



DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN

THIS IMAGE IS A CONCEPTUAL RENDERING PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY.

PROPOSED

CHEYCRES RESIDENTIAL DEVELOPMENT

4 CHEYENNE CRESCENT N.W. CALGARY, AB

WESTERLY 5FT OF LOT 42; LOT 43; BLOCK 1; PLAN 9046HO

ISSUED FOR DEVELOPMENT PERMIT

| DRAWING INDEX |                                  |
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| DP.02         | SURVEY PLAN                      |
| DP.03         | KEY PLAN, STREETSCAPE ELEVATIONS |
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LEGEND

|                                |           |
|--------------------------------|-----------|
| Existing Property Line.....    | ---       |
| Existing Setback Lines.....    | - - - - - |
| Proposed Concrete.....         |           |
| Proposed Dwellings.....        |           |
| Proposed Cantilever.....       |           |
| Proposed Garage.....           |           |
| Proposed Roof Overhang.....    |           |
| Proposed Mulch.....            |           |
| Proposed Decorative Stone..... |           |
| Proposed Sod.....              |           |
| Windows.....                   | W         |
| Doors.....                     | D         |
| Garage Door.....               | GD        |
| Overhead Door.....             | OD        |
| Existing Geodetic.....         | 101.23    |
| Proposed Geodetic.....         | 101.23    |

CODE REVIEW

This analysis is based of the National Building Code of Canada, Alberta Edition, 2023

DESCRIPTION:

- Rowhouse building and garage
- Number of dwelling units: 4.0
  - Number of suites: 4.0

BUILDING AREA

- Rowhouse = 212.62 m<sup>2</sup>
- Garage = 84.99 m<sup>2</sup>

GROSS FLOOR AREA

- Main Floor = 212.62 m<sup>2</sup>
- 2nd Floor = 311.06 m<sup>2</sup>

- Garage = 84.99 m<sup>2</sup>
- Basement = 212.62 m<sup>2</sup>

NUMBER OF STOREYS:

- Rowhouse: 2.0
- Garage: 1.0

OCCUPANCY CLASSIFICATION

Group C - Residential Occupancy  
Rowhouse is classified under Part 9 - Small Buildings.

OCCUPANT LOAD

2 persons per sleeping room

FIRE & LIFE SAFETY:

- 9.10.9.16
- 1-hr FRR of wall assemblies between residential suites
  - 1-hr FRR of floor assemblies between stacked suites
  - 1-hr Load bearing elements

SMOKE AND CO ALARM

9.10.19.3 & 9.32.4.1 Hardwired and interconnected in each dwelling unit

MEANS OF EGRESS

- Each suite required to have a code complaint exit or shared protected exit path
- Bedroom windows to meet egress size (0.35m2 clear operable window - 380mm min. width

SOUND TRANSMISSION

9.11.1.1 (b) Min. STC between dewlling unit is 50

ZONING BYLAW REVIEW

This analysis is based of the City of Calgary Land Use Bylaw1P2007

MUNICIPAL ADDRESS:

- 4 Cheyenne Crescent N.W. Calgary, AB

LEGAL ADDRESS:

- The Westerly 5ft (1.52m) of Lot 42
- All of Lot 43; Block 1; Plan 9046 HO

LAND USE DESIGNATION:

- **R-CG Residential - Grade-Oriented Infill**
- Neighboring Lots' Designations: **R-CG**

PROPOSED USES:

- Rowhouse (Discretionary)
- Secondary Suite (Permitted)

DESCRIPTION:

Single Rowhouse building with a 4-Car detached garage

- Number of dwelling units: 4.0
- Number of secondary suites: 4.0

SITE AREA

- 546.77m<sup>2</sup> = 0.054677 ha
- Units / Ha = 73.16

GROSS FLOOR AREA

- Main Floor = 212.62 m<sup>2</sup>
- 2nd Floor = 311.06 m<sup>2</sup>
- Basement = 212.62 m<sup>2</sup>
- Garage = 84.99 m<sup>2</sup>

Developed Area = 297.67 m<sup>2</sup>

| SECTION | DESCRIPTION | REQUIRED | PROPOSED |
|---------|-------------|----------|----------|
|---------|-------------|----------|----------|

GENERAL

|         |                    |             |         |
|---------|--------------------|-------------|---------|
| 529     | Density (Units/Ha) | 75.0 max.   | 73.16   |
| 531     | Parcel Width       | 7.5 m min.  | 18.29 m |
| 532     | Facade Width       | 4.2 m min.  | 10.11 m |
| 534 (d) | Parcel Coverage    | 60.0 % max. | 54.44 % |
| 535 (1) | Building Depth     |             |         |

SETBACK (Rowhouse)

|         |                       |            |        |
|---------|-----------------------|------------|--------|
| 537     | Front Setback         | 3.0 m min. | 3.10 m |
| 539 (1) | Side Setback          | 1.2 m min. | 4.00 m |
| 539 (6) | Side Setback (Street) | 0.6 m min. | 2.54 m |
| 540 (2) | Rear Setback          | 1.2 m min. | 8.23 m |

SETBACK & HEIGHT (Garage)

|           |                       |            |        |
|-----------|-----------------------|------------|--------|
| 345 (6) a | Building Height       | 4.6 m max. | 3.60 m |
| 345 (6) b | Eaveline Height       | 3.0 max.   | 2.90 m |
| 345 (1)   | Side Setback (Street) | 1.2 m min. | 1.40 m |
|           | Side Setback          | 0.6 m min. | 2.83 m |
|           | Rear Setback          | 0.6 m min. | 0.60 m |

LANDSCAPE

|           |                                  |            |              |
|-----------|----------------------------------|------------|--------------|
| 542 (7)   | Soft landscape                   | 30.0% min. | 50.66%       |
| 542.2 (2) | 1.0 tree per 110m <sup>2</sup>   | 5.0        | 6.00 Trees   |
|           | 3.0 shrubs per 110m <sup>2</sup> | 15.0       | 20.00 Shrubs |

OTHERS

|           |                         |     |                         |
|-----------|-------------------------|-----|-------------------------|
| 543 (2)   | Amenity Space           |     | 18.0 m <sup>2</sup>     |
| 546 (2)   | 0.5 Parking Stalls/Unit | 4.0 | 4.0 Parking Stalls      |
| 546.2 (1) | 1.0 Bike Stalls/Unit    | 4.0 | 4.0 Class 1 Bike Stalls |

OTHERS

BIKE LOCKER SPECIFICATIONS:

Provided 3.0 Dero Single (D1) in-ground mounted Bike Lockers (Class 1) or similar to accommodate bicycle parking stalls. As indicated on A101 Site plan. To be installed according to manufacturers' installation guide.

GARBAGE/RECYCLING

Shared Storage and collection

LIGHT FIXTURES (OR EQUIVALENT)

|                    |                    |
|--------------------|--------------------|
| Fitting:           | E27                |
| Max. Watt:         | 1X100W             |
| Standard Lamp:     | E27                |
| Ships with:        | Bulbs not included |
| Line voltage:      | 110-120V, 50-60Hz  |
| Operation Voltage: | 110-120V, 50-60Hz  |
| Safety Class:      | 1                  |
| Safety Type:       | IP44               |
| Certificated:      | ENEC               |

DISCLAIMER

The Gas line information shown on this sheet is compiled from records maintained by ATCO Gas. No warrantee or guarantee is given as to the accuracy or completeness of those records. Service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only and do not indicate the actual location or length of the service line. Dial-Before-You-Dig services should be utilized before commencement of any excavation or construction.

LANDSCAPE STAT

|                      |                       |
|----------------------|-----------------------|
| Parcel Area:         | 546.77 m <sup>2</sup> |
| Building Footprint:  | 212.62 m <sup>2</sup> |
| Garage Footprint:    | 84.99 m <sup>2</sup>  |
| Garage Apron:        | 11.61 m <sup>2</sup>  |
| Waste/Recycling Pad: | 6.58 m <sup>2</sup>   |
| Landscaping Area:    | 205.85 m <sup>2</sup> |

HARD LANDSCAPE

|                    |                      |
|--------------------|----------------------|
| Concrete Sidewalk: | 96.16 m <sup>2</sup> |
|--------------------|----------------------|

SOFT LANDSCAPE

|        |                      |
|--------|----------------------|
| Sod:   | 99.57 m <sup>2</sup> |
| Mulch: | 10.12 m <sup>2</sup> |

Coverage: 53.29 %

NOTE

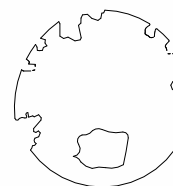
All soft landscaped area are to be irrigated by an underground irrigation system. Soil depth of 600mm for planting beds with shrubs and 300mm in all other areas. All plant materials must be species capable of healthy growth in Calgary and must conform to the standards of the Canadian nursery landscape association.

This property does not fall within the overland flow region of the floodway/flood fringe according to the map from www.calgary.ca

TREE LEGEND

TREE

Required: 1 tree per 110 sqf (5 Trees)  
Proposed: 5 new trees



TREES - CONIFEROUS

Name: COLUMNAR COLORADO SPRUCE  
(*Picea pungens* "Fastigiata")

Qty: 6  
Size: 15ft (H); 6ft (W)

SHRUB

Required: 3 per 110 sqf (15 Shrubs)  
Proposed: 22 Shrubs

SHRUBS

(Min. Height or Spread of 0.60m at time of planting)

EXISTING TREES ON SITE

- 4 existing trees
- 4 trees to be removed



Name: MUGO PINE  
(*Pinus Mugo*)

Qty: 11

SOD

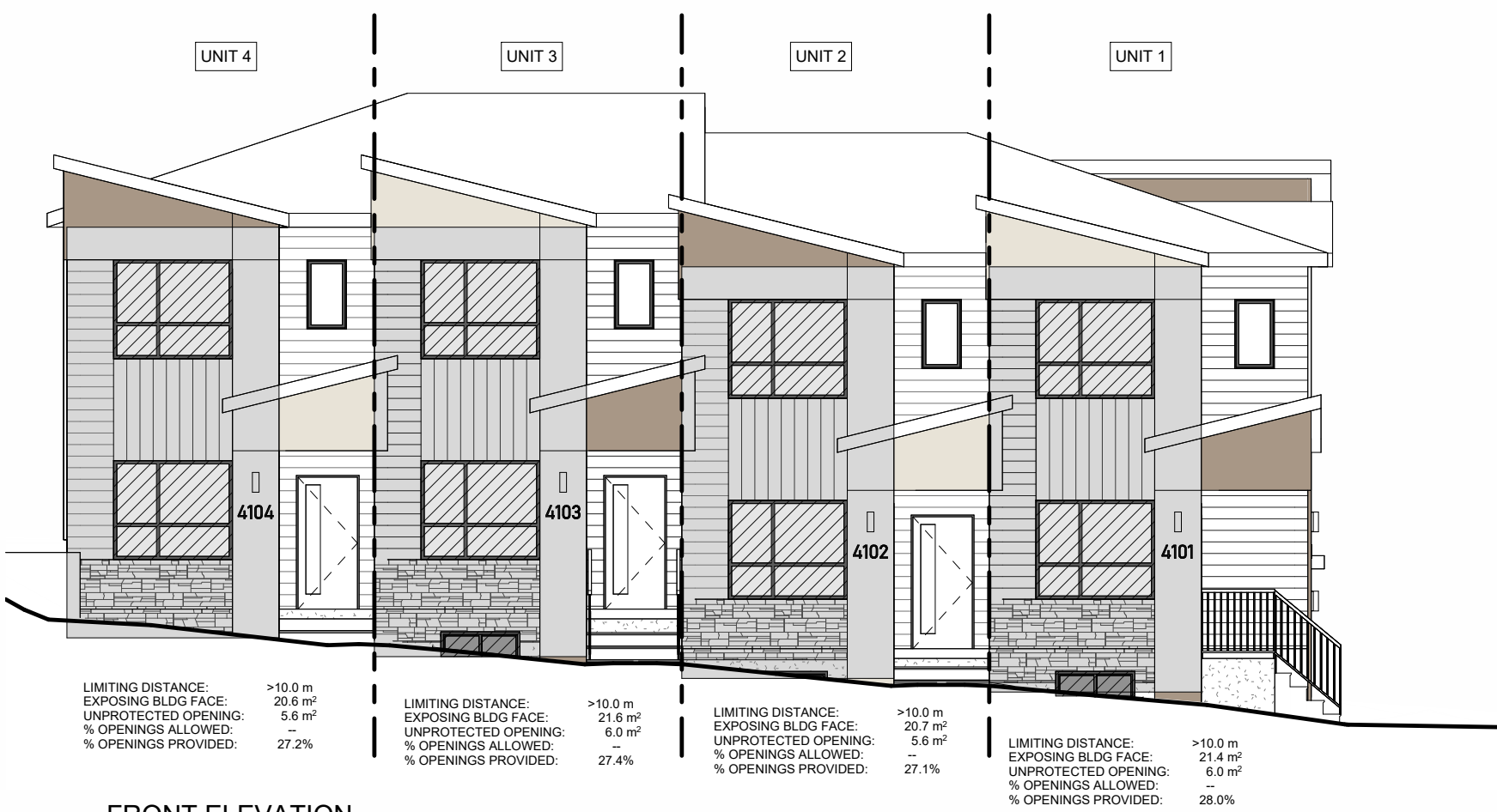
NAME: BUFFALOGRASS  
(*Bouteloua dactyloides*)



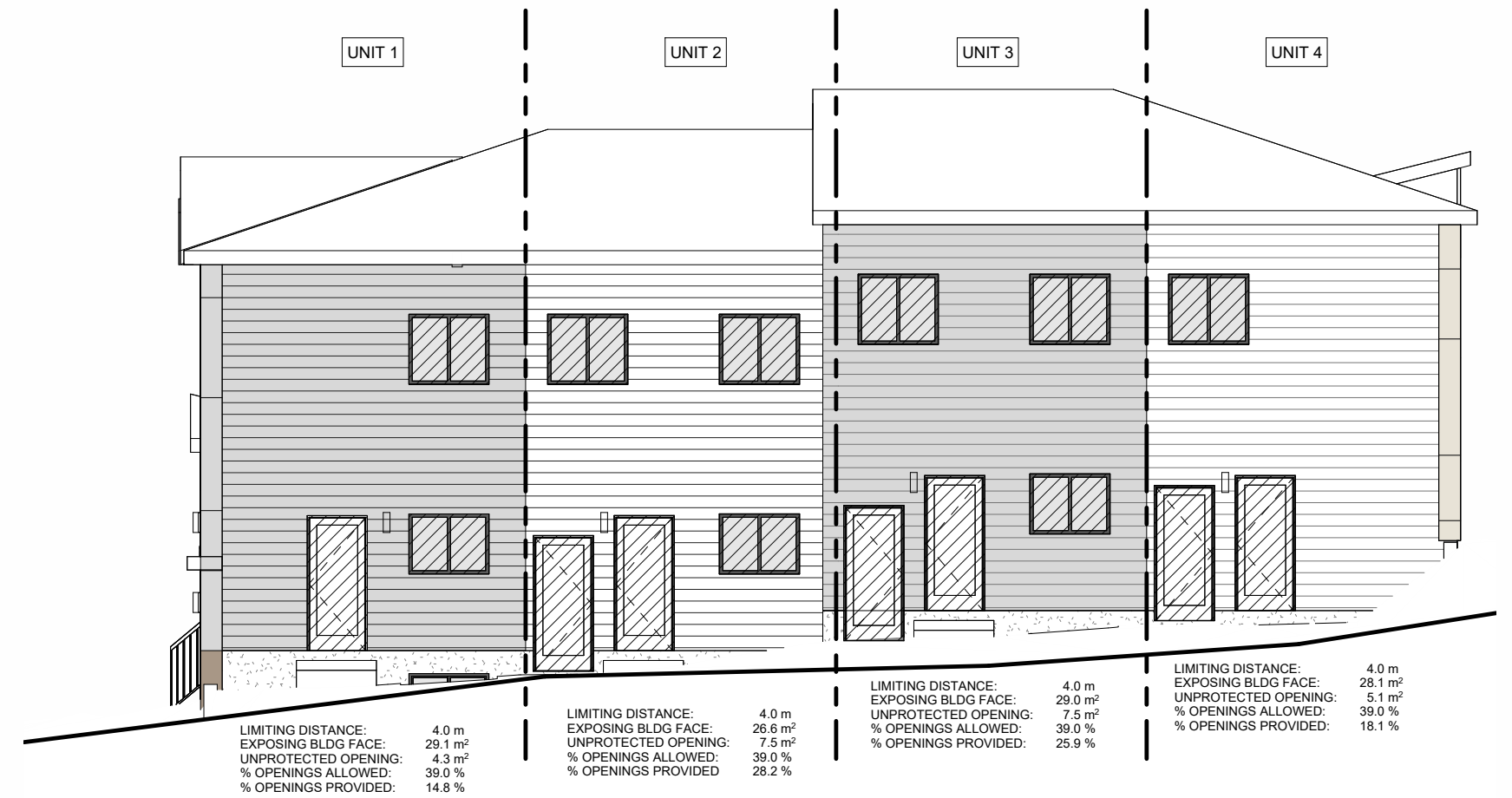
Name: KARL FOERSTER REED GRASS  
(*Calamagrostis acutifolia* 'Karl Foerster')

Qty: 11

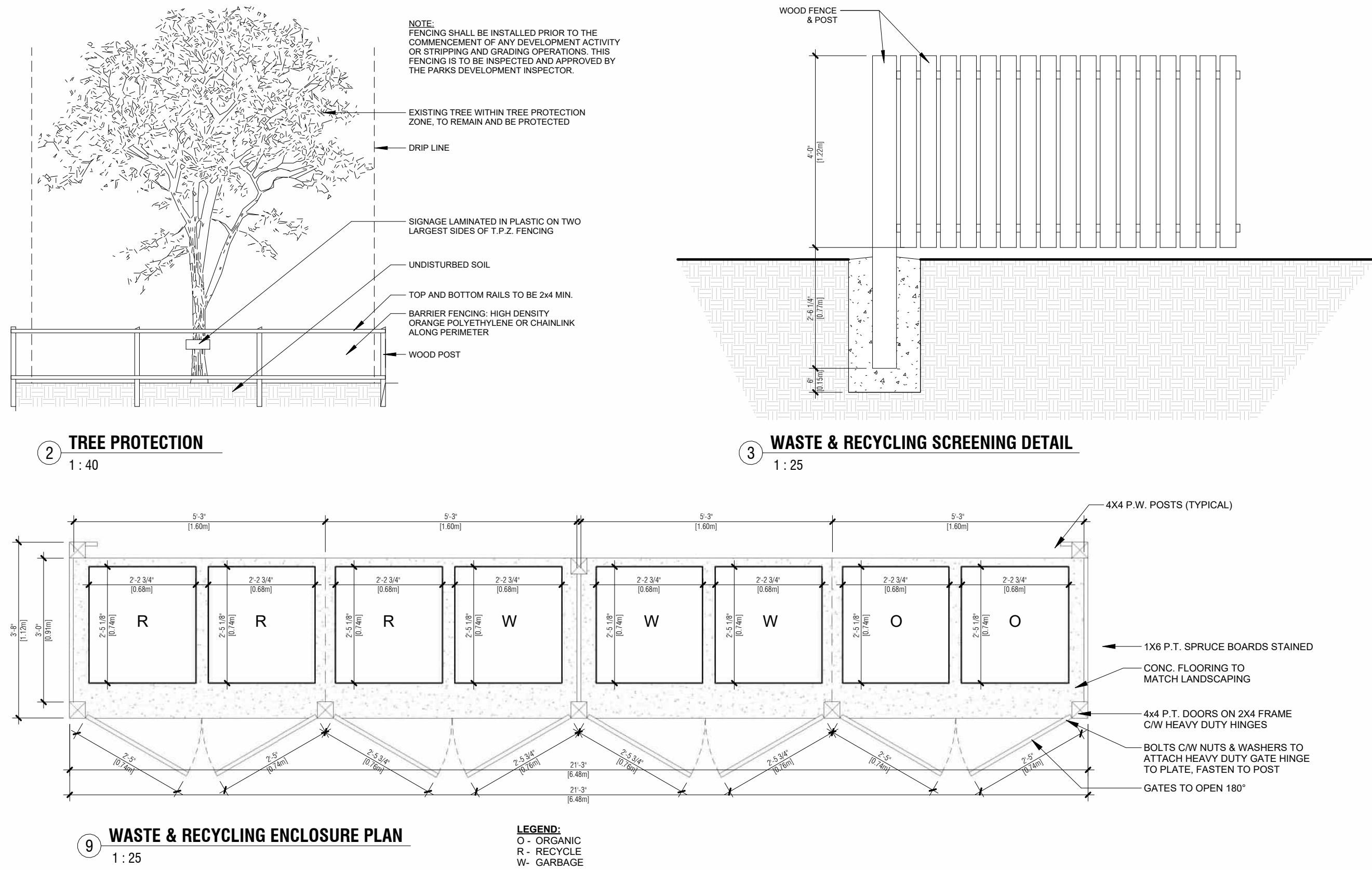
SPATIAL SEPARATION



FRONT ELEVATION



REAR ELEVATION



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Project Title:  
Cheyres Residential Development

Legal Address:  
Westerly 5ft of Lot 42;  
Lot 43; Block 1 Plan 9046 HO

Municipal Address:  
4 Cheyenne Crescent N.W.  
Calgary, AB

NOT FOR CONSTRUCTION

|                      |             |
|----------------------|-------------|
| 1. Issued for Review | 16 Nov 2025 |
| 2. Issued for CP     | 19 Nov 2025 |
| 3. Issued for Review | 11 Feb 2026 |
| 4. Issued for DR 1   | 03 Mar 2026 |
| 5. Issued for DR 1   | 20 May 2026 |
| 6. Issued for DR 2   | 22 Jun 2026 |

Drawing Title

REVIEW & ANALYSIS

Scale:

As Indicated

Date:

22 June 2026

Issued for:

Development Permit

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Date:

22 June 2026



DEVELOPMENT PERMIT PLAN

**LEGAL DESCRIPTION:** First The Westerly 5ft (1.52m) of Lot 42  
Second All of Lot 43  
Block 1 Plan 9046H0

**MUNICIPAL ADDRESS:** 4 Cheyenne Crescent N.W.  
Calgary, Alberta

**DATE OF SURVEY:** October 29th, 2025.

**LEGEND**  
Elevations are shown thus: X = 1000.00 Metres. (Geodetic)  
Elevations are referred to: ASCM 115824 Elev.=1099.95  
Distances are in metres and decimals thereof.  
Bearings are Grid (3TM-114W) and Derived from GNSS Observations.  
Found Iron Posts are shown thus:   
Found Iron Bars are shown thus:   
Magnetic Nails are shown thus:   
Calculation points are shown thus:   
Fire Hydrants are shown thus:   
Water Valves are shown thus:   
Gas Valves are shown thus:   
Power Poles are shown thus:   
Manholes are shown thus:   
Lamp Standards are shown thus:   
Street Signs are shown thus:   
Property lines are shown thus:   
Utility Right of Ways are shown thus:   
Eaves are shown thus:   
Fences are shown thus:   
Streight Cables are shown thus:   
Underground Electrical lines shown thus:   
Stormline are shown thus:   
Sanitaryline are shown thus:   
Combined Storm/Sanitary are shown thus:   
Telephone Lines are shown thus:   
Waterline are shown thus:   
Gasline are shown thus:   
Overhead Electrical lines shown thus:   
All fences are within 0.2 metres of the property lines unless otherwise shown.  
All eaves are measured to fascia unless otherwise shown.  
Unless noted otherwise lines outside of property are not to scale.

**NOTE:**  
Title Information is based on the C. of T. 131,316,452 which was searched on the 4th day of November, 2025, and is subject to:  
No Pertinent Registration.

**ABBREVIATIONS**  
A---Arc Length  
Acc---Accessory  
A/C---Air Conditioner  
Bldg---Building  
BOC---Back of Curb  
Mk---Mark  
Calc---Calculated  
Cant---Cantilever  
Conc---Concrete  
C.S---Countersunk  
DH---Drill Hole  
Enc---Encroaches  
EOA---Edge of Asphalt  
EOR---Edge of Road  
Fd---Found  
I---Iron Post  
I.B---Iron Bar  
LOG---Lip of Gutter  
M.A---Maintenance Access  
Mk---Mark  
M.N---Magnetic Nail  
O.D---Overland Drainage  
R---Radius  
Reg---Registration  
Ret---Retaining  
R/W---Right of Way  
W/O---Walkout Basement  
W.W---Window Well

This plan represents the best information at the time of survey.  
Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.  
Call Alberta One---Call: 1-800-242-3447

--- denotes Coniferous  
 --- denotes Deciduous

Tree Schedule

| Tree No. | Tree Type  | Trunk Dia. | Canopy Dia | Height |
|----------|------------|------------|------------|--------|
| 1        | Deciduous  | 0.30       | 6.00       | 7.00   |
| 2        | Deciduous  | 0.30       | 6.00       | 8.00   |
| 3        | Trunk      | 0.40       | ---        | ---    |
| 4        | Bush       | ---        | 1.20       | 1.20   |
| 5        | Bush       | ---        | 1.90       | 1.80   |
| 6        | Deciduous  | 0.10       | 3.00       | 5.00   |
| 7        | Deciduous  | 0.40       | 6.00       | 6.00   |
| 8        | Coniferous | 0.80       | 6.00       | 13.00  |
| 9        | Bush       | ---        | 1.20       | 1.00   |
| 10       | Deciduous  | 0.35       | 6.00       | 8.00   |
| 11       | Deciduous  | 0.18       | 5.00       | 8.00   |
| 12       | Deciduous  | 0.22       | 7.00       | 7.00   |
| 13       | Deciduous  | 0.30       | 5.00       | 8.00   |

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Project Title  
Cheyres Residential Development

Legal Address  
Westerly 5ft of Lot 42,  
Lot 43, Block 1 Plan 9046 H0

Municipal Address  
4 Cheyenne Crescent N.W.  
Calgary, AB

NOT FOR CONSTRUCTION

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| 1 Issued for Review | 16 Nov 2025 |
| 2 Issued for CP     | 19 Nov 2025 |
| 3 Issued for Review | 11 Feb 2026 |
| 4 Issued for DR 1   | 03 Mar 2026 |
| 5 Issued for CR 1   | 20 May 2026 |
| 6 Issued for DR 2   | 22 Jun 2026 |

Drawing Title

SURVEY PLAN

Scale

As Indicated

Date

22 June 2026

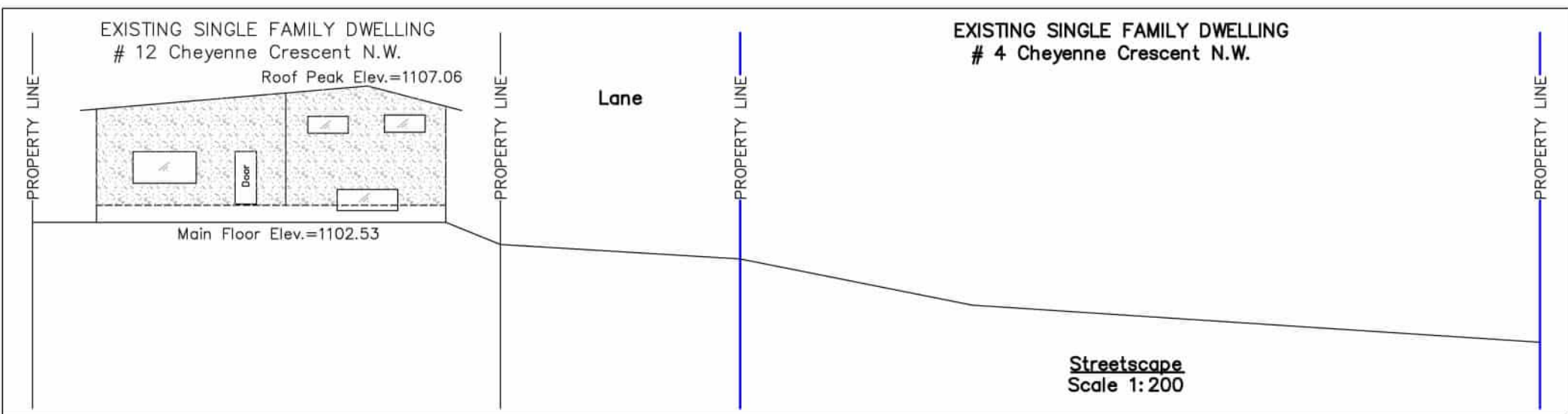
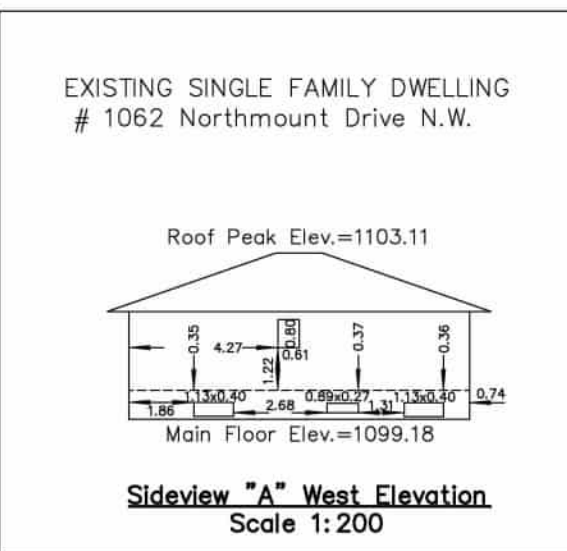
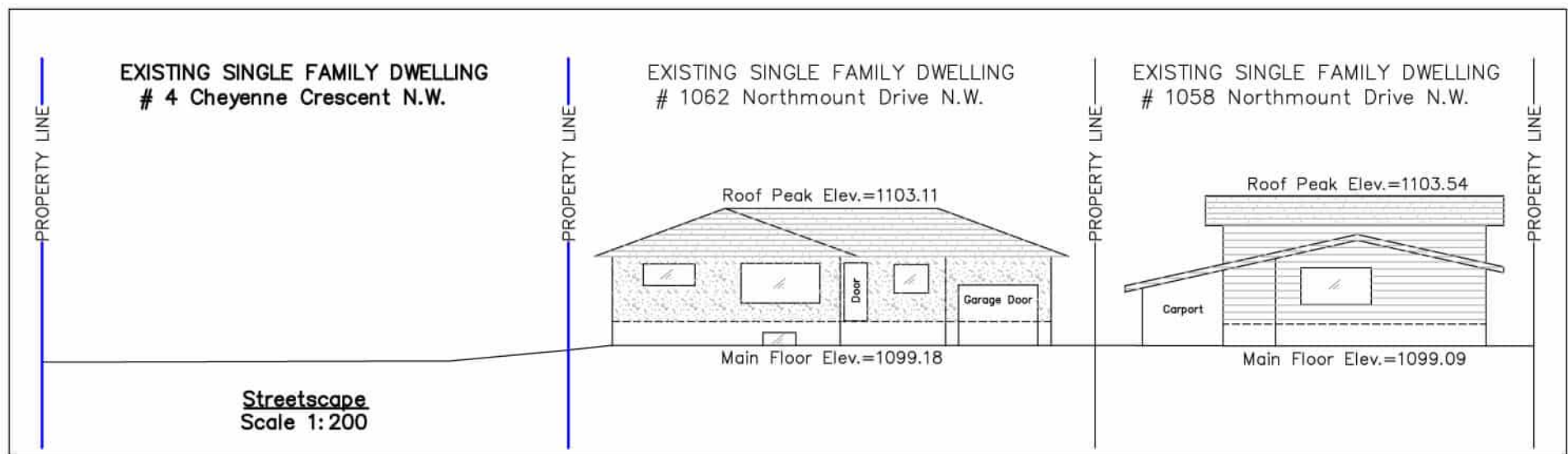
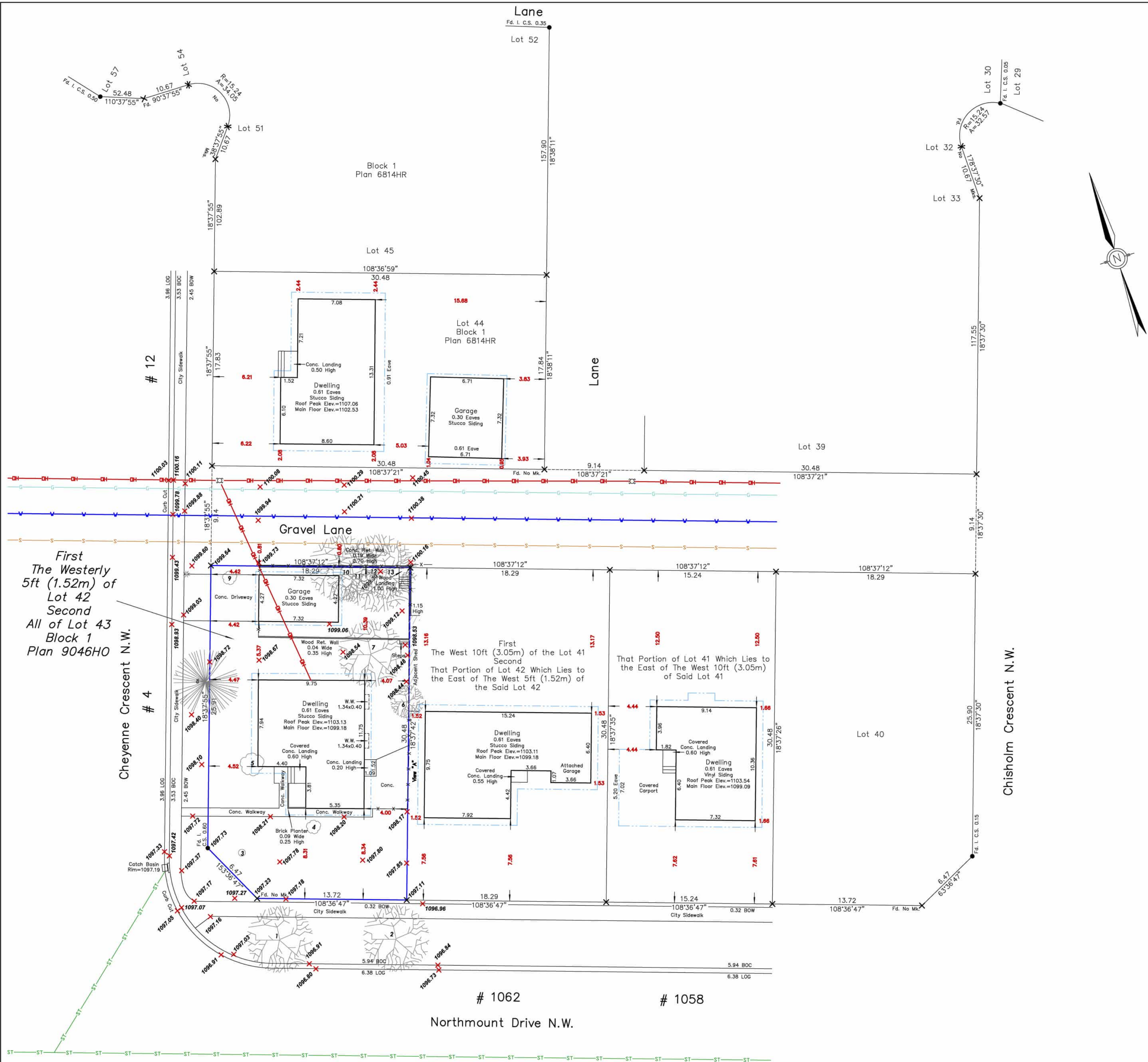
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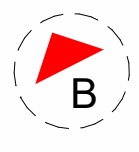
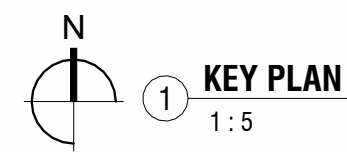
DP.02

2026-06-22 10:53:11 AM



Surveyed by: WL Drawn by: LC/LC Checked by: RB Scale: 1:200 File No.: 254571





Key Plan:



Seal:

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Lot 43, Block 1 Plan 9046 H0

Municipal Address:  
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Calgary, AB

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| 5. Issued for DR 1   | 20 May 2026 |
| 6. Issued for DR 2   | 22 Jun 2026 |

Drawing Title:

**KEY PLAN, STREETSCAPE ELEVATIONS**

Scale:

As Indicated

Date:

22 June 2026

Issued for:

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Sheet No.:

**DP.03**

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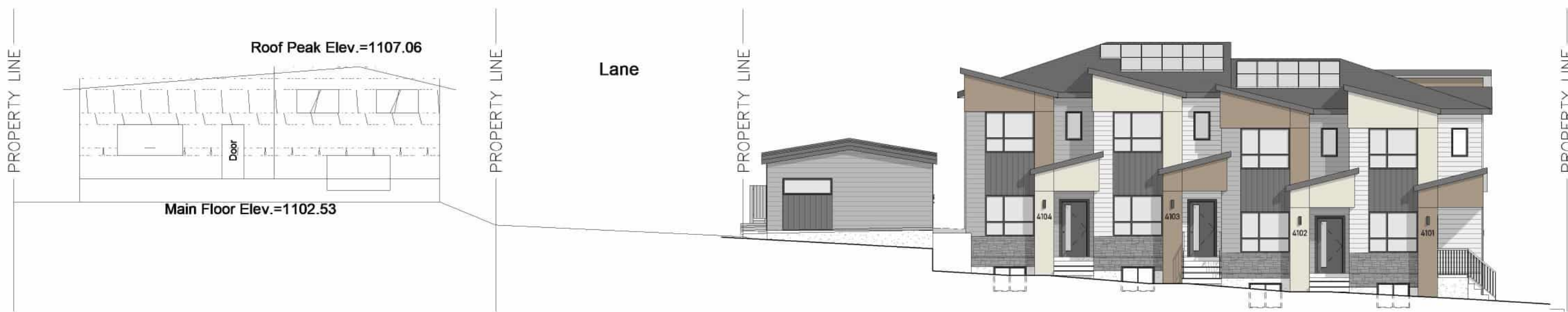
# 12 Cheyenne Crescent N.W.  
EXISTING SINGLE FAMILY DWELLING

# 4 Cheyenne Crescent N.W.

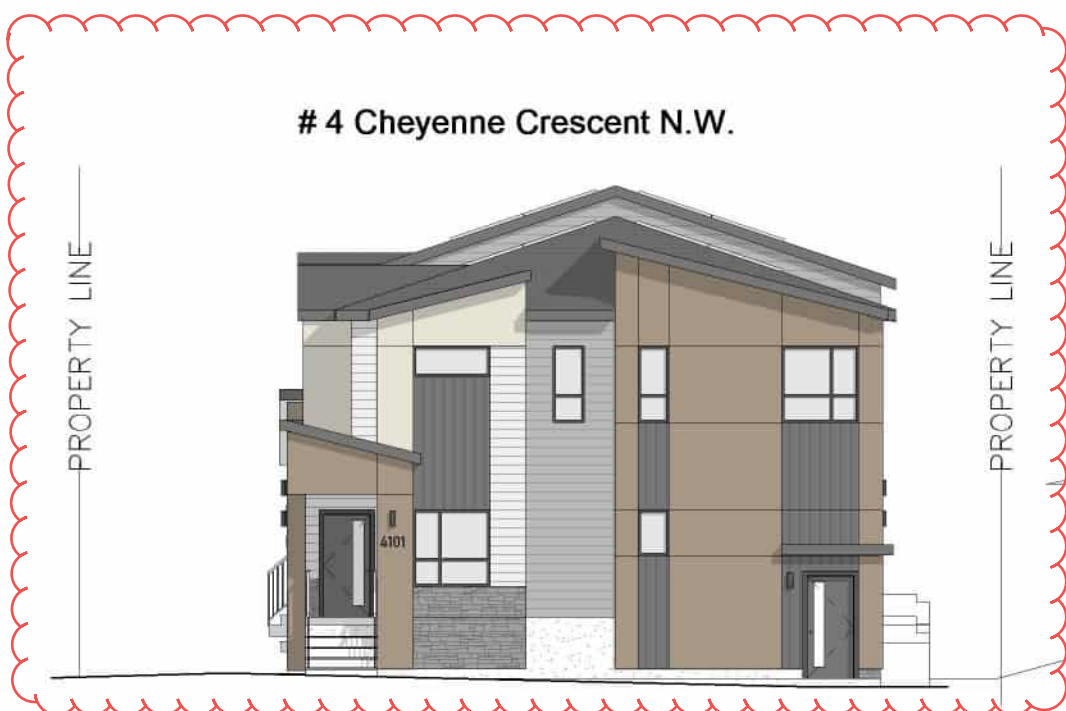
# 4 Cheyenne Crescent N.W.

# 1062 Northmount Drive N.W.  
EXISTING SINGLE FAMILY DWELLING

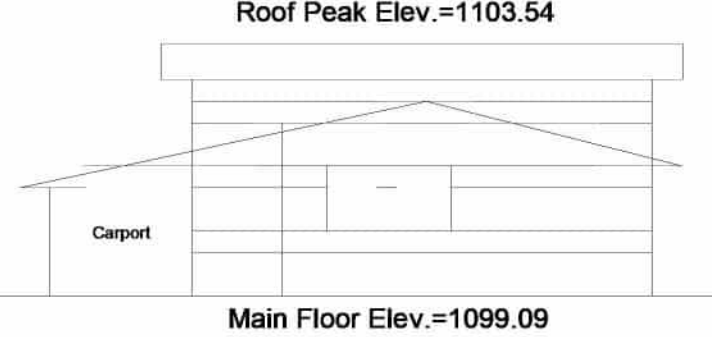
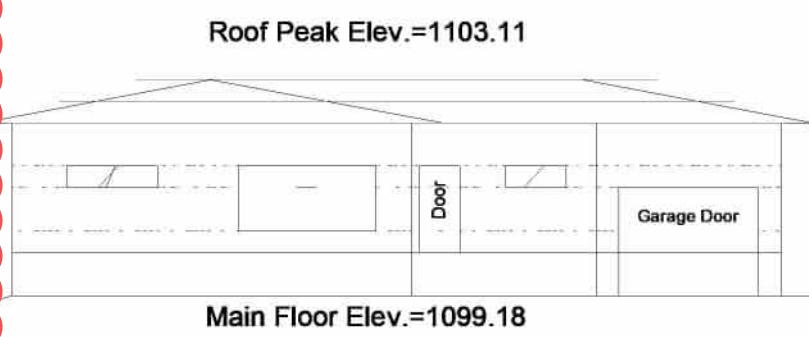
# 1058 Northmount Drive N.W.  
EXISTING SINGLE FAMILY DWELLING



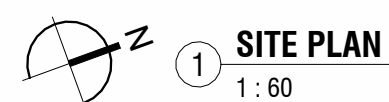
② **STREETSCAPE ELEVATION 1** (CHEYENNE CRESCENT NW)  
1:150



③ **STREETSCAPE ELEVATION 2** (NORTHMOUNT DRIVE NW)  
1:150







Seal

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Cheyres Residential Development

Legal Address:  
Westerly 5ft of Lot 42;  
Lot 43; Block 1 Plan 9046 HC

Municipal Address  
4 Cheyenne Cres  
Calgary, AB

NOT FOR CONSTRUCTION

|                     |             |
|---------------------|-------------|
| 1 Issued for Review | 14 Nov 2022 |
| 2 Issued for DP     | 19 Nov 2022 |
| 3 Issued for Review | 11 Feb 2023 |
| 4 Issued for DR 1   | 03 Mar 2023 |
| 5 Issued for DR 1   | 20 May 2023 |
| 6 Issued for DR 2   | 22 Jun 2023 |

Drawing Title:

## SITE PLAN

Scale:

As indicated

Date:  
22 June 20

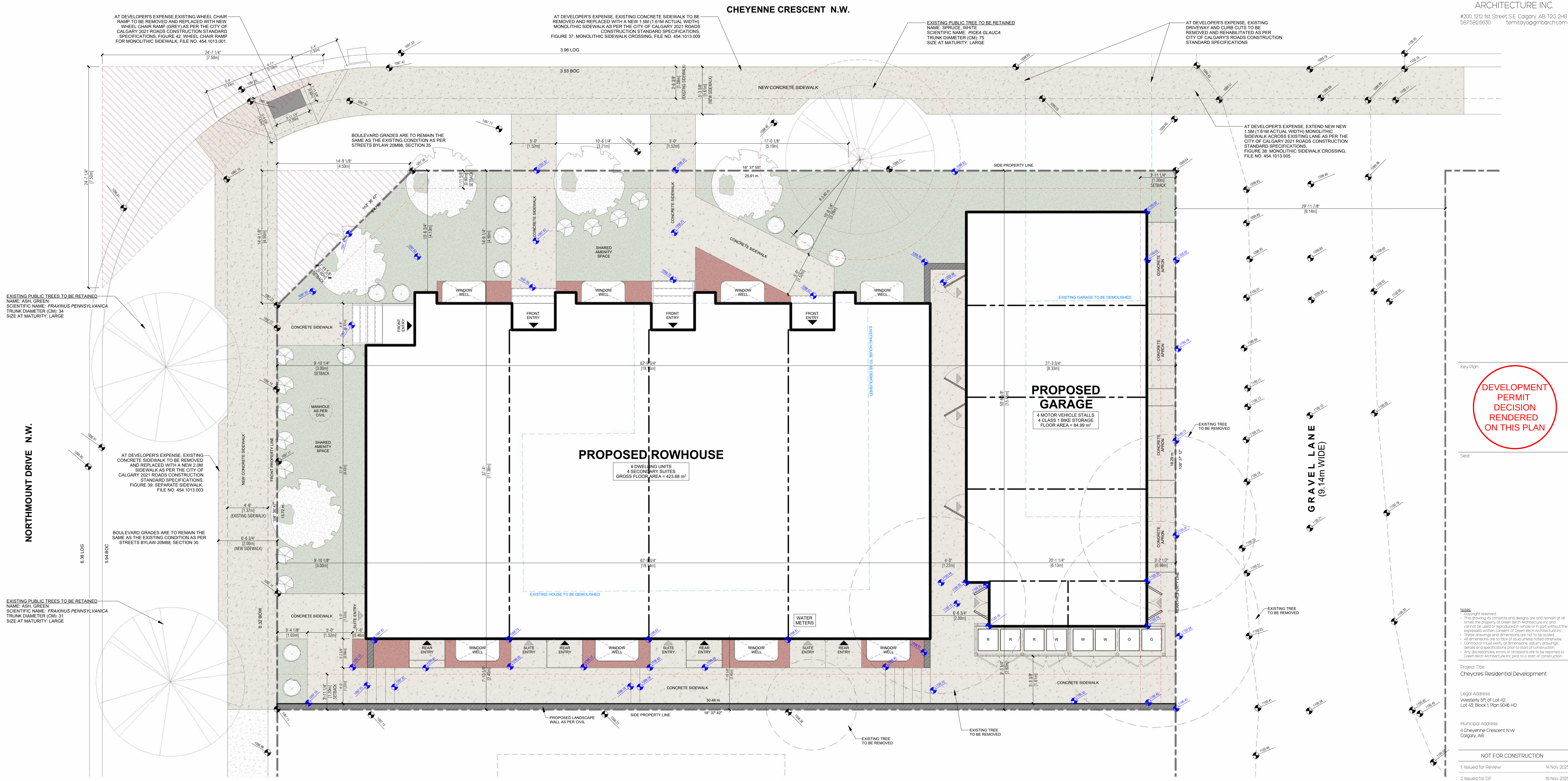
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Development Permit

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DP.04





**LEGEND:**

- PROPOSED BUILDING
- SOD (SOFTSCAPE)
- MULCH (SOFTSCAPE)
- CONCRETE (HARDSCAPE)
- WASHED ROCK (HARDSCAPE)
- PROPOSED ENTRY

**PROPOSED PLANTING LEGEND:**

**TREES DECIDUOUS**  
REQUIRED: 1 per 110m<sup>2</sup> OF PARCEL  
= 5 TREES  
PROVIDED: 5 TREES  
CALLIPER: 60mm MINIMUM

**SHRUBS**  
REQUIRED: 3 per 110m<sup>2</sup> OF PARCEL  
= 20 SHRUBS  
PROVIDED: 22 SHRUBS  
HEIGHT: 0.6m MINIMUM @ PLANTING

**PROPOSED SOD**  
NAME: BUFFALOGRASS  
(*Bouteloua dactyloides*)

**PROPOSED TREE PLANTING**  
NAME: COLUMNAR COLORADO SPRUCE  
(*Picea pungens "Fastigiata"*)  
QTY: 5  
SIZE: 15ft (H); 6ft (W)

**PROPOSED SHRUBS**  
NAME: MUGO PINE  
(*Pinus mugo*)  
QTY: 11 PROVIDED  
SIZE: Min. Height or Spread of 0.60m at time of planting

**KARL FOERSTER REED GRASS**  
(*Calamagrostis acutifolia "Karl Foerster"*)  
QTY: 11 PROVIDED  
SIZE: Min. Height or Spread of 0.60m at time of planting

**LANDSCAPING STAT:**

PARCEL AREA: 546.77 m<sup>2</sup>  
PRINCIPAL BUILDING: 212.62 m<sup>2</sup>  
DETACHED GARAGE: 79.91 m<sup>2</sup>  
GARAGE APRON: 5.90 m<sup>2</sup>  
WASTE BINS PAD: 7.41 m<sup>2</sup>  
LANDSCAPE AREA: 211.28 m<sup>2</sup>

**HARD LANDSCAPING:**  
CONCRETE: 108.78 m<sup>2</sup>

**SOFT LANDSCAPING:**  
SOD (BUFFALOGRASS): 95.82 m<sup>2</sup>  
MULCH: 6.68 m<sup>2</sup>  
102.50 m<sup>2</sup>

SOFT LANDSCAPE COVERAGE = 48.51%

**NOTES:**

- ALL SOFT LANDSCAPED AREA TO BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM.
- ALL PLANT MATERIALS MUST BE OF A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
- MIN. SOIL DEPTH REQUIRED FOR SOD = 300mm
- MIN. SOIL DEPTH REQUIRED FOR SHRUBS = 600mm
- MIN. SOIL DEPTH REQUIRED FOR TREES = 1,200mm

**TREE TABLE**

| #   | Variety    | Species       | Trunk | Canopy | Height | Owner   | Status   |
|-----|------------|---------------|-------|--------|--------|---------|----------|
| T1  | Deciduous  | Ash, Green    | 0.34  | 6.00   | 7.00   | Public  | Retained |
| T2  | Deciduous  | Ash, Green    | 0.31  | 6.00   | 8.00   | Public  | Retained |
| T6  | Deciduous  |               | 0.10  | 3.00   | 5.00   | Private | Removed  |
| T7  | Deciduous  |               | 0.40  | 6.00   | 6.00   | Private | Removed  |
| T8  | Coniferous | Spruce, White | 0.80  | 6.00   | 13.00  | Public  | Retained |
| T10 | Deciduous  |               | 0.35  | 6.00   | 8.00   | Private | Removed  |
| T11 | Deciduous  |               | 0.18  | 5.00   | 8.00   | Private | Removed  |
| T12 | Deciduous  |               | 0.22  | 7.00   | 7.00   | Private | Removed  |
| T13 | Deciduous  |               | 0.30  | 5.00   | 8.00   | Private | Removed  |

**NOT FOR CONSTRUCTION**

|                     |             |
|---------------------|-------------|
| 1 Issued for Review | 16 Nov 2025 |
| 2 Issued for CP     | 19 Nov 2025 |
| 3 Issued for Review | 11 Feb 2026 |
| 4 Issued for DR 1   | 03 Mar 2026 |
| 5 Issued for DR 1   | 20 May 2026 |
| 6 Issued for DR 2   | 22 Jun 2026 |

Drawing Title: **LANDSCAPE PLAN**

Scale: As Indicated  
Date: 22 June 2026  
Issued for: Development Permit

Sheet No.: **DP.05**

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GreenBirch  
ARCHITECTURE INC.

#200, 1212 1st Street S.E. Calgary, AB T2G 2H8  
587.582.6630      termitay@gnrbarch.com



**MATERIAL LEGEND:**

|             |                                                                                                |             |                                                                                              |
|-------------|------------------------------------------------------------------------------------------------|-------------|----------------------------------------------------------------------------------------------|
| <b>AS-1</b> | <b>ROOFING 1</b><br>MAT'L 30-YEAR ASPHALT SHINGLES<br>MFR IKO - DYNASTY<br>COLOR GRANITE BLACK | <b>SB-1</b> | <b>WALL CLADDING 4</b><br>MAT'L SMART PANEL<br>MFR LP SMARTSIDE<br>COLOR SAND DUNES          |
| <b>FR-1</b> | <b>FASCIA/RAINWARE</b><br>MAT'L ALUMINUM / METAL<br>MFR MITTEN<br>COLOR IRON ORE               | <b>SB-2</b> | <b>WALL CLADDING 5</b><br>MAT'L SMART PANEL<br>MFR LP SMARTSIDE<br>COLOR TERRA BROWN         |
| <b>LP-1</b> | <b>WALL CLADDING 1</b><br>MAT'L SIDING<br>MFR LP SMARTSIDE<br>COLOR SNOWSCAPE WHITE            | <b>MS-1</b> | <b>MASONRY 1</b><br>MAT'L MANUFACTURED STONE<br>MFR DUTCH QUALITY STONE<br>COLOR STACK LEDGE |
| <b>LP-2</b> | <b>WALL CLADDING 2</b><br>MAT'L SIDING<br>MFR LP SMARTSIDE<br>COLOR CAVERN STEEL               | <b>MS-2</b> | <b>MASONRY 2</b><br>MAT'L CONCRETE PAVING<br>COLOR GREY                                      |
| <b>LP-3</b> | <b>WALL CLADDING 3</b><br>MAT'L SIDING<br>MFR LP SMARTSIDE<br>COLOR MIDNIGHT SHADOW            | <b>FR-1</b> | <b>BALCONY RAILINGS</b><br>MAT'L PREFINISHED METAL<br>COLOR SW 9560 NIGHT OUT                |

Key Plan:

DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN

Seal:

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Project Title  
Cheyres Residential Development

Legal Address  
Westerly St of Lot 42,  
Lot 43, Block 1 Plan 9046 H0

Municipal Address  
4 Cheyenne Crescent N.W.  
Calgary, AB

**NOT FOR CONSTRUCTION**

|                     |             |
|---------------------|-------------|
| 1 Issued for Review | 16 Nov 2025 |
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| 3 Issued for Review | 11 Feb 2026 |
| 4 Issued for DR 1   | 03 Mar 2026 |
| 5 Issued for CR 1   | 20 May 2026 |
| 6 Issued for DR 2   | 22 Jun 2026 |

Drawing Title

**ELEVATIONS**

Scale:

As Indicated

Date:

22 June 2026

Issued for

Development Permit

Sheet No.:

**DP.07**

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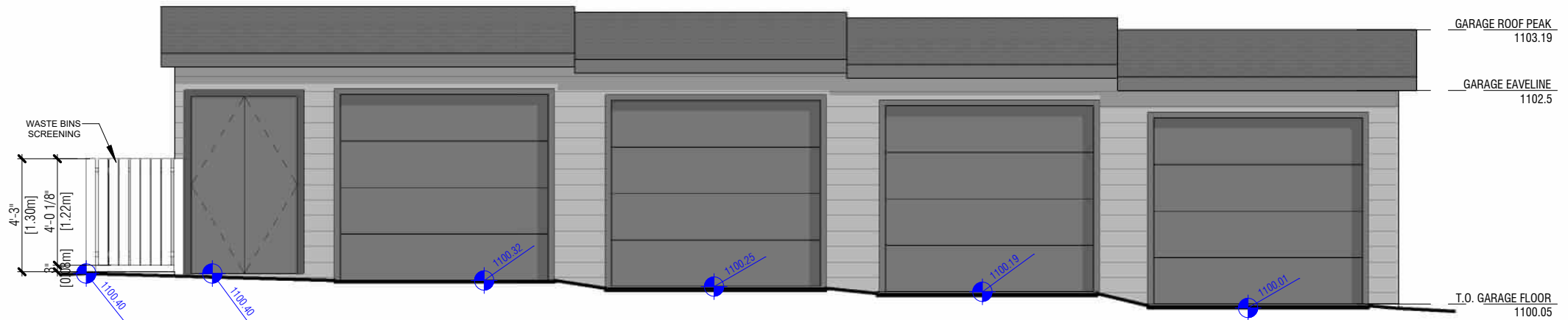
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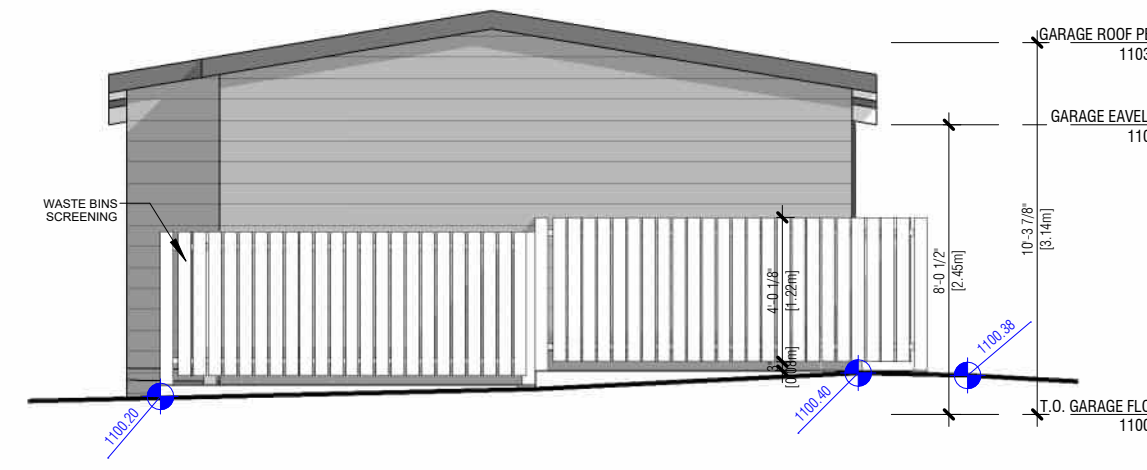
2 GARAGE ELEVATION 1  
1 : 64



3 GARAGE ELEVATION 3  
1 : 64



4 GARAGE ELEVATION 2  
1 : 64



5 GARAGE ELEVATION 4  
1 : 64

**MATERIAL LEGEND:**

|             |                                                                                                |             |                                                                                              |
|-------------|------------------------------------------------------------------------------------------------|-------------|----------------------------------------------------------------------------------------------|
| <b>AS-1</b> | <b>ROOFING 1</b><br>MAT'L 30-YEAR ASPHALT SHINGLES<br>MFR IKO - DYNASTY<br>COLOR GRANITE BLACK | <b>SB-1</b> | <b>WALL CLADDING 4</b><br>MAT'L SMART PANEL<br>MFR LP SMARTSIDE<br>COLOR SAND DUNES          |
| <b>FR-1</b> | <b>FASCIA / RAINWARE</b><br>MAT'L ALUMINUM / METAL<br>MFR MITTEN<br>COLOR IRON ORE             | <b>SB-2</b> | <b>WALL CLADDING 5</b><br>MAT'L SMART PANEL<br>MFR LP SMARTSIDE<br>COLOR TERRA BROWN         |
| <b>LP-1</b> | <b>WALL CLADDING 1</b><br>MAT'L SIDING<br>MFR LP SMARTSIDE<br>COLOR SNOWSCAPE WHITE            | <b>MS-1</b> | <b>MASONRY 1</b><br>MAT'L MANUFACTURED STONE<br>MFR DUTCH QUALITY STONE<br>COLOR STACK LEDGE |
| <b>LP-2</b> | <b>WALL CLADDING 2</b><br>MAT'L SIDING<br>MFR LP SMARTSIDE<br>COLOR CAVERN STEEL               | <b>MS-2</b> | <b>MASONRY 2</b><br>MAT'L CONCRETE PAVING<br>COLOR GREY                                      |
| <b>LP-3</b> | <b>WALL CLADDING 3</b><br>MAT'L SIDING<br>MFR LP SMARTSIDE<br>COLOR MIDNIGHT SHADOW            | <b>FR-1</b> | <b>BALCONY RAILINGS</b><br>MAT'L PREFINISHED METAL<br>COLOR SW 9560 NIGHT OUT                |

Key Plan:

DEVELOPMENT  
PERMIT  
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Project Title:  
Cheyres Residential Development

Legal Address:  
Westley St of Lot 42,  
Lot 43, Block 1 Plan 9046 H0

Municipal Address:  
4 Cheyenne Crescent N.W.  
Calgary, AB

**NOT FOR CONSTRUCTION**

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| 1. Issued for Review | 16 Nov 2025 |
| 2. Issued for DP     | 19 Nov 2025 |
| 3. Issued for Review | 11 Feb 2026 |
| 4. Issued for DR 1   | 03 Mar 2026 |
| 5. Issued for DR 1   | 20 May 2026 |
| 6. Issued for DR 2   | 22 Jun 2026 |

Drawing Title

**GARAGE**

Scale:

As Indicated

Date:

22 June 2026

Issued for

Development Permit

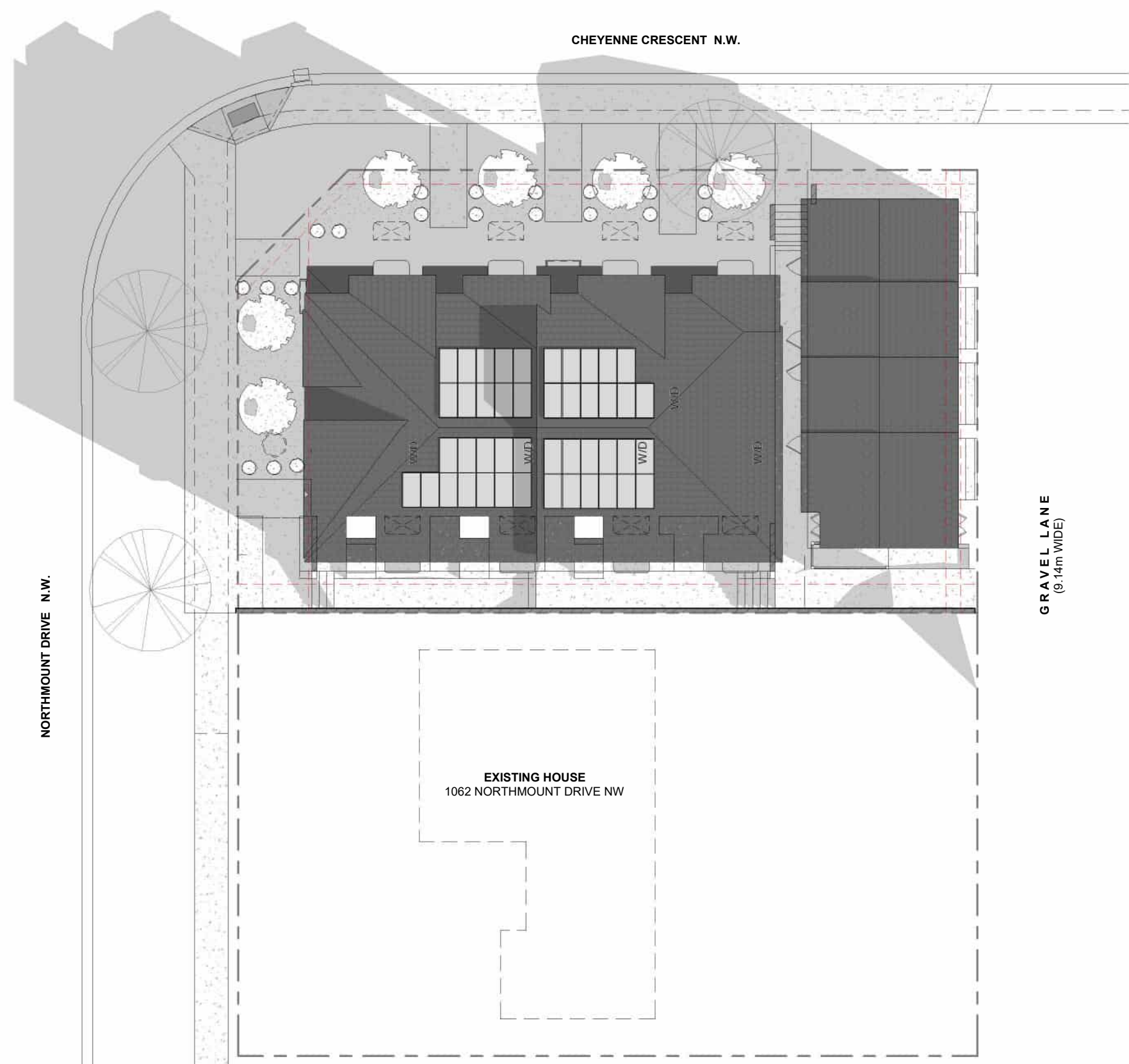
Sheet No.:

**DP.09**

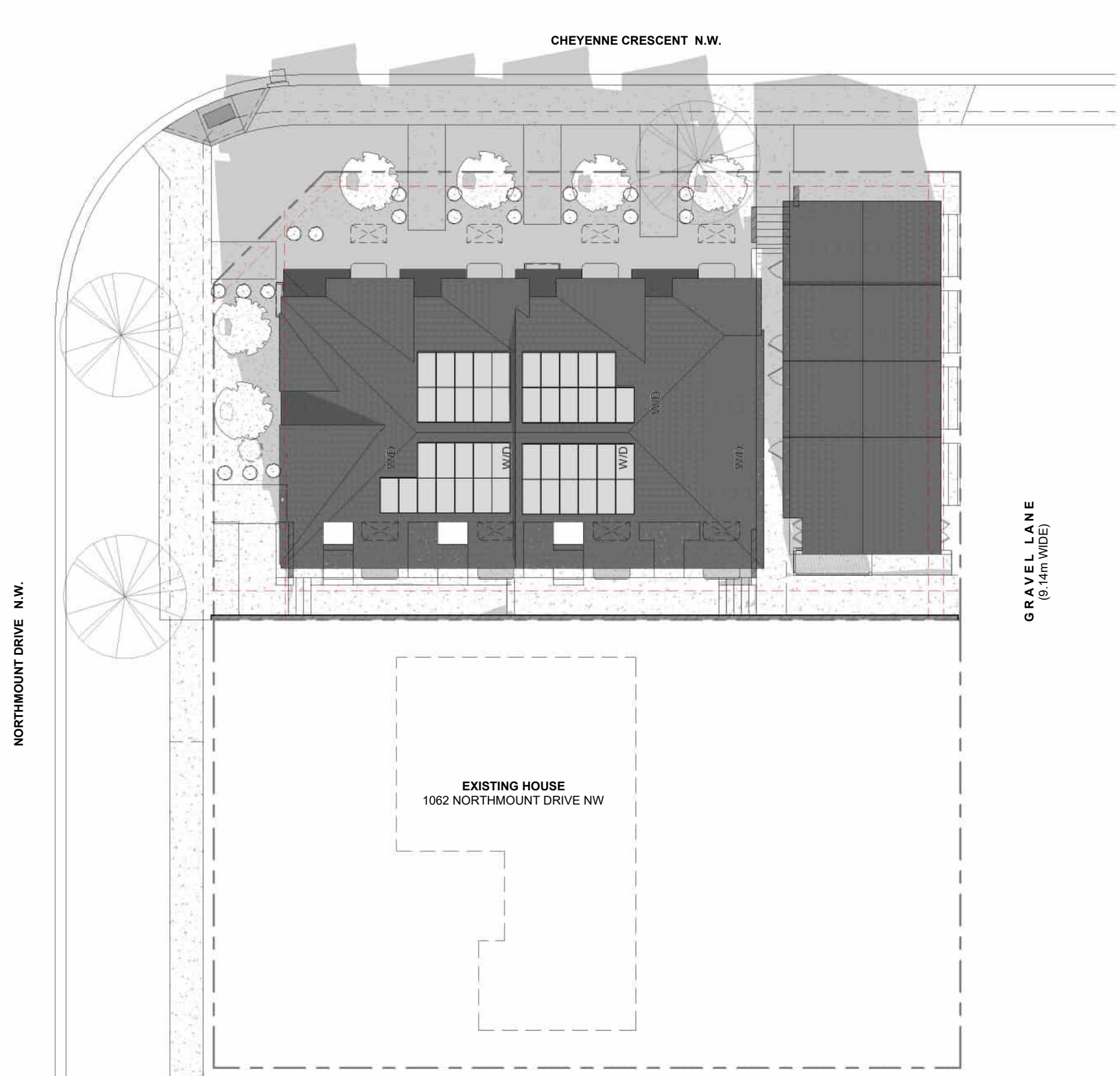
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2026-06-22 10:53:42 AM

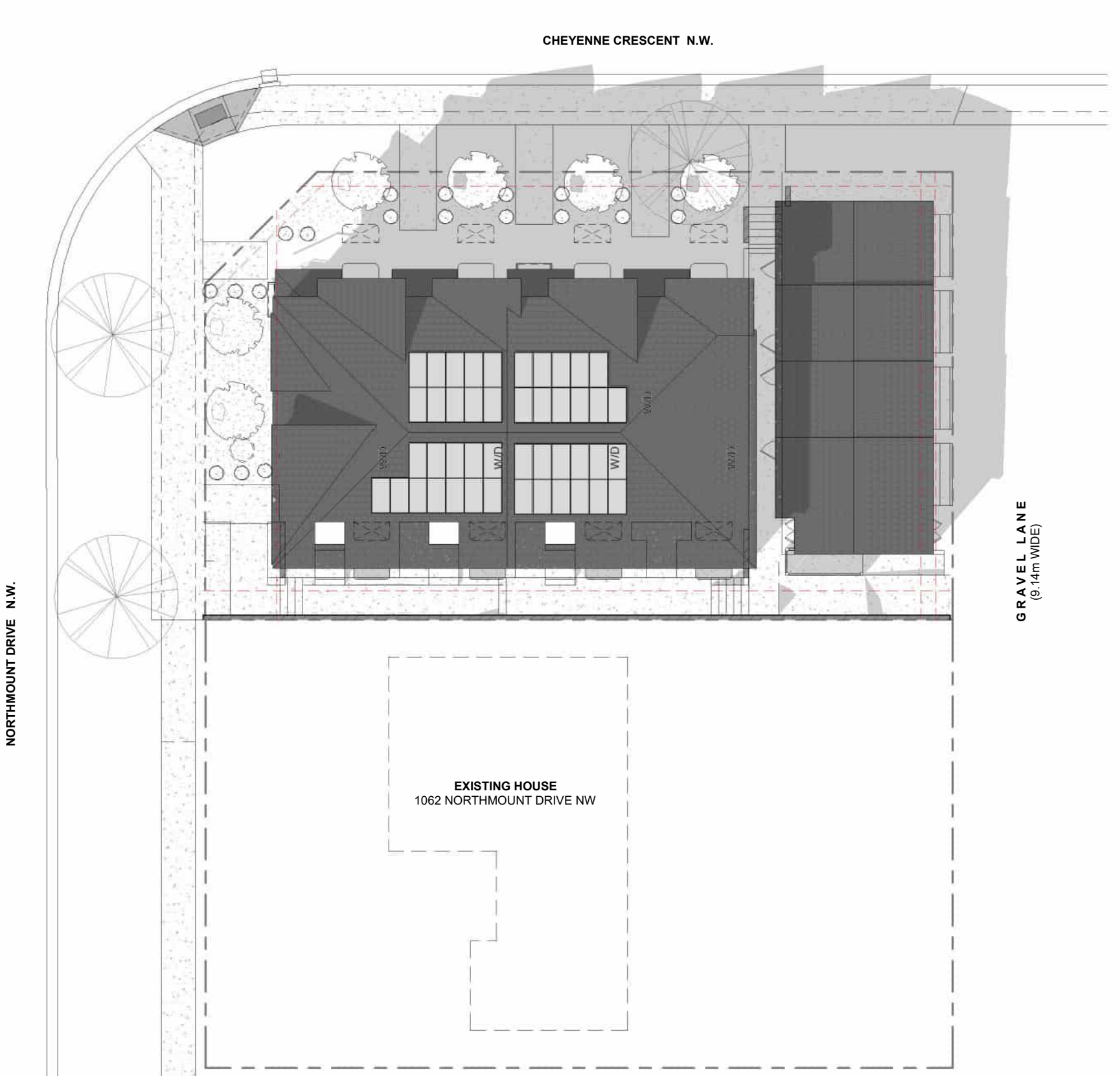




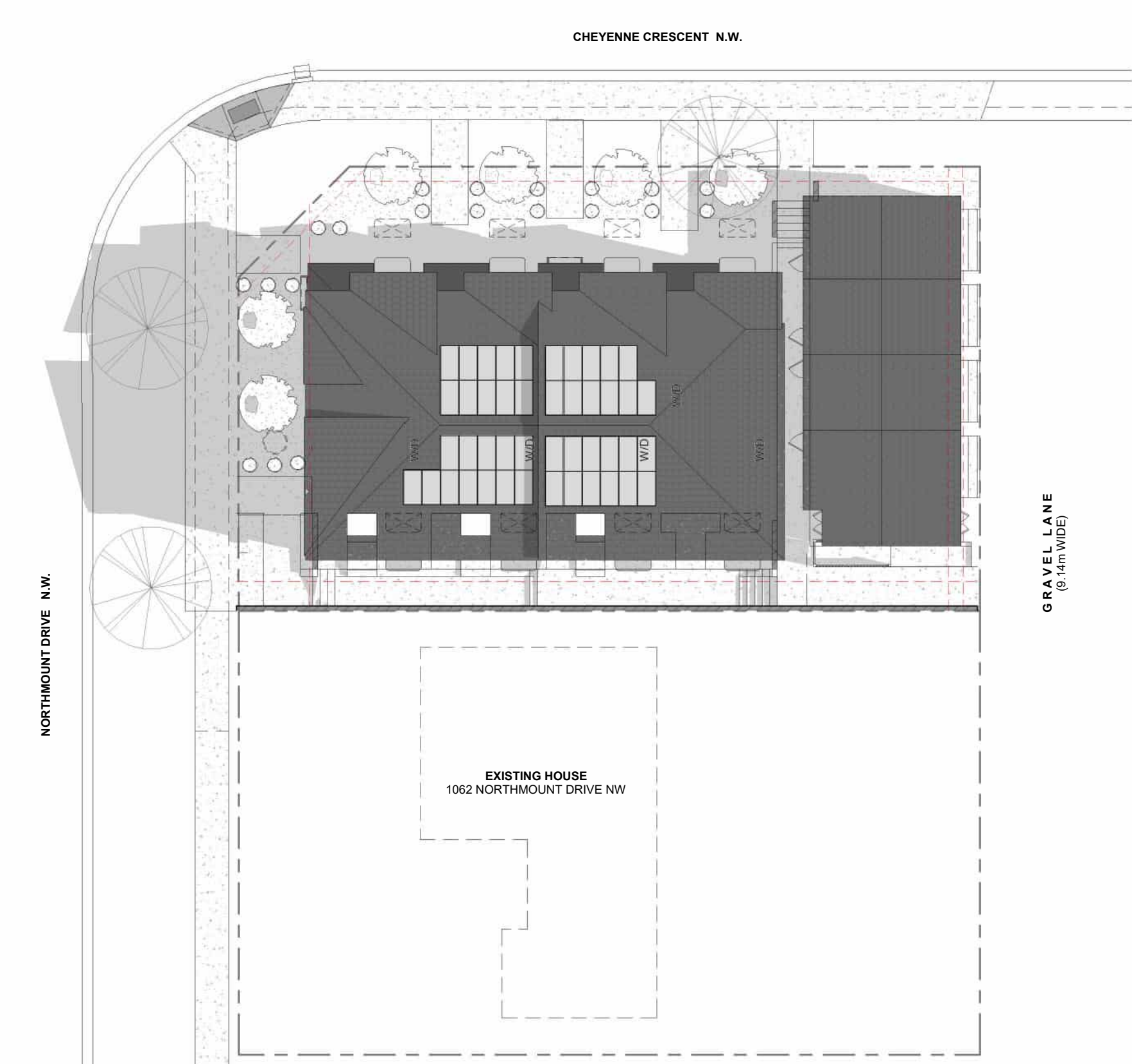
1 Spring Equinox - 10am  
1 : 200



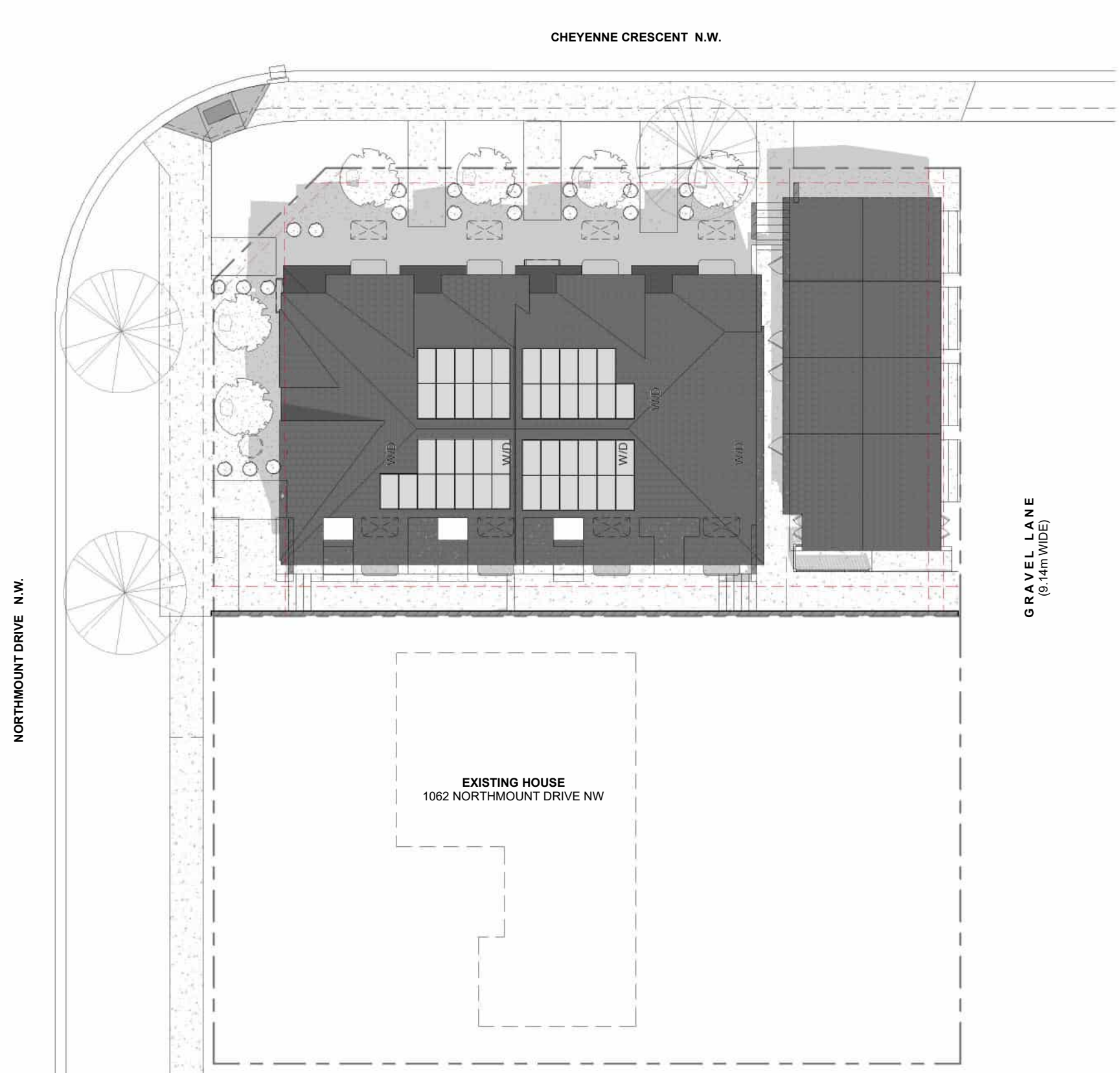
2 Spring Equinox - 1pm  
1 : 200



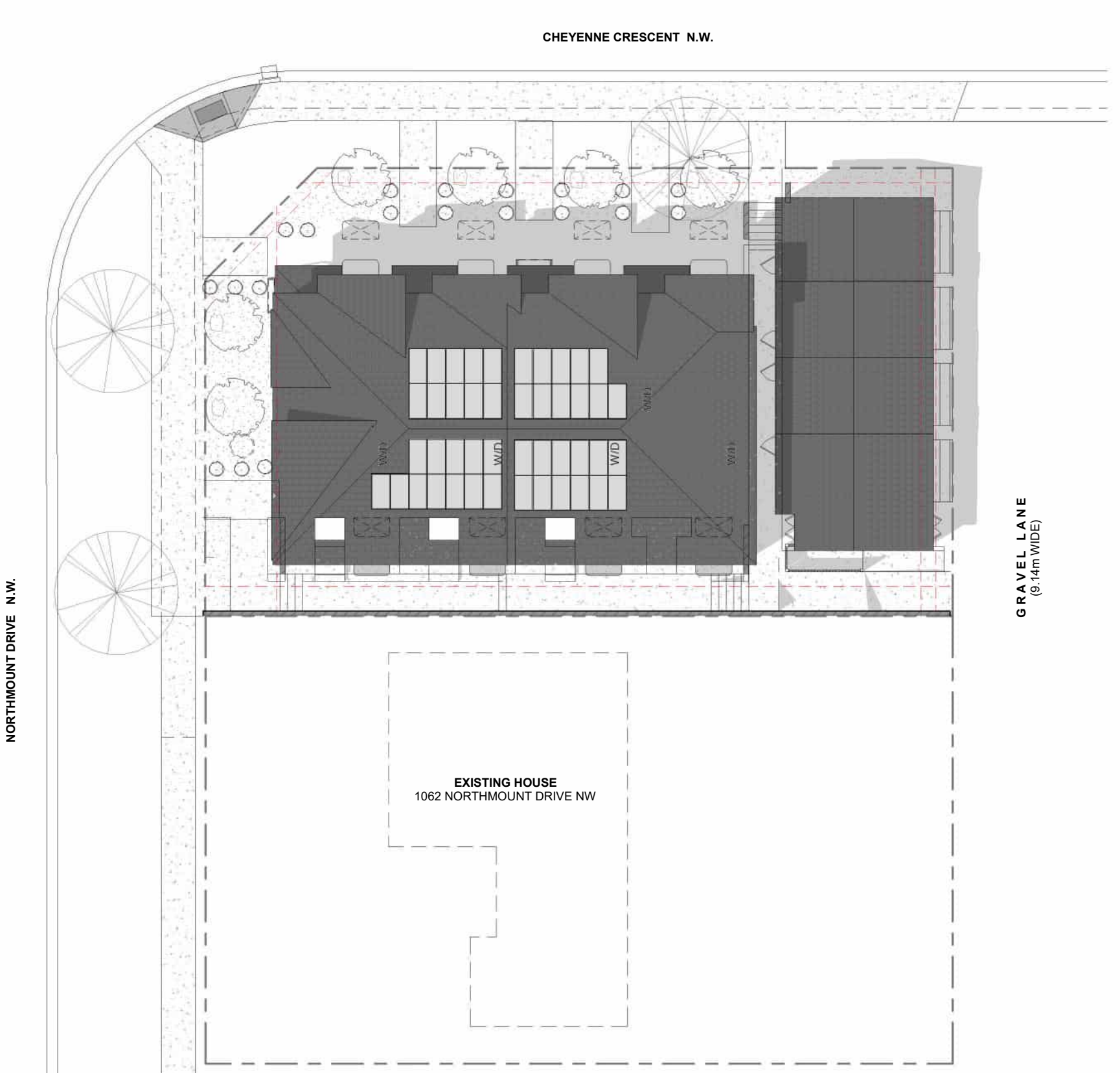
3 Spring Equinox - 4pm  
1 : 200



4 Summer Solstice - 10am  
1 : 200



5 Summer Solstice - 1pm  
1 : 200



6 Summer Solstice - 4pm  
1 : 200

Key Plan:

DEVELOPMENT  
PERMIT  
DECISION  
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ON THIS PLAN

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Project Title:  
Cheyres Residential Development

Legal Address:  
Westerly St of Lot 42,  
Lot 43, Block 1 Plan 9046 H0

Municipal Address:  
4 Cheyenne Crescent N.W.  
Calgary, AB

NOT FOR CONSTRUCTION

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|----------------------|-------------|
| 1. Issued for Review | 16 Nov 2025 |
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| 3. Issued for Review | 11 Feb 2026 |
| 4. Issued for DR 1   | 03 Mar 2026 |
| 5. Issued for CR 1   | 20 May 2026 |
| 6. Issued for DR 2   | 22 Jun 2026 |

Drawing Title

SHADOW STUDY

Scale:

As Indicated

Date:

22 June 2026

Issued for

Development Permit

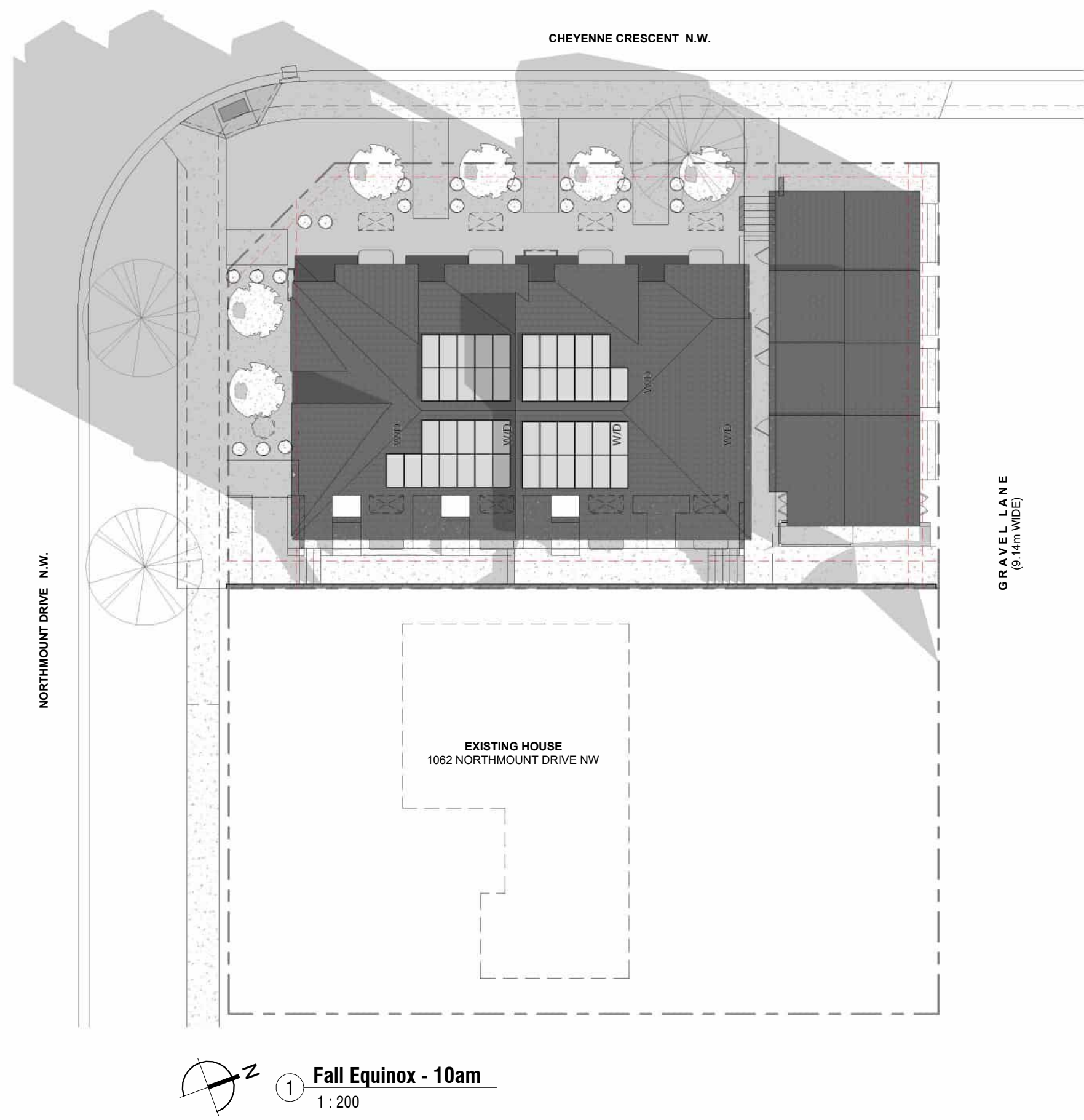
Sheet No.:

DP.10

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Key Plan:

**DEVELOPMENT  
PERMIT  
DECISION  
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Project Title:  
Cheyres Residential Development

Legal Address:  
Westerly St of Lot 42,  
Lot 43, Block 1 Plan 9046 HO

Municipal Address:  
4 Cheyenne Crescent N.W.  
Calgary, AB

| NOT FOR CONSTRUCTION |             |
|----------------------|-------------|
| 1. Issued for Review | 16 Nov 2025 |
| 2. Issued for CP     | 19 Nov 2025 |
| 3. Issued for Review | 11 Feb 2026 |
| 4. Issued for DR 1   | 03 Mar 2026 |
| 5. Issued for DR 1   | 20 May 2026 |
| 6. Issued for DR 2   | 22 Jun 2026 |

|                                       |                            |
|---------------------------------------|----------------------------|
| Drawing Title:<br><b>SHADOW STUDY</b> |                            |
| Scale:<br>As Indicated                | Sheet No.:<br><b>DP.11</b> |
| Date:<br>22 June 2026                 |                            |
| Issued for:<br>Development Permit     |                            |
|                                       |                            |



DEVELOPMENT PERMIT PLAN

LEGAL DESCRIPTION: First  
The Westerly 5ft (1.52m) of Lot 42  
Second  
All of Lot 43  
Block 1  
Plan 9046HO

MUNICIPAL ADDRESS: 4 Cheyenne Crescent N.W.  
Calgary, Alberta  
DATE OF SURVEY: October 29th, 2025.  
DATE OF UPDATE: April 20th, 2026.

LEGEND  
Elevations are shown thus: X = 1000.00 Metres. (Geodetic)  
Elevations are referred to ASCM 115824 Elev.=1099.95  
Distances are in metres and decimals thereof.  
Bearings are Grid (STM-114°W) and Derived from GNSS Observations.  
Found Iron Posts are shown thus: \_\_\_\_\_  
Drill Holes are shown thus: \_\_\_\_\_  
Found Iron Bars are shown thus: \_\_\_\_\_  
Magnetic Nails are shown thus: \_\_\_\_\_  
Calculation points are shown thus: \_\_\_\_\_  
Fire Hydrants are shown thus: \_\_\_\_\_  
Water Valves are shown thus: \_\_\_\_\_  
Gas Valves are shown thus: \_\_\_\_\_  
Power Poles are shown thus: \_\_\_\_\_  
Manholes are shown thus: \_\_\_\_\_  
Lamp Standards are shown thus: \_\_\_\_\_  
Street Signs are shown thus: \_\_\_\_\_  
Property lines are shown thus: \_\_\_\_\_  
Utility Right of Way are shown thus: \_\_\_\_\_  
Eaves are shown thus: \_\_\_\_\_  
Fences are shown thus: \_\_\_\_\_  
Streetlight Cables are shown thus: \_\_\_\_\_  
Underground Electrical lines shown thus: \_\_\_\_\_  
Stormline are shown thus: \_\_\_\_\_  
Sanitaryline are shown thus: \_\_\_\_\_  
Combined Storm/Sanitary are shown thus: \_\_\_\_\_  
Telephone Lines are shown thus: \_\_\_\_\_  
Waterline are shown thus: \_\_\_\_\_  
Gasline are shown thus: \_\_\_\_\_  
Overhead Electrical lines shown thus: \_\_\_\_\_  
All fences are within 0.2 metres of the property lines unless otherwise shown.  
All eaves are measured to fascia unless otherwise shown.  
Unless noted otherwise lines outside of property are not to scale.

NOTE:  
Title information is based on the C. of T. 131,316,457 which was searched on the 4th day of November, 2025, and is subject to:  
No Pertinent Registration.

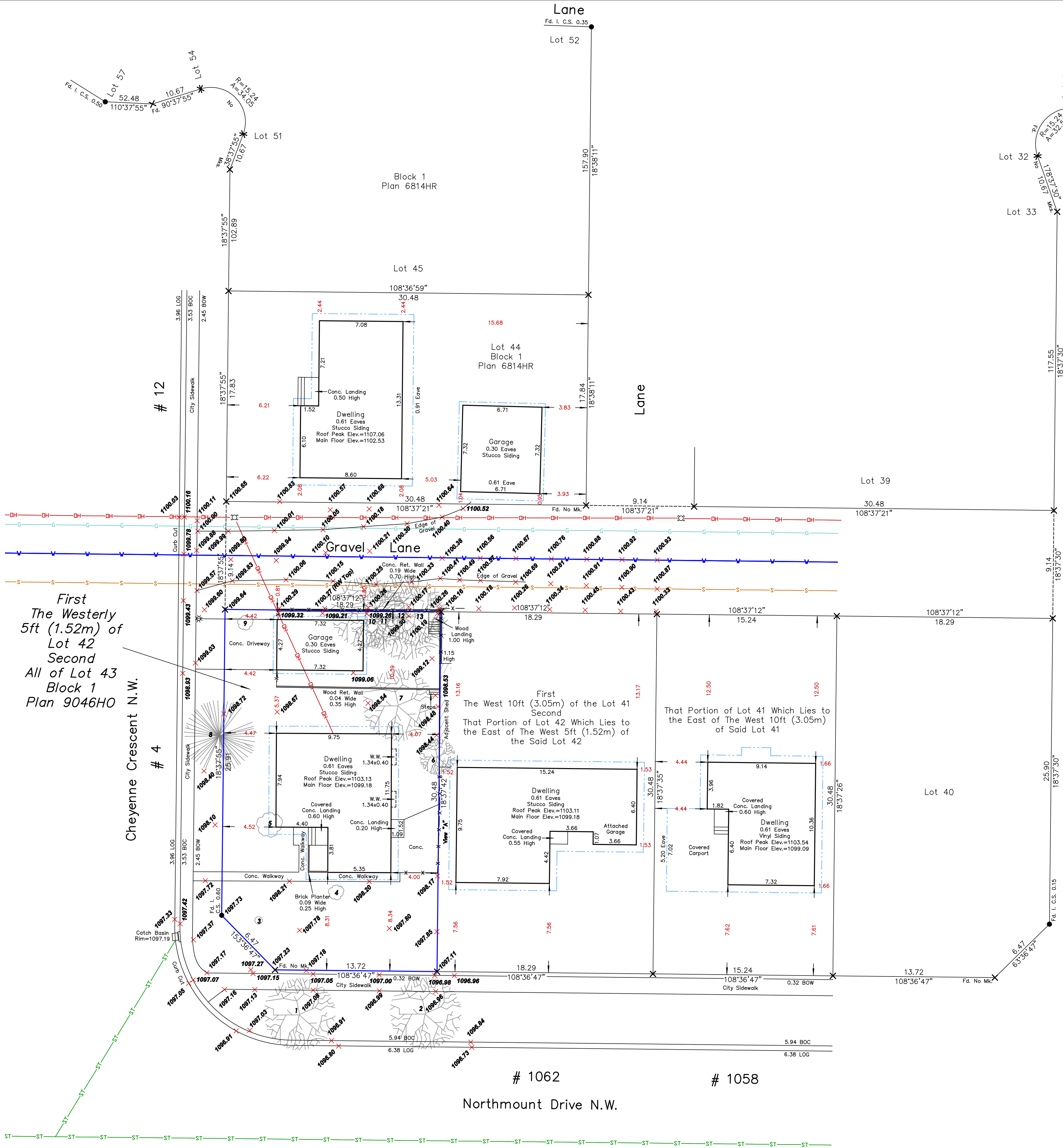
ABBREVIATIONS  
A--Arc Length  
Acc.--Accessory  
A/C--Air Conditioner  
Bldg--Building  
BOC--Back of Curb  
Mk--Mark  
Calc.--Calculated  
Cant.--Cantilever  
Conc.--Concrete  
C.S.--Countersunk  
DH--Drill Hole  
Enc.--Encroaches  
EOA--Edge of Asphalt  
EOR--Edge of Road  
Fd.--Found  
I--Iron Post  
I.B.--Iron Bar  
LOG--Lip of Gutter  
M.A.--Maintenance Access  
Mk--Mark  
M.N.--Magnetic Nail  
O.D.--Overland Drainage  
R--Radius  
Reg.--Registration  
Ret.--Retaining  
R/W--Right of Way  
W/O--Walkout Basement  
W.W.--Window Well

This plan represents the best information at the time of survey.  
Arc Surveys Ltd. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.  
Call Alberta One-Call: 1-800-242-3447

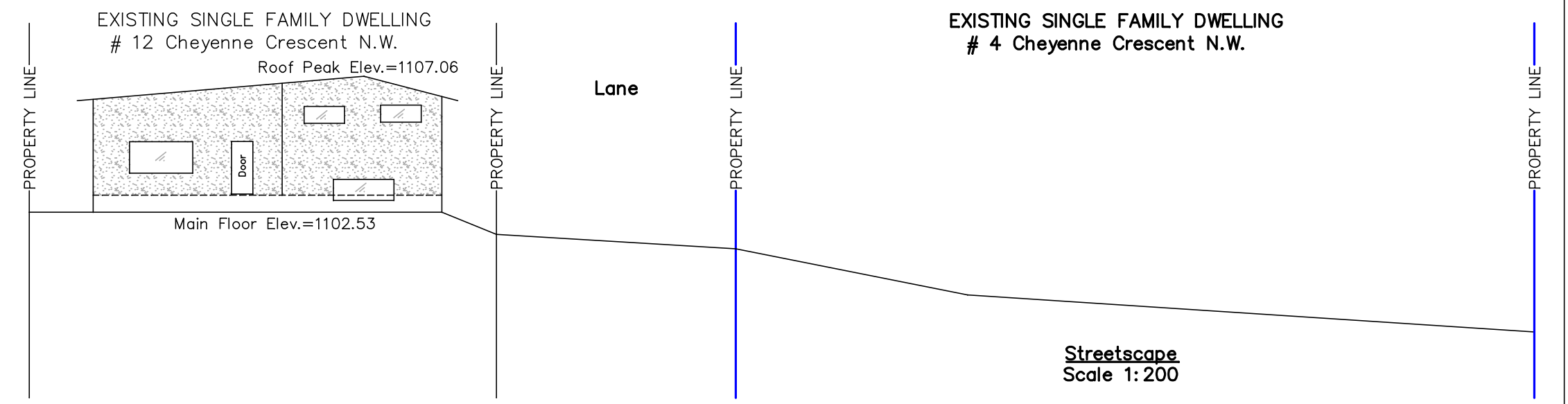
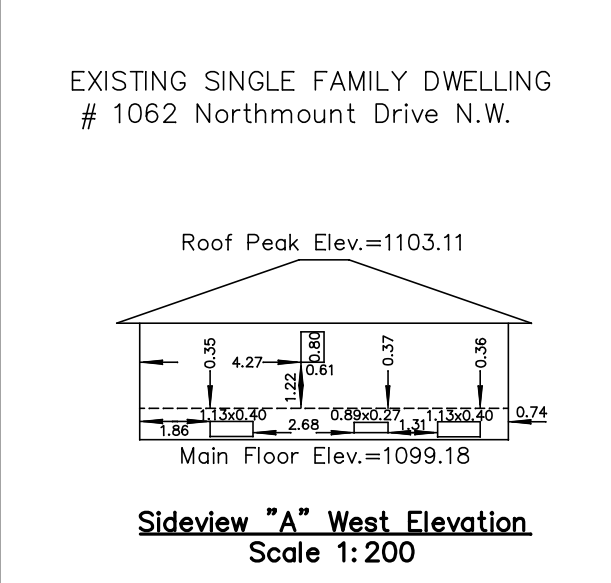
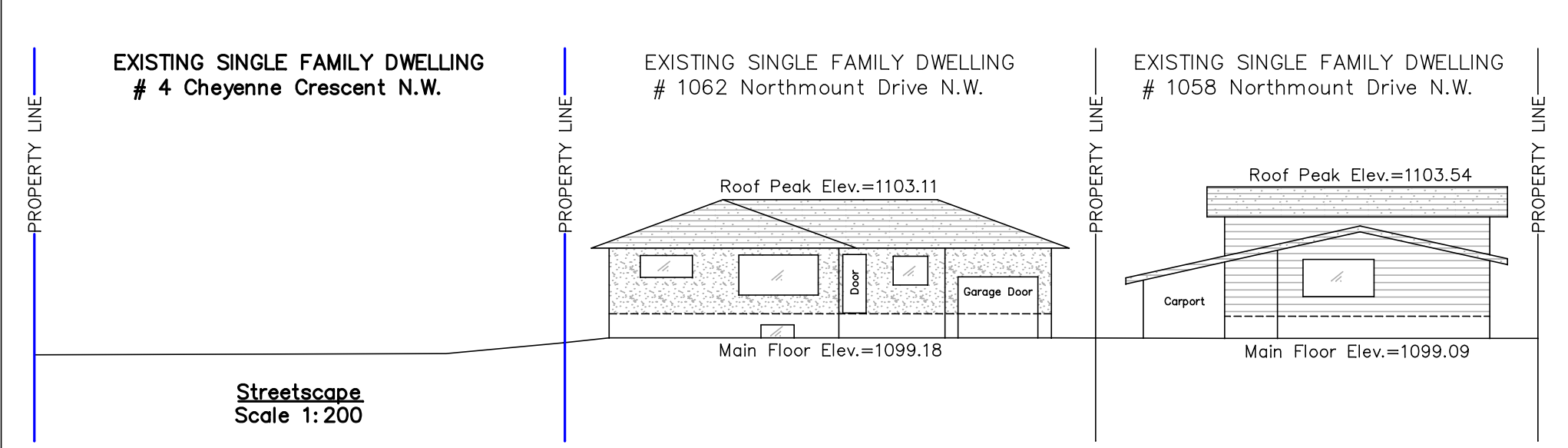
--- denotes Coniferous  
--- denotes Deciduous

Tree Schedule

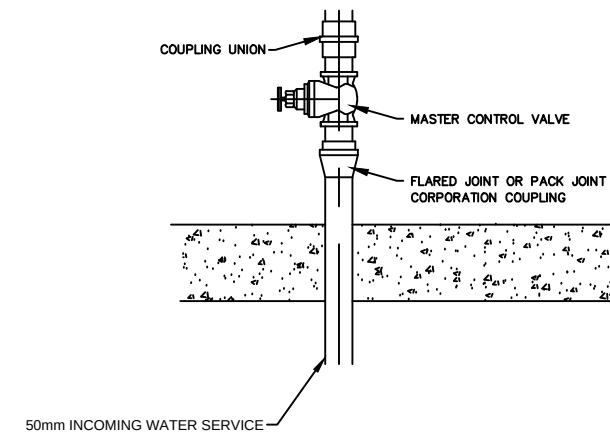
| Tree No. | Tree Type  | Trunk Dia. | Canopy Dia | Height |
|----------|------------|------------|------------|--------|
| 1        | Deciduous  | 0.30       | 6.00       | 7.00   |
| 2        | Deciduous  | 0.30       | 6.00       | 8.00   |
| 3        | Trunk      | 0.40       | ---        | ---    |
| 4        | Bush       | ---        | 1.20       | 1.20   |
| 5        | Bush       | ---        | 1.90       | 1.80   |
| 6        | Deciduous  | 0.10       | 3.00       | 5.00   |
| 7        | Deciduous  | 0.40       | 6.00       | 6.00   |
| 8        | Coniferous | 0.80       | 6.00       | 13.00  |
| 9        | Bush       | ---        | 1.20       | 1.00   |
| 10       | Deciduous  | 0.35       | 6.00       | 8.00   |
| 11       | Deciduous  | 0.18       | 5.00       | 8.00   |
| 12       | Deciduous  | 0.22       | 7.00       | 7.00   |
| 13       | Deciduous  | 0.30       | 5.00       | 8.00   |



Chisholm Crescent N.W.







A MINIMUM DEPTH OF 0.3m OF TOPSOIL IS REQUIRED FOR SOD AREAS  
A MINIMUM DEPTH OF 0.6m OF TOPSOIL IS REQUIRED SHRUB AND TREE BEDS  
SHRUB AND TREE BEDS MAY HAVE UP TO 1.0m DEPTH OF TOPSOIL  
SITE GRADING SHOULD DIRECT RAIN WATER RUNOFF TO PLANTS WITH HIGH WATER  
NEEDS TO REDUCE RELIANCE ON POTABLE WATER

1. NOTES:
2. ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
3. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
4. ALL ELEVATIONS REFERENCED TO 1000 m GEODETIC DATUM.
5. ALL WORK TO BE DONE TO CITY CALGARY SPECIFICATIONS.
6. WATER SERVICES SHALL HAVE A MIN. OF 3.0m COVER IN CLAY SOIL CONDITIONS AND 3.3m IN GRAVEL CONDITIONS.
7. WATER MAINS 1500 or LARGER SHALL BE PVC DR18.
8. ALL HYDRANT LEADS OR TO BE PVC DR18.
9. ALL SANITARY & STORM MAINS 1500 or LARGER SHALL BE SDR-35.
10. ALL SANITARY SERVICES 1000 or SMALLER SHALL BE SDR-28.
11. ALL PE WATER SERVICES SHALL BE DR 11.
12. SAN & STM SERVICES ARE TO BE BROUGHT TO 1.5m INSIDE THE FOUNDATION WALL, WATER SERVICES ARE TO BE BROUGHT INTO THE METER ROOM.
13. MANHOLES TO BE TYPE SA SULPHATE RESISTANT CONCRETE AND TO BE INSTALLED IN ACCORDANCE WITH CITY OF CALGARY SPECIFICATIONS.
14. ALL CONCRETE SEWER PIPES TO BE MANHOLE CATCH BASIN BARRELS SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
15. ALL STORM AND SANITARY SEWER PIPE BEDDINGS FOR PIPE SIZES 100mm to 375mm TO BE CLASS III IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATIONS IN ASTM D2322.
16. IF PUMP IS NEEDED PUMP TO SUMP PUMP, WEEPING TILE SHALL BE PUMP TO GRADE TO A POINT PAST THE DOWNSPOUTS VIA A BASEMENT SUMP AND PUMP, AS PER ALBERTA BUILDING CODE.
17. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
18. EXIST. ELEVATION OF MANHOLE RIMS ARE TO BE SET IN THE FIELD PRIOR TO FINAL ASPHALT LIFT.
19. PLASTIC PLUGS BY NORWOOD FOUNDARY OR EQUIVALENT TO BE USED IN PLACE OF PARSON INSERTS ON SANITARY MANHOLES SITUATED IN TRAP LOTS.
20. ALL RATCH BASINS SHALL BE TYPE 'C' OTHERWISE NOTED.
21. WATER RISER LOCATION TO BE CONFIRMED BY MECHANICAL ENGINEER

| <u>LEGEND:</u>     | PROPOSED          | EXISTING             |
|--------------------|-------------------|----------------------|
| SITE PROPERTY LINE | -----             | -----                |
| EASEMENT LINE      | -----             | -----                |
| STORM SEWER        | <u>ST 250 PVC</u> | <u>EX ST 250 PVC</u> |
| SANITARY SEWER     | <u>S 250 PVC</u>  | <u>EX S 250 PVC</u>  |
| WATER MAIN         | <u>W 250 PVC</u>  | <u>EX W 250 PVC</u>  |
| CATCHBASIN         | □                 | ■                    |
| MANHOLE            | ○                 | ●                    |
| WATER VALVE        | ○                 | ●                    |
| FIRE HYDRANT       | ○                 | ●                    |
| CAPPED PIPE END    | ⌋                 | ⌋                    |
| GRADE              | X=60.40           | X=60.40              |
| WATER METER        | Ⓜ                 |                      |
| REDUCER            | △                 | △                    |
| CHECK VALVE        | ⊗                 | ⊗                    |
| LIGHT STANDARD     |                   | ● EX                 |
| ICD                | ⬡                 | ⬡ EX                 |

MUNICIPAL ADDRESS  
4 CHEYENNE CRESCENT NW, CALGARY AB

LEGAL ADDRESS  
LOT 43 BLOCK 1  
PLAN 9046H0  
SEC 32 TWP 24 RGE 01 W5th M

[illegible]

| REV. | Y | M | D | ISSUE/REVISION DESCRIPTION | DRN | CHK |
|------|---|---|---|----------------------------|-----|-----|
|------|---|---|---|----------------------------|-----|-----|

|                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>PERMIT</p> <div style="border: 1px solid black; padding: 10px; margin-top: 10px;"> <p style="text-align: center;"><b>PERMIT TO PRACTICE</b><br/>         RICHVIEW ENGINEERING INC.</p> <p>Signature _____</p> <p>Date <u>21 Jun 26</u></p> <p><b>PERMIT NUMBER: P09809</b></p> <p>The Association of Professional Engineers,<br/>         Geoscientists and Geophysicists of Alberta</p> </div> | <p>SEAL</p> <div style="text-align: center; margin-top: 20px;">  </div> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|

|        |  |
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| CLIENT |  |
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PROJECT

4 CHEYENNE CRESCENT NW  
RESIDENTIAL

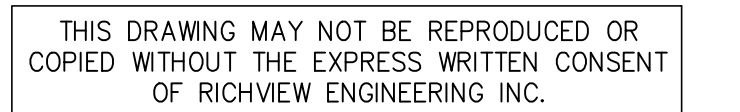
|                       |                                                                           |                     |                |               |
|-----------------------|---------------------------------------------------------------------------|---------------------|----------------|---------------|
| DESIGN:<br>RL         | <div style="text-align: center;"> <h1>SITE SERVICING<br/>PLAN</h1> </div> |                     |                |               |
| DRAWN:<br>JW          |                                                                           |                     |                |               |
| CHECKED:<br>RL        |                                                                           |                     |                |               |
| DATE:<br>JUNE 21 2026 | DEVELOPMENT PERMIT No.<br>DP2025-06578                                    | PROJECT No.<br>2474 | DWG. No.<br>01 | ISS/REV<br>00 |
| SCALE:<br>1:150       | DSSP CIRC. No.<br>DSSP                                                    |                     |                |               |

- ALL THE EXISTING UTILITIES INFORMATION ARE EITHER FROM THE RECORD DRAWING OR CITY OF CALGARY OR THE SURVEY PLAN PROVIDED BY THE PRIVATE COMPANY. THE CONTRACTOR SHOULD CONFIRM ALL THE EXISTING SERVICES INFORMATION (INVERTS, LOCATION, ETC) AND INFORM RICHVIEW ENGINEERING INC FOR NECESSARY ADJUSTMENT PRIOR TO CONSTRUCTION.
- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.
- THE CONTRACTOR MUST SUPPLY WRITTEN NOTICE TO RICHVIEW ENGINEERING INC OF INTENT TO START CONSTRUCTION OF THE DEEP UTILITIES AT LEAST 3 DAYS IN ADVANCE OF THE CONSTRUCTION START. FROM THEN TO SO ON, THERE IS A REQUEST TO HAVE THE LINES EXCAVATED SO AS TO ASCERTAIN BEDDING CONDITIONS AND THAT PIPE HAS BEEN PLACED CORRECTLY AND/OR TO HAVE A VIDEO EXAMINATION OF THE PIPE PERFORMED AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO HAVE THE INSPECTIONS COMPLETED ADEQUATELY WILL PREVENT RICHVIEW ENGINEERING INC'S BEING ABLE TO EXECUTE THE NECESSARY CERTIFICATIONS REQUIRED BY THE ALBERTA BUILDING CODE AND THE NATIONAL BUILDING CODE.

| <h1 style="margin: 0;">CITY OF CALGARY</h1> <h2 style="margin: 0;">DEVELOPMENT SITE SERVICING PLAN</h2>                                                                                                                                                                |  |         |      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|---------|------|
| DATE RECEIVED _____                                                                                                                                                                                                                                                    |  |         |      |
| CIRCULATION TO                                                                                                                                                                                                                                                         |  | INITIAL | DATE |
| WATER<br>RESOURCES                                                                                                                                                                                                                                                     |  |         |      |
| REVIEW AND INSPECTION BY THE CITY IS NOT SUBSTITUTE<br>FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY<br>THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.                                                                                                          |  |         |      |
| THE ENGINEER OF RECORD MAINTAINS FULL<br>RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD<br>ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR<br>DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE<br>SITE WORKS AND RETAIN THESE RECORDS FOR THE USE<br>OF THEIR CLIENTS. |  |         |      |

NOT FOR CONSTRUCTION  
UNTIL FINAL APPROVAL IS GRANTED  
BY THE CITY OF CALGARY





1. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
2. ALL ELEVATIONS REFERENCED TO 1000 GEODETIC DATUM.
3. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
4. HEAVY DUTY ASPHALT REQUIRED AS INDICATED.
5. ALL CURB REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
6. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
7. MINIMUM OVERHEAD CLEARANCE REQUIRED FOR DUMPING CONTAINERS IS 6.4m.
8. MINIMUM VERTICAL CLEARANCE REQUIRED FOR SANITATION VEHICLES IS 4.3m.
9. HEAVY DUTY ASPHALT TO BE A DEPTH AND CLASS TO CARRY A LOADED COLLECTION VEHICLE (25,000 Kg).
10. ELECTRICAL TRANSFORMERS, LIGHT STANDARDS AND SIGNAL POLES WILL BE LOCATED TO ENSURE EASY COLLECTION VEHICLE ACCESS.
11. ALL DRIVEWAY APRONS SHALL BE INSTALLED AS PER CITY OF CALGARY SPECIFICATIONS.

|                                       |                                                      |
|---------------------------------------|------------------------------------------------------|
| PROPOSED GRADE                        | $\begin{array}{r} \text{EOP} \\ + 47.79 \end{array}$ |
| PROPOSED SLOPE                        | $\xrightarrow{1.00\%}$                               |
| EXISTING GRADE                        | $\begin{array}{r} \text{EX} \\ + 47.79 \end{array}$  |
| SLAB ELEVATION                        | MF=48.75                                             |
| TOP/BOTTOM OF<br>RETAINING STRUCTURES | $\begin{array}{r} + 47.79 \\ 41.64 \end{array}$      |

[illegible]

DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN

|                       |                                                                                               |                     |                |               |
|-----------------------|-----------------------------------------------------------------------------------------------|---------------------|----------------|---------------|
| DESIGN:<br>RL         | <div style="text-align: center;"> <h1>SITE GRADING AND<br/>OVERLAND DRAINAGE PLAN</h1> </div> |                     |                |               |
| DRAWN:<br>JW          |                                                                                               |                     |                |               |
| CHECKED:<br>RL        |                                                                                               |                     |                |               |
| DATE:<br>JUNE 21 2026 | DEVELOPMENT PERMIT No.<br>DP                                                                  | PROJECT No.<br>2474 | DWG. No.<br>02 | ISS/REV<br>00 |
| SCALE:<br>1: 150      | DSSP CIRC. No.<br>DSSP                                                                        |                     |                |               |

1. ALL TOP OF WINDOW WELLS MUST BE AT LEAST 300MM HIGHER THAN EMERGENCY SPILL ELEVATION (97.11)
2. PATIO DRAINS SHALL BE TIE BACK TO THE SUMP AND PUMP AND PUMP TO AT LEAST 300MM HIGHER THAN EMERGENCY SPILL ELEVATION (97.11) PRIOR TO DRAINING THE ON SITE MINOR SYSTEM. VUL SURFACE DRAINAGE OR PIPE CONNECTION, PATIO DRAIN MUST NOT HAVE A DIRECT CONNECTION TO THE WEeping TIE SYSTEM. THEY WILL NEED A SEPARATE SUMP AND PUMP SYSTEM FROM THE WEeping TIE.
3. WEeping TIE IS REQUIRED. IT NEEDS TO CONNECT TO THE SUMP PUMP AND PUMP TO AT LEAST 300MM HIGHER THAN EMERGENCY SPILL ELEVATION (97.11) PRIOR TO DRAINING THE ON SITE MINOR SYSTEM. THE FLOW MAY EITHER SURFACE FLOW TO THE ON SITE MINOR SYSTEM OR CONNECT BY PIPE (NO SURCHARGING OF THE WT ALLOWED)



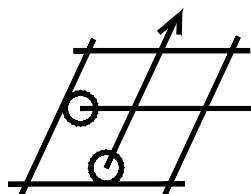
ALL TOP OF WINDOW WELLS MUST BE AT LEAST  
300MM HIGHER THAN SPILL ELEVATION



| Model Number | Regulator Diameter | Manhole Diameter | Minimum Outlet Pipe | Minimum Clearance |
|--------------|--------------------|------------------|---------------------|-------------------|
| 50VH/1       | 203                | 800              | 150                 | 127               |
| 100VH/1      | 254                | 1000             | 150                 | 127               |
| 150VH/1      | 305                | 1200             | 150                 | 127               |
| 200VH/2      | 406                | 1600             | 300                 | 229               |
| 250VH/2      | 508                | 2000             | 450                 | 354               |
| 300VH/2      | 609                | 2400             | 600                 | 457               |
| 350VH/2      | 686                | 2800             | 750                 | 559               |
| 400VH/2      | 762                | 3200             | 900                 | 660               |
| 450VH/2      | 838                | 3600             | 1050                | 762               |
| 500VH/2      | 914                | 4000             | 1200                | 863               |

Maximum clearance "H" relates to the diameter indicated in the chart. If the outlet diameter decreases, the "H" clearance will also decrease.





**RICHVIEW**  
ENGINEERING INC.  
CONSULTING ENGINEERS  
SUITE 201, 203 - 38th AVE NE, CALGARY, ALBERTA T2E 2M3  
PHONE: (403) 230-3218 FAX: (403) 230-3208

THIS DRAWING MAY NOT BE REPRODUCED OR  
COPIED WITHOUT THE EXPRESS WRITTEN CONSENT  
OF RICHVIEW ENGINEERING INC.

- NOTES:
1. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
  2. ALL ELEVATIONS REFERENCED TO 1000 GEODETIC DATUM.
  3. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
  4. HEAVY DUTY ASPHALT REQUIRED AS INDICATED.
  5. ALL CURB REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
  6. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
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  10. ELECTRICAL TRANSFORMERS, LIGHT STANDARDS AND SIGNAL POLES WILL BE LOCATED TO ENSURE EASY COLLECTION VEHICLE ACCESS.
  11. ALL DRIVEWAY APRONS SHALL BE INSTALLED AS PER CITY OF CALGARY SPECIFICATIONS.

| LEGEND                                |                  |
|---------------------------------------|------------------|
| PROPOSED GRADE                        | ✕ EOP<br>47.79   |
| PROPOSED SLOPE                        | → 1.00%          |
| EXISTING GRADE                        | ✕ EX<br>47.79    |
| SLAB ELEVATION                        | MF=48.75         |
| TOP/BOTTOM OF<br>RETAINING STRUCTURES | ✕ 47.79<br>47.94 |

MUNICIPAL ADDRESS  
4 CHEYENNE CRESCENT NW, CALGARY AB

LEGAL ADDRESS  
LOT 43 BLOCK 1  
PLAN 9046H0  
SEC 32 TWP 24 RGE 01 W5th M

| REVISIONS |   |   |   |                            |
|-----------|---|---|---|----------------------------|
| REV.      | Y | M | D | ISSUE/REVISION DESCRIPTION |
|           |   |   |   |                            |
|           |   |   |   |                            |
|           |   |   |   |                            |
|           |   |   |   |                            |
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|           |   |   |   |                            |
|           |   |   |   |                            |
|           |   |   |   |                            |
|           |   |   |   |                            |

PERMIT TO PRACTICE  
RICHVIEW ENGINEERING INC.  
Signature \_\_\_\_\_  
Date 21 Jun 26  
PERMIT NUMBER: P09809  
The Association of Professional Engineers,  
Geologists and Geophysicists of Alberta

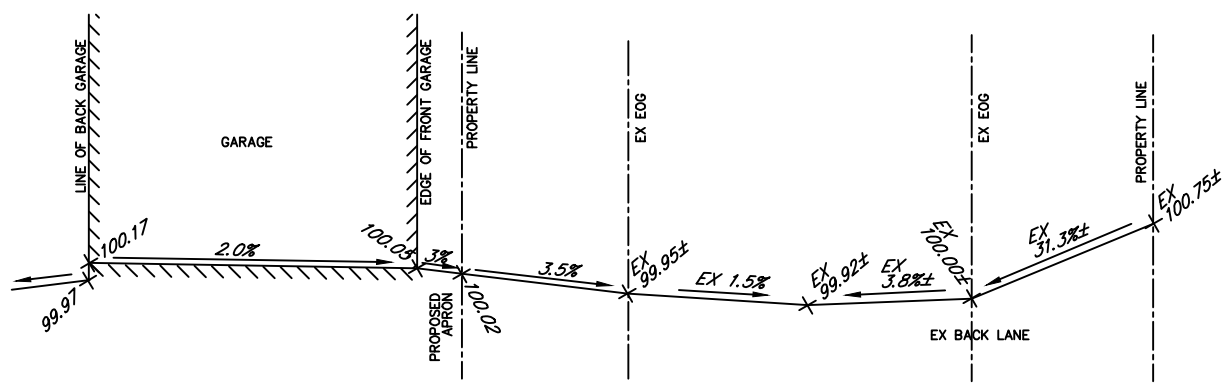
SEAL  
**DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN**

CLIENT

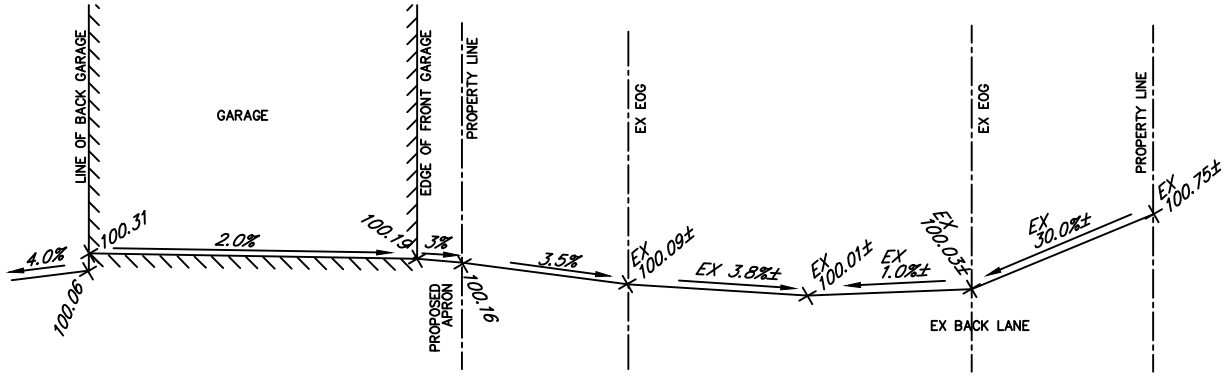
PROJECT

4 CHEYENNE CRESCENT NW  
RESIDENTIAL

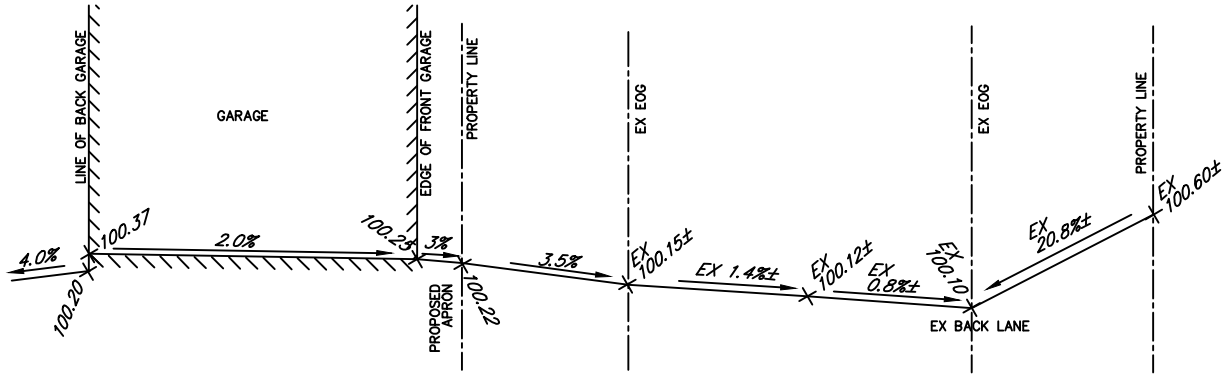
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|-----------------------|------------------------------|---------------------|----------------|---------------|
| DESIGN:<br>RL         | SITE GRADING PLAN            |                     |                |               |
| DRAWN:<br>JW          |                              |                     |                |               |
| CHECKED:<br>RL        |                              |                     |                |               |
| DATE:<br>JUNE 21 2026 | DEVELOPMENT PERMIT No.<br>DP | PROJECT No.<br>2474 | DWG. No.<br>03 | ISS/REV<br>00 |
| SCALE:<br>1:150       | DSSP CIRC. No.<br>DSSP       |                     |                |               |



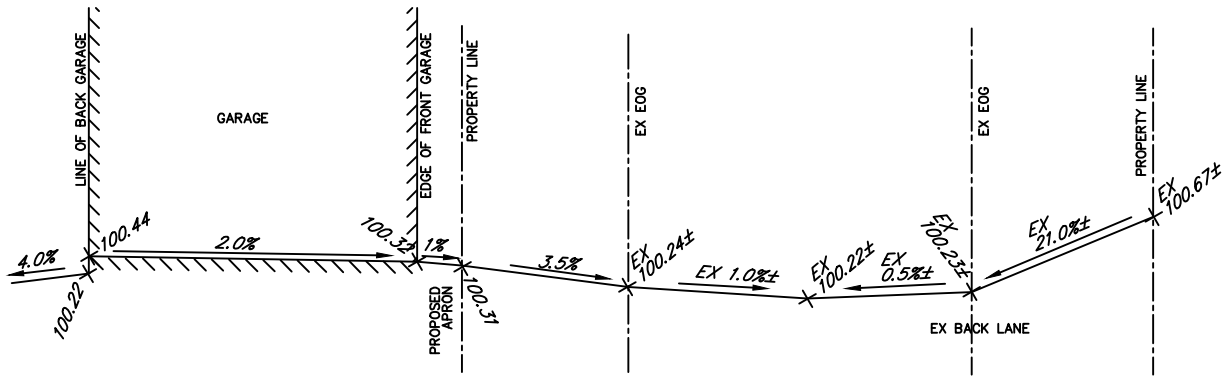
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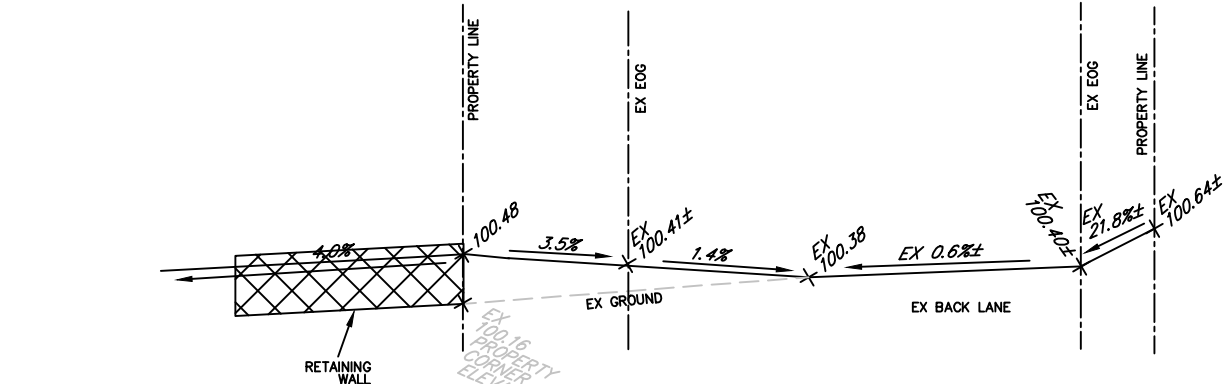
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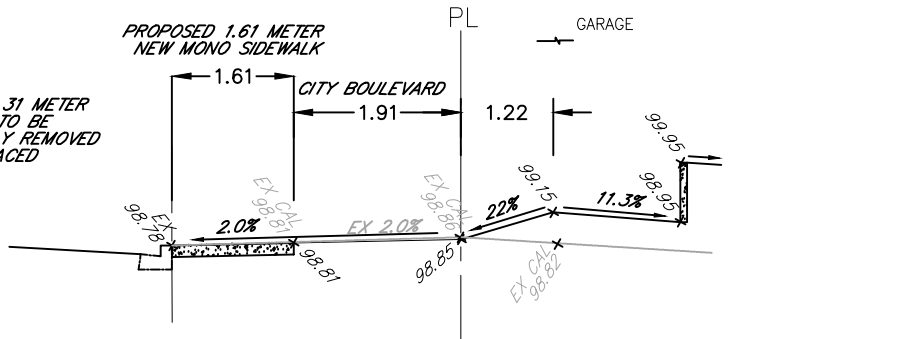
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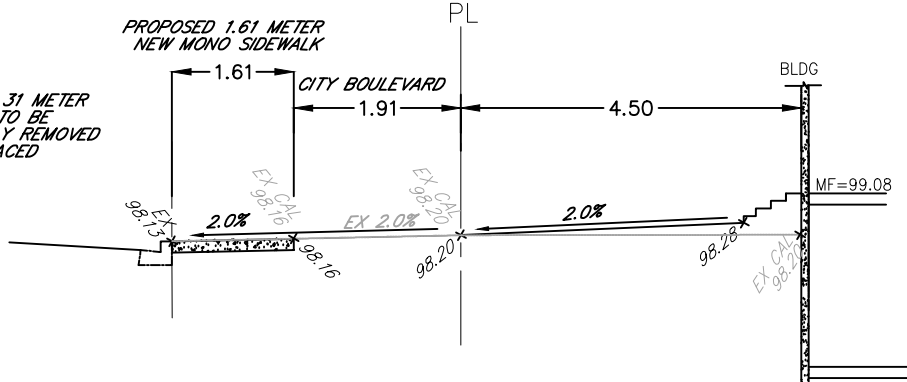
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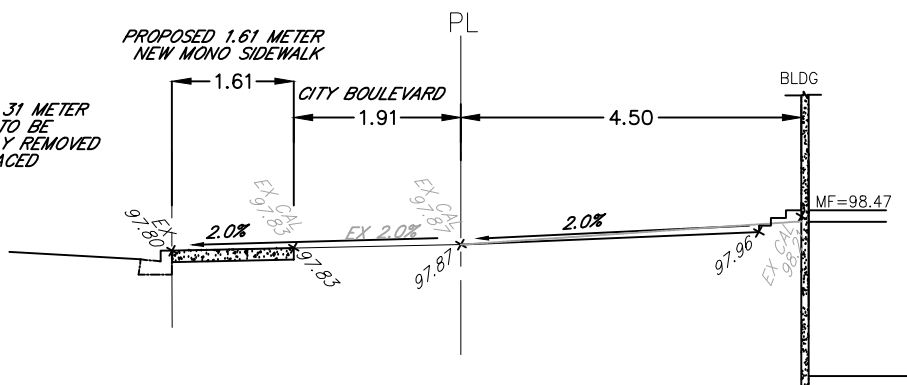
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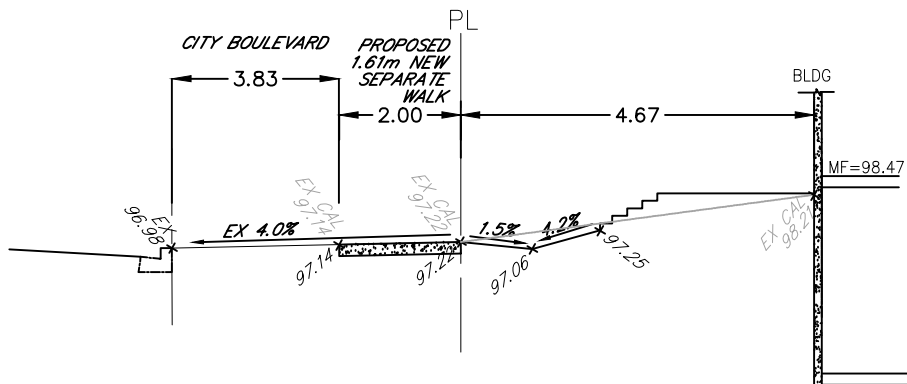
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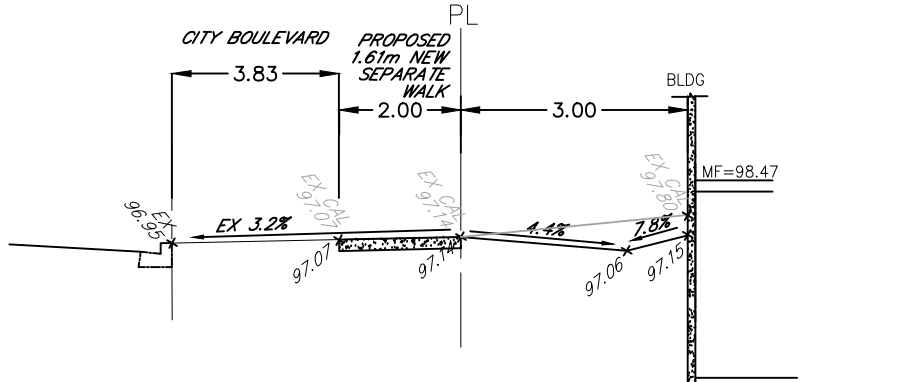
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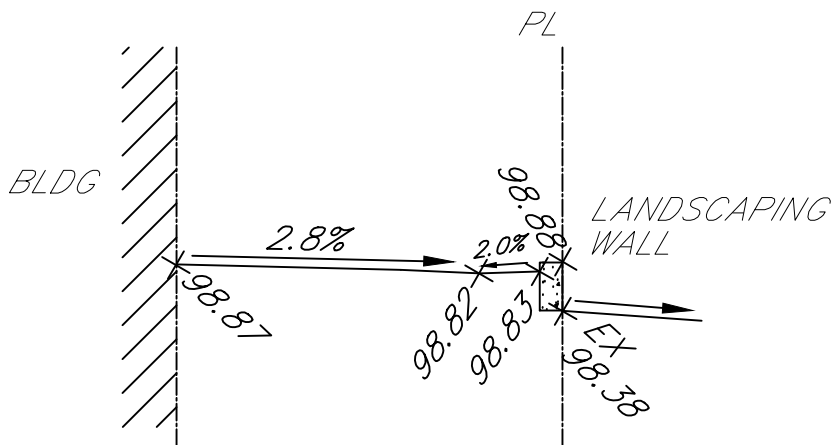
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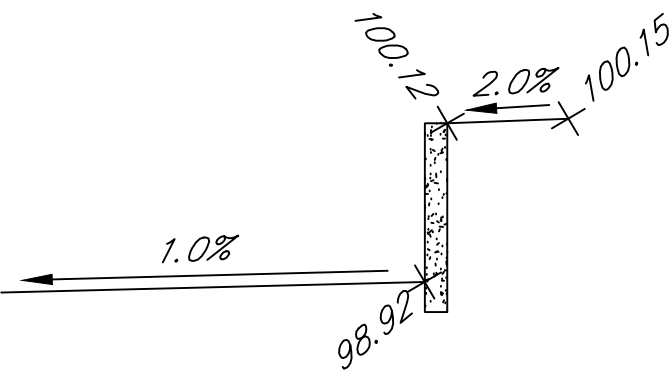
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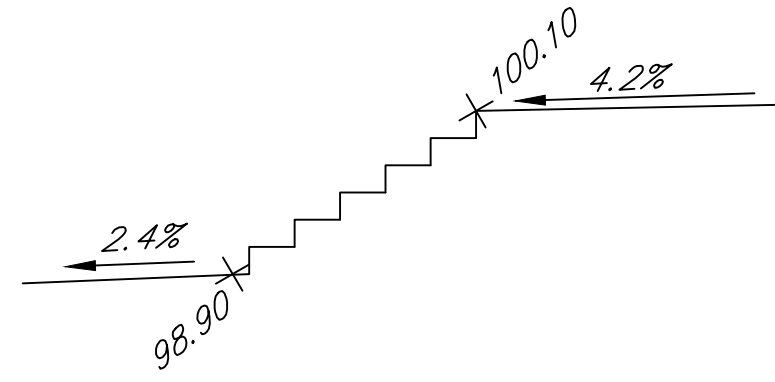
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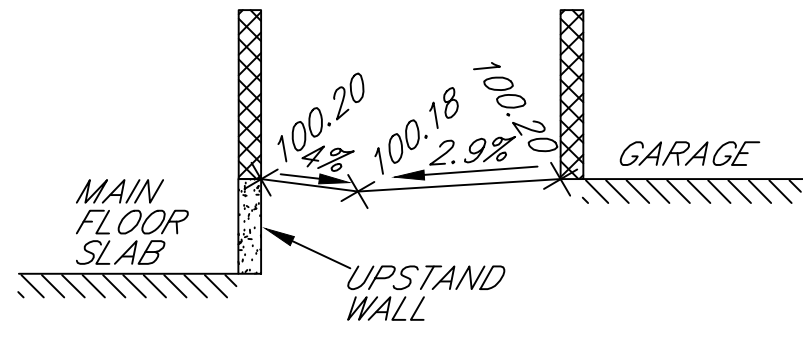
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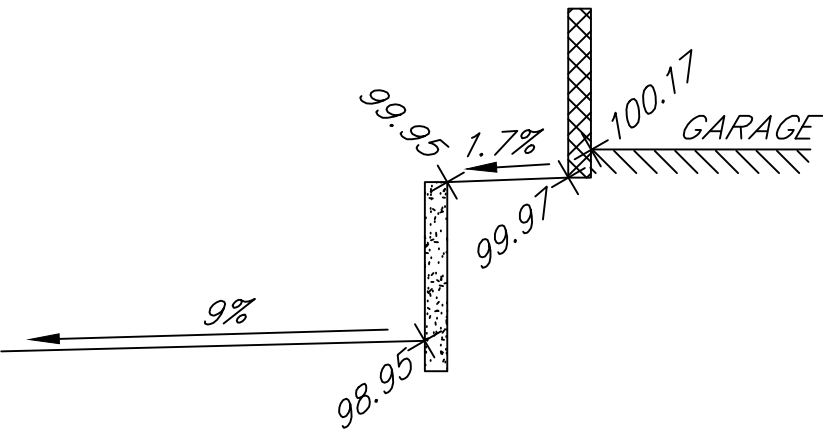
SECTION-B  
NTS



SECTION-B1  
NTS



SECTION-B2  
NTS



SECTION-B3  
NTS

NOTE: THE HEIGHT OF THE RETAINING WALL/CURB  
IS MEASURED FROM FINISHED GRADES TO FINISHED  
GRADES. THE FREE-STANDING/BURIED PORTIONS  
ARE NOT INCLUDED IN THE HEIGHT MEASUREMENT.

ALL TOP OF WINDOW WELLS MUST BE AT LEAST  
300MM HIGHER THAN SPILL ELEVATION

- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.

NOT FOR CONSTRUCTION  
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