,
Calgary, AB

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1. Issued for Review	16 Nov 2025
2. Issued for DP	19 Nov 2025

Drawing Title

KEY PLAN

Scale:
As Indicated
Date:
19 November 2025
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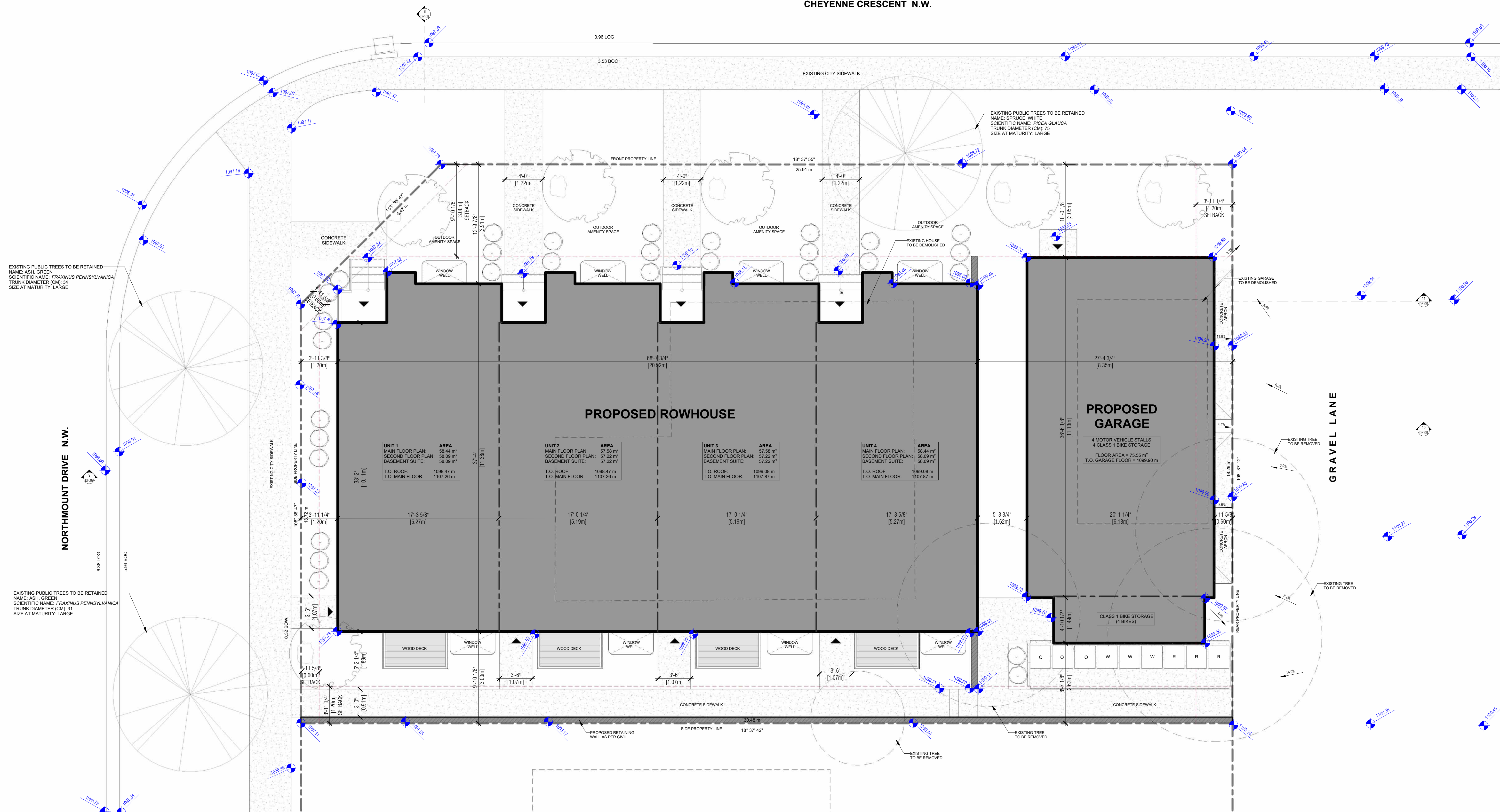
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CHEYENNE CRESCENT N.W.



Seal

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Project Title:
Cheyres Residential Development

Legal Address:
Westerly 5ft of Lot 42;
Lot 43; Block t Plan 9046 HC

Municipal Address
4 Cheyenne Cres
Calgary, AB

A. Journal for Reviews	All New 2009
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1. Issued for Review 14 Nov 202

2 Issued for DP 19 Nov 202

SITE PLAN

Scale:
As indicated

Date:
19 November 2025

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DP.04

CHEYENNE CRESCENT N.W.



LEGEND:

- PROPOSED BUILDING
- SOD (SOFTSCAPE)
- MULCH (SOFTSCAPE)
- CONCRETE (HARDSCAPE)
- WASHED ROCK (HARDSCAPE)
- PROPOSED ENTRY

LANDSCAPING STAT:

PARCEL AREA: 546.77 m²
PRINCIPAL BUILDING: 232.04 m²
DETACHED GARAGE: 75.55 m²
GARAGE APRON: 5.90 m²
WASTE BINS PAD: 10.13 m²
LANDSCAPE AREA: 185.80 m²

HARD LANDSCAPING

CONCRETE: 54.15 m²
WASHED ROCK: 20.90 m²
75.05 m²

SOFT LANDSCAPING

MULCH: 18.20 m²
SOD: 92.55 m²
110.75 m²

SOFT LANDSCAPE COVERAGE = 59.61%

NOTES:

1. ALL SOFT LANDSCAPED AREA TO BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM.

2. ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.

3. MIN. SOIL DEPTH REQUIRED FOR SOD = 300mm

4. MIN. SOIL DEPTH REQUIRED FOR SHRUBS = 600mm

5. MIN. SOIL DEPTH REQUIRED FOR TREES = 1,200mm

PROPOSED PLANTING LEGEND:

TREES DECIDUOUS

REQUIRED: 1 per 110m² OF PARCEL = 5 TREES
PROVIDED: 6 TREES

CALLIPER: 60mm MINIMUM

PROPOSED TREE PLANTING

NAME: COLUMNAR COLORADO SPRUCE (*Picea pungens 'Fastigiata'*)

QTY: 6

SIZE: 15ft (H); 6ft (W)

SHRUBS

REQUIRED: 3 per 110m² OF PARCEL = 20 SHRUBS
PROVIDED: 30 SHRUBS

HEIGHT: 0.6m MINIMUM @ PLANTING

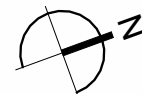
PROPOSED SHRUBS

NAME: MUGO PINE (*Pinus mugo*)

QTY: 30 PROVIDED

SIZE: Min. Height or Spread of 0.60m at time of planting

TREE TABLE							
#	Variety	Species	Trunk	Canopy	Height	Owner	Status
T1	Deciduous	Ash, Green	0.34	6.00	7.00	Public	Retained
T2	Deciduous	Ash, Green	0.31	6.00	8.00	Public	Retained
T6	Deciduous		0.10	3.00	5.00	Private	Removed
T7	Deciduous		0.40	6.00	6.00	Private	Removed
T8	Coniferous	Spruce, White	0.80	6.00	13.00	Public	Retained
T10	Deciduous		0.35	6.00	8.00	Private	Removed
T11	Deciduous		0.18	5.00	8.00	Private	Removed
T12	Deciduous		0.22	7.00	7.00	Private	Removed
T13	Deciduous		0.30	5.00	8.00	Private	Removed

 **LANDSCAPE PLAN**
1 : 60

Key Plan:

Seal:

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Drawing Title

LANDSCAPE PLAN

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As Indicated

Date
19 November 2025

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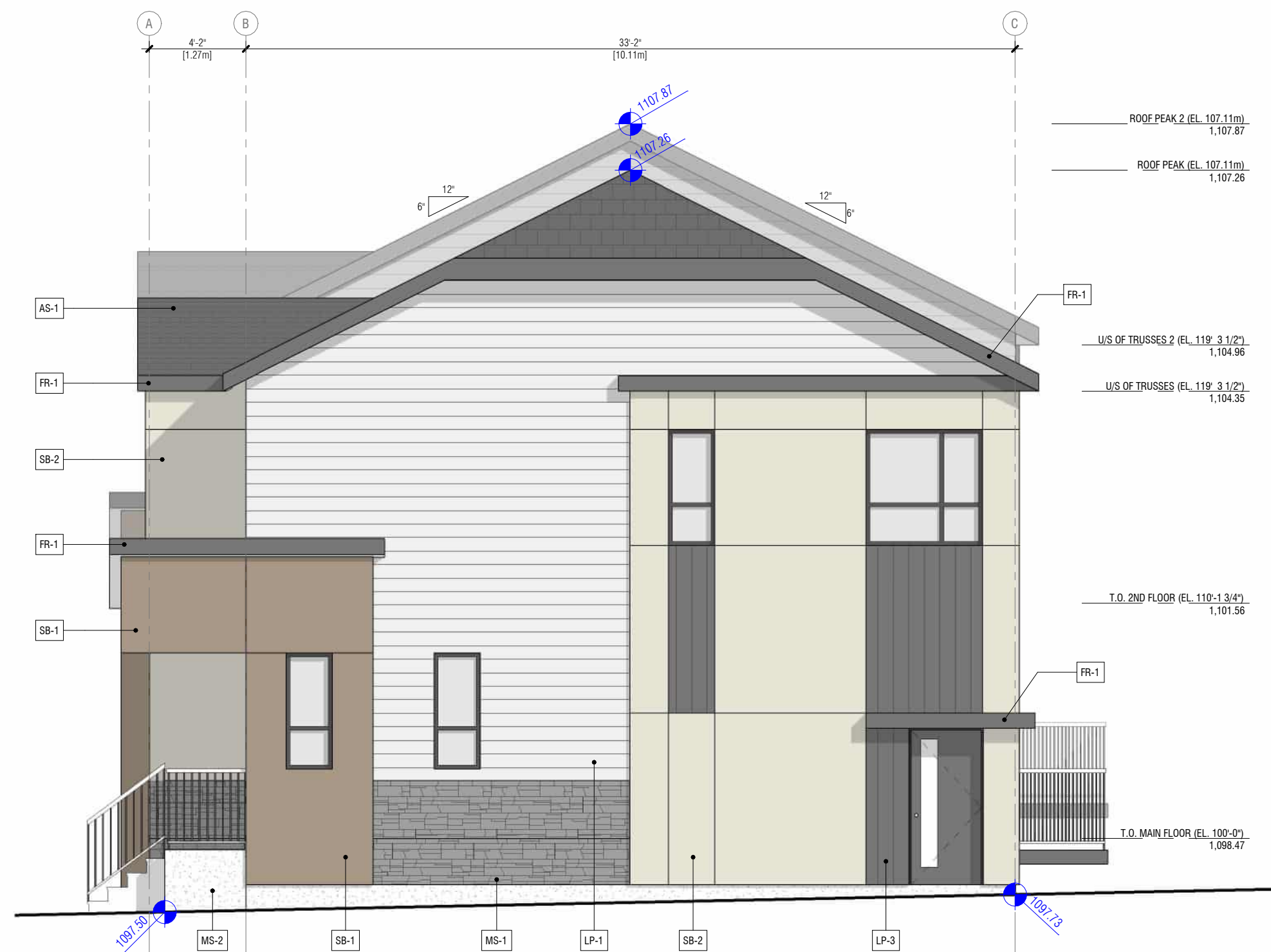
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587.582.6630 temitay@gnrbarch.com



1 NORTH ELEVATION
1 : 64



2 WEST ELEVATION
1 : 64



3 SOUTH ELEVATION
1 : 64



4 EAST ELEVATION
1 : 64

MATERIAL LEGEND:

AS-1	ROOFING 1 MAT'L: 30-YEAR ASPHALT SHINGLES MFR: IKO - DYNASTY COLOR: GRANITE BLACK	SB-1	WALL CLADDING 4 MAT'L: SMART PANEL MFR: LP SMARTSIDE COLOR: SAND DUNES
FR-1	FASCIA / RAINWARE MAT'L: ALUMINUM / METAL MFR: MITTEN COLOR: IRON ORE	SB-2	WALL CLADDING 5 MAT'L: SMART PANEL MFR: LP SMARTSIDE COLOR: TERRA BROWN
LP-1	WALL CLADDING 1 MAT'L: SIDING MFR: LP SMARTSIDE COLOR: SNOWSCAPE WHITE	MS-1	MASONRY 1 MAT'L: MANUFACTURED STONE MFR: DUTCH QUALITY STONE COLOR: STACK LEDGE
LP-2	WALL CLADDING 2 MAT'L: SIDING MFR: LP SMARTSIDE COLOR: CAVERN STEEL	MS-2	MASONRY 2 MAT'L: CONCRETE PAVING COLOR: GREY
LP-3	WALL CLADDING 3 MAT'L: SIDING MFR: LP SMARTSIDE COLOR: MIDNIGHT SHADOW	FR-1	BALCONY RAILINGS MAT'L: PREFINISHED METAL COLOR: SW 6560 NIGHT OUT

Key Plan:

Seal:

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Drawing Title

ELEVATIONS

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19 November 2025

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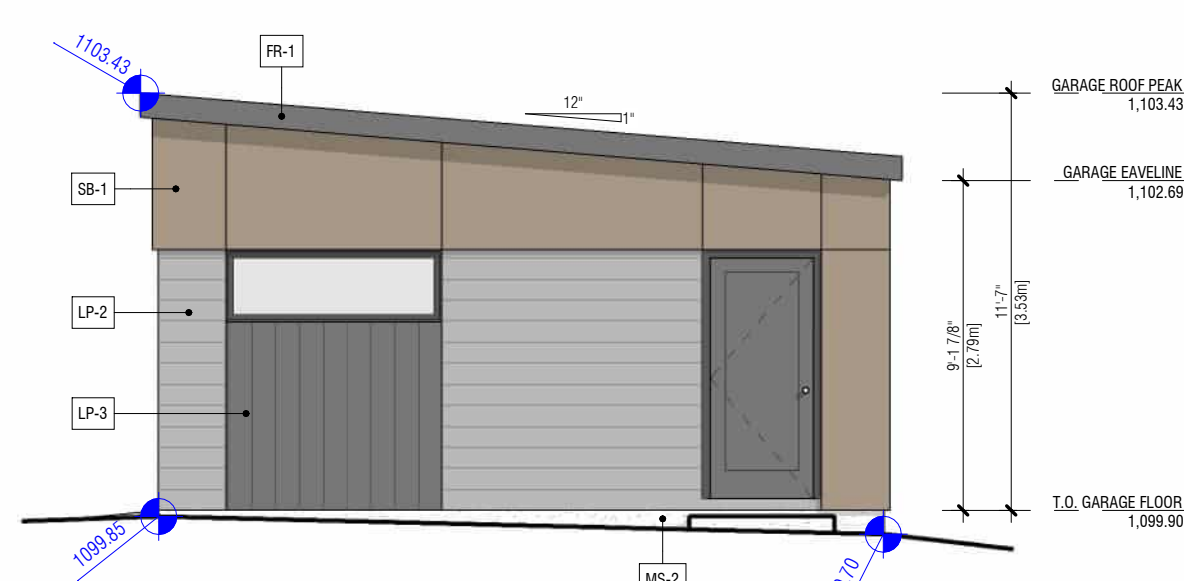
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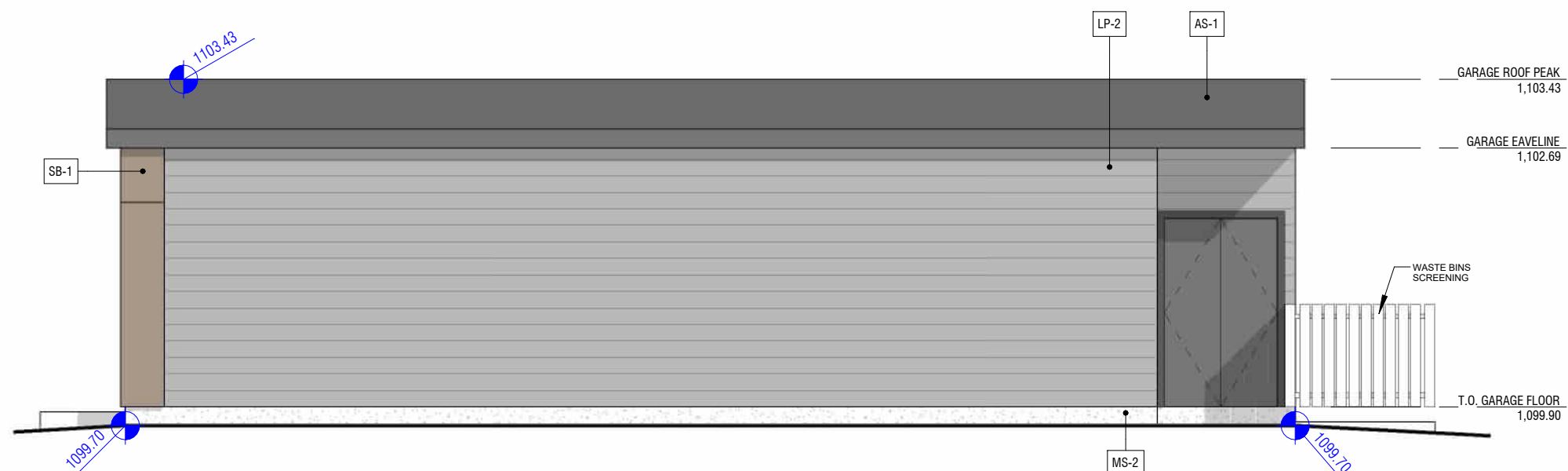
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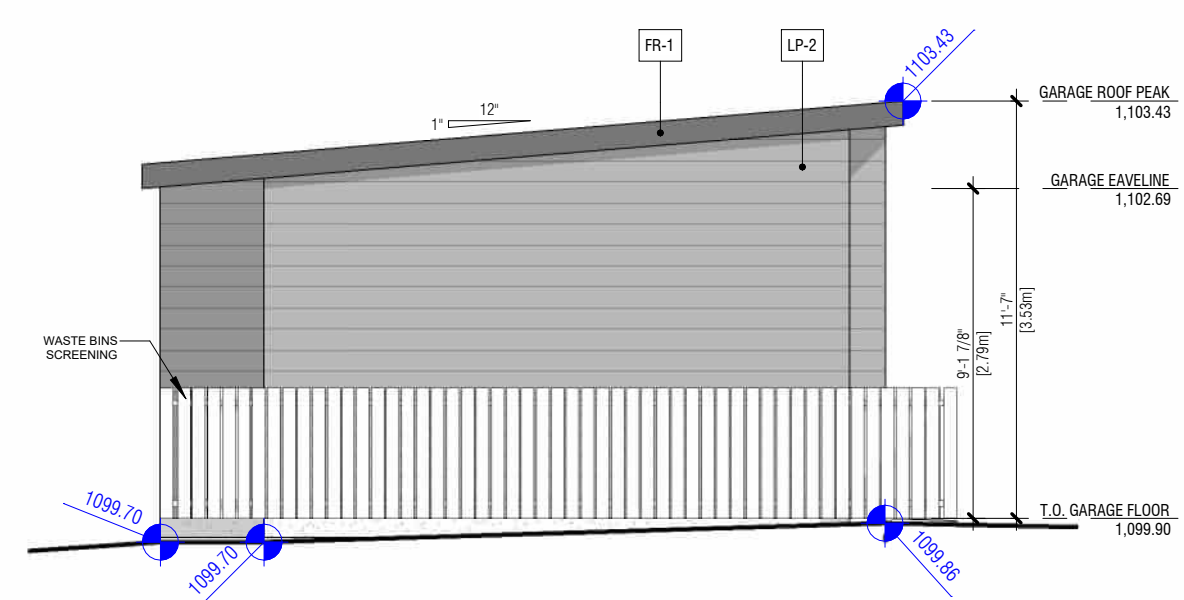
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1 : 64



3 GARAGE ELEVATION 3
1 : 64



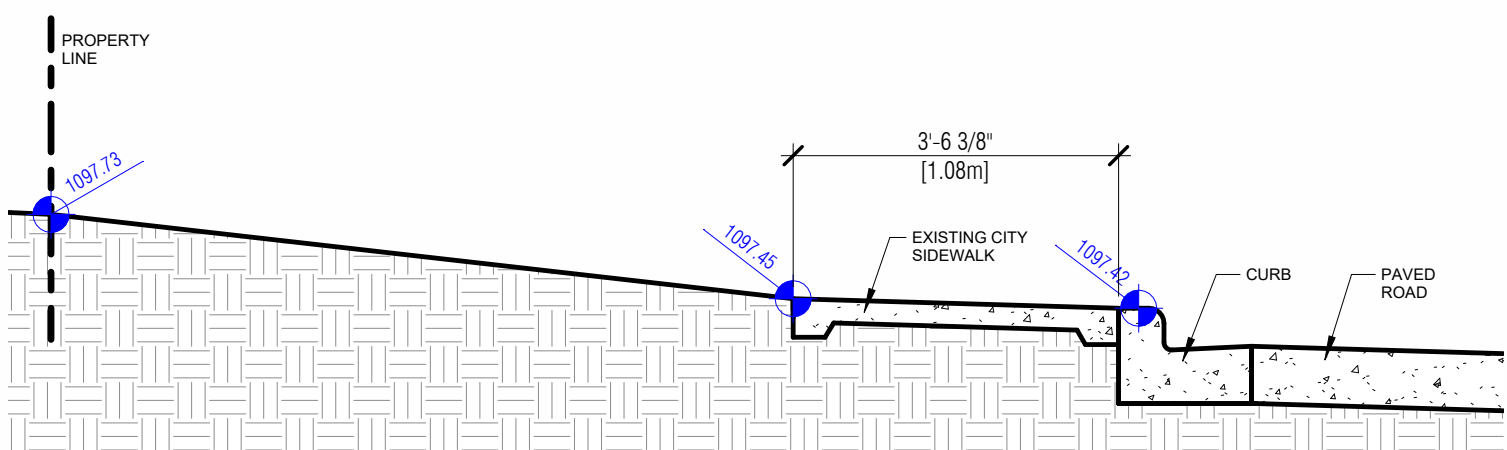
4 GARAGE ELEVATION 2
1 : 64



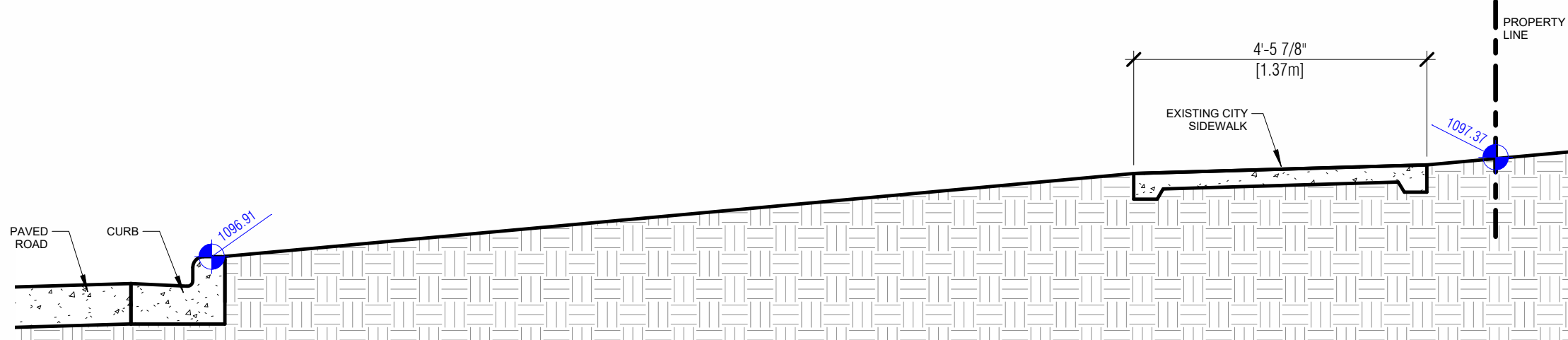
5 GARAGE ELEVATION 4
1 : 64

MATERIAL LEGEND:

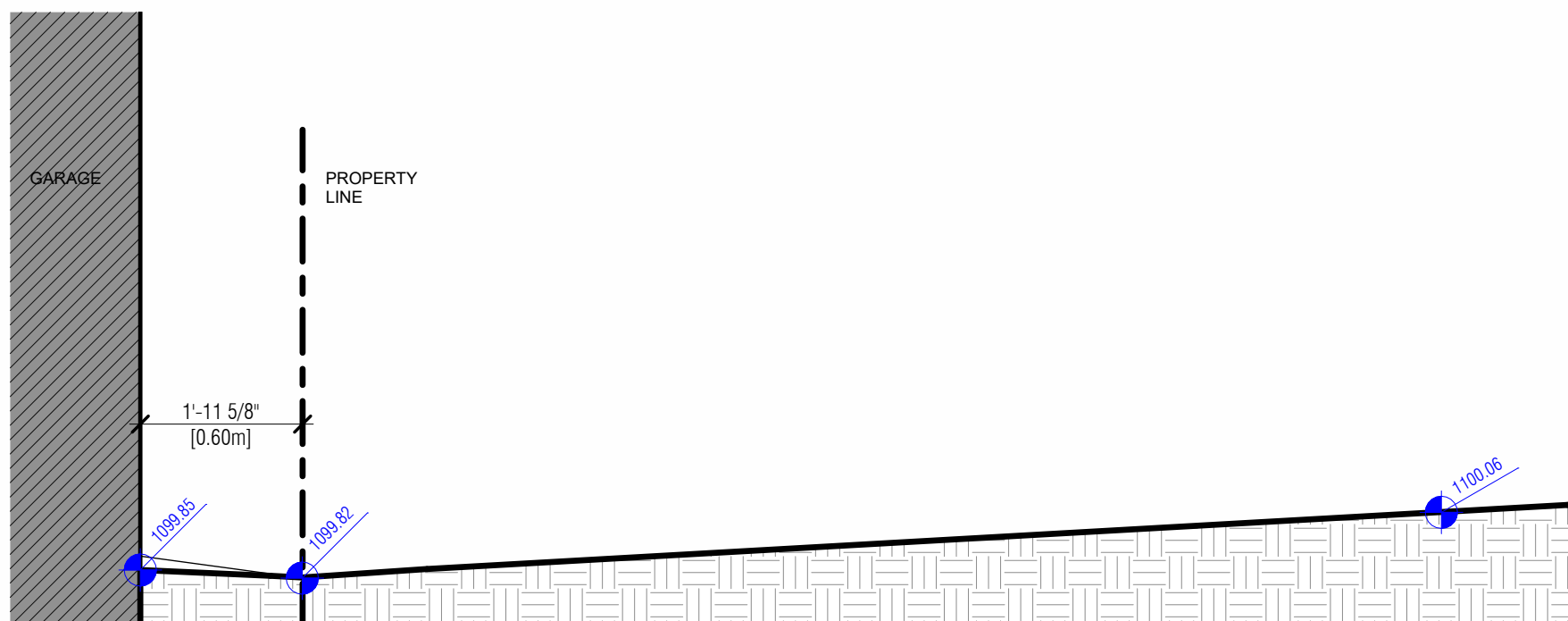
AS-1	ROOFING 1 MAT'L 30-YEAR ASPHALT SHINGLES MFR IKO - DYNASTY COLOR GRANITE BLACK	SB-1	WALL CLADDING 4 MAT'L SMART PANEL MFR LP SMARTSIDE COLOR SAND DUNES
FR-1	FASCIA / RAINWARE MAT'L ALUMINUM / METAL MFR MITTEN COLOR IRON ORE	SB-2	WALL CLADDING 5 MAT'L SMART PANEL MFR LP SMARTSIDE COLOR TERRA BROWN
LP-1	WALL CLADDING 1 MAT'L SIDING MFR LP SMARTSIDE COLOR SNOWSCAPE WHITE	MS-1	MASONRY 1 MAT'L MANUFACTURED STONE MFR DUTCH QUALITY STONE COLOR STACK LEDGE
LP-2	WALL CLADDING 2 MAT'L SIDING MFR LP SMARTSIDE COLOR CAVERN STEEL	MS-2	MASONRY 2 MAT'L CONCRETE PAVING COLOR GREY
LP-3	WALL CLADDING 3 MAT'L SIDING MFR LP SMARTSIDE COLOR MIDNIGHT SHADOW	FR-1	BALCONY RAILINGS MAT'L PREFINISHED METAL COLOR SW 9560 NIGHT OUT



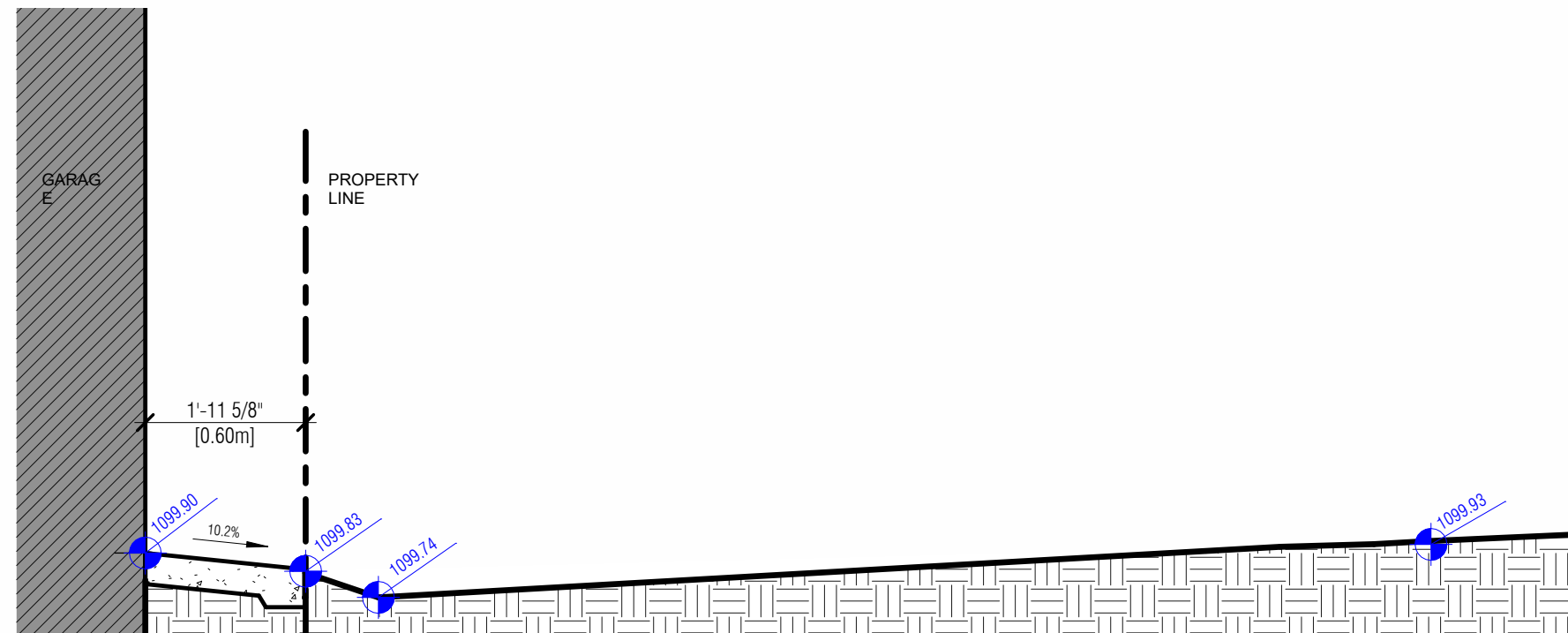
8 BOULEVARD SECTION 1
1 : 25



9 BOULEVARD SECTION 2
1 : 25



10 LANE SECTION 1
1 : 25



11 LANE SECTION 2
1 : 25

Key Plan:

Seal:

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Project Title
Cheyres Residential Development

Legal Address
Westerly St of Lot 42,
Lot 43, Block 1 Plan 9046 H0

Municipal Address
4 Cheyenne Crescent N.W.
Calgary, AB

NOT FOR CONSTRUCTION
1 Issued for Review 16 Nov 2025
2 Issued for CP 19 Nov 2025

Drawing Title

GARAGE

Scale:
As Indicated
Date:
19 November 2025
Issued for:
Development Permit

Sheet No.:
DP.09

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