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ARCHITECTURAL

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STRUCTURAL

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consulting structural engineers
#100 - 1615 10 Avenue SW
Calgary, Alberta, Canada T3C 0J7
T. 403.244.4944
www.trleng.ca

TOWNSHIP PHASE 2
MIXED USE DEVELOPMENT

ISSUED FOR Development Permit

CIVIL



227 11 Avenue SW
Calgary, Alberta, Canada T2R 1R9
T. 403.244.4944
www.arcadis.com

LANDSCAPE



8-121 Village Heights SW
Calgary, Alberta, Canada T3H 2L2
T. 403.618.4427
www.arquiecos.com

MECHANICAL



121 15 Avenue SE
Calgary, Alberta, Canada T2G 1G1
T. 403.460.2277
www.embeconsulting.ca

ELECTRICAL



121 15 Avenue SE
Calgary, Alberta, Canada T2G 1G1
T. 403.460.2277
www.embeconsulting.ca

TOWNSHIP PHASE 2
MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

CLIENT
ROYOP DEVELOPMENT
CORPORATION



- NOTE
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ISSUED	DATE
Development Permit	10.29.2025

SEALS

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CONSTRUCTION

SCALE	
DATE	11/10/2025 11:56:03 AM
DRAWN BY	AR
CHECKED BY	MR
PROJECT NO.	223116
DRAWING TITLE	COVER SHEET

DRAWING NO.
DP0.00

Vicinity Map



Municipal Address

160 NAPHTHA PLAZA SE
CALGARY, AB

Legal Address

PLAN 2510322; BLOCK 39; LOT 3 & 4

Site Summary

PARCEL AREA:
±1.2466 hectares / ±12,466 sqm

By-Law Zoning

DIRECT CONTROL DC3082017, BASED ON COMMERCIAL – REGIONAL 3 (C-R3)
DISTRICT OF BYLAW IP2007

By-Law Setback

MINIMUM SETBACK AREAS
FRONT: NO SETBACK AREA REQUIRED (DIRECT CONTROL)
REAR: NO SETBACK AREA REQUIRED (DIRECT CONTROL)
SIDE: NO SETBACK AREA REQUIRED (DIRECT CONTROL)

Proposed Development

PROPOSED MULTI-FAMILY DEVELOPMENT (2 SEPARATE BUILDINGS; ONE WITH A FIRE WALL), OUTDOOR AMENITY SPACE, SURFACE PARKING, AND ONE INDEPENDENT UNDERGROUND PARKADE.

DISCRETIONARY USES:
DWELLING UNIT

BUILDING CLASSIFICATION AS PER ALBERTA BUILDING CODE:
BOTH BUILDINGS: GROUP C, UP TO 6 STOREYS, SPRINKLERED, 1,500sqm MAX BUILDING AREA, GROUP F, DIVISION 3 (PARKADE)

Building Height

MAXIMUM BUILDING HEIGHT
• 40.0m (DIRECT CONTROL)

PROPOSED RESIDENTIAL BUILDING HEIGHT: ±23.1m

Floor Area Ratio

SITE AREAS:

Site 1: ±179,331 sqm / 17.9hectares / ±44.3 acres

Site 2: ±37,098sqm / 3.7 hectares / ±9.1 acres

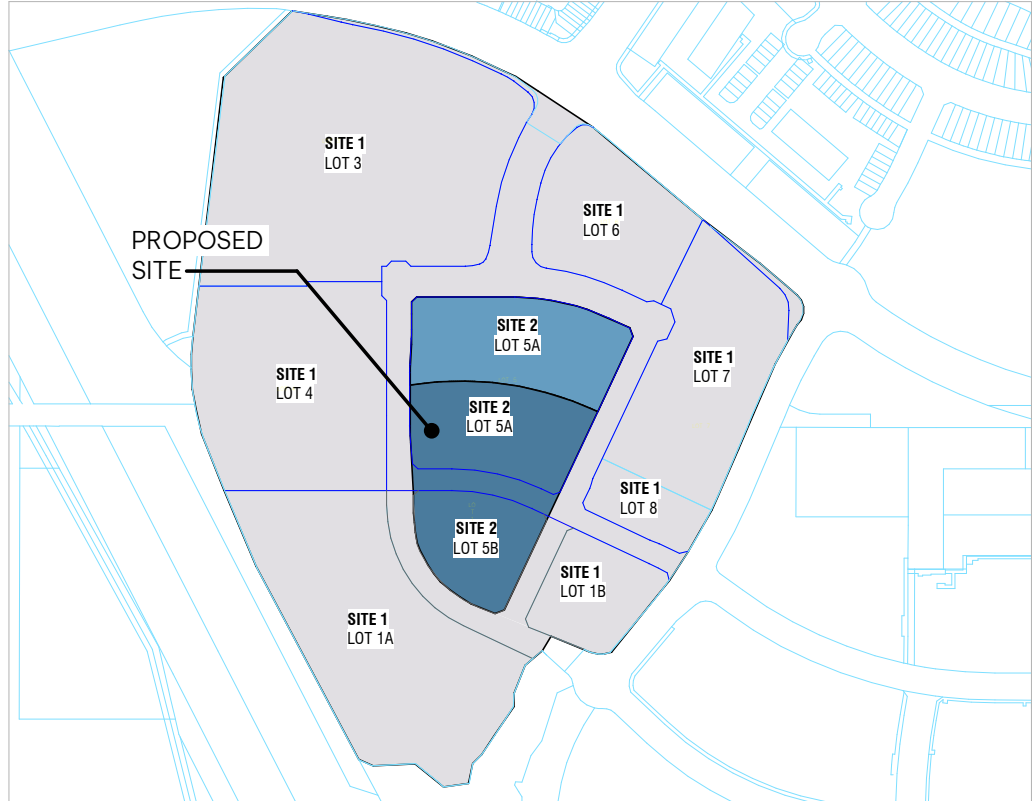
16. FLOOR AREA RATIO, Direct Control DC3082017

(1) Subject to subsection (3), the maximum cumulative floor area ratio is 0.64.

(2) With each development permit application for a new building or development, a development density table expressed in square metres must be provided that identifies the total (Site 1 and Site 2) amount of:

- (a) existing development;
- (b) approved development;
- (c) the additional amount of development being proposed; and
- (d) the remaining amount of allowable development under subsection (1).

(3) The maximum cumulative floor area ratio in subsection (1) may be exceeded where studies are provided demonstrating that the transportation and utility network capacities can accommodate additional development.



SITE & LOT	SITE AREA (sqm)	GFA Existing (sqm)	GFA Proposed (sqm)	GFA Remaining (sqm)	FAR
SITE 1					
SITE 1, LOT 1A	±37,860	-	-	-	-
SITE 1, LOT 1B	±8,853	-	-	-	-
SITE 1, LOT 3	±56,831	±16,205	-	-	-
SITE 1, LOT 4	±31,495	-	-	-	-
SITE 1, LOT 6	±15,697	±3,752	-	-	-
SITE 1, LOT 7	±23,475	±5,698	-	-	-
SITE 1, LOT 8	±5,120	±1,886	-	-	-
SITE 1 TOTAL	±179,331	±27,541	-	-	0.15
SITE 2					
SITE 2, LOT 5A-1	±7,150	-	±13,475	-	-
SITE 2, LOT 5A-2	±8,140	-	±19,283	-	-
SITE 2, LOT 5A-3	±12,465	-	-	-	-
SITE 2, LOT 5B	±9,343	-	-	-	-
SITE 2 TOTAL	±37,098	-	±32,758	-	0.88
PROPOSED CUMULATIVE FAR OF SITE 1 & SITE 2					
SITE 1 & SITE 2 TOTAL	±216,429	±27,541	±32,758	-	0.27
FUTURE CUMULATIVE FAR OF SITE 1 & SITE 2					
SITE 1 & SITE 2 TOTAL	±216,429	±27,541	±32,758	±78,190*	0.64

* THE REMAINING GFA VALUE IS PROVIDED TO SHOW WHAT AMOUNT COULD BE DEVELOPED WITHIN THE CURRENT FAR LIMITATIONS OUTLINED IN THE LAND USE BYLAWS.

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

RESIDENTIAL – BUILDING AREA (WEST)	
AREA	
LEVEL 1	±1,867m² (±20,103ft²)
LEVEL 2	±1,817m² (±19,567ft²)
LEVEL 3	±1,817m² (±19,567ft²)
LEVEL 4	±1,817m² (±19,567ft²)
LEVEL 5	±1,817m² (±19,567ft²)
LEVEL 6	±1,817m² (±19,567ft²)
TOTAL	±10,952m² (±117,938ft²)

RESIDENTIAL – BUILDING AREA (EAST)	
AREA	
LEVEL 1	±1466m² (±15,787ft²)
LEVEL 2	±1,373m² (±14,779ft²)
LEVEL 3	±1,373m² (±14,779ft²)
LEVEL 4	±1,373m² (±14,779ft²)
LEVEL 5	±1,373m² (±14,779ft²)
LEVEL 6	±1,373m² (±14,779ft²)
TOTAL	±8,331m² (±89,682ft²)

TOTAL DEVELOPMENT: ±19,289m2 (± 207,620 ft2)

Waste & Recycling Requirements

RESIDENTIAL – WASTE & RECYCLING			
BUILDING – WEST		NO. OF yd³ REQUIRED	
DESCRIPTION	QUANTITY	REQUIRED	PROVIDED
DWELLING UNIT	154	46.2yd³	46.5yd³

RESIDENTIAL – WASTE & RECYCLING			
BUILDING – EAST		NO. OF yd³ REQUIRED	
DESCRIPTION	QUANTITY	REQUIRED	PROVIDED
DWELLING UNIT	112	33.6yd³	33.5yd³

CALCULATIONS: WEST
(154 UNITS / 10) x 3 yd³ = 46.2 yd³ TOTAL WASTE & RECYCLING PRODUCED WEEKLY

PROVIDED: WEST
6.5 yd³ MOLOK WASTE BINS=4 BINS
6.5 yd³ MOLOK RECYCLING BINS=3BIN
1 yd³ MOLOK COMPOST BINS = 1BIN
TOTAL = 46.5yd³ PROVIDED

CALCULATIONS: EAST
(112 UNITS / 10) x 3 yd³ = 33.6 yd³ TOTAL WASTE & RECYCLING PRODUCED WEEKLY

PROVIDED: EAST
6.5 yd³ MOLOK WASTE BINS=3 BINS
6.5 yd³ MOLOK RECYCLING BINS=2 BINS
1 yd³ MOLOK COMPOST BINS = 1BIN
TOTAL = 33.5yd³ PROVIDED

Motor Vehicle Parking Requirements

RESIDENTIAL PARKING				
DESCRIPTION	QUANTITY	STALLS PER UNIT	REQUIRED	PROVIDED
RESIDENTIAL...	266	0.75	200	236
VISITOR STALL	266	0.1	27	27

NOTE: +/- 103 U/G STALLS, +/- 160 SURFACE STALLS (TOTAL STALLS 263)

Bicycle Parking Requirements

RESIDENTIAL – CLASS 1 PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNIT	266	0.5	133	134

RESIDENTIAL – CLASS 2 PARKING				
DESCRIPTION	QUANTITY	FACTOR (STALL PER UNIT)	REQUIRED	PROVIDED
DWELLING UNIT	266	0.10	27	32

Dwelling Unit Count

UNIT SUMMARY			
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY
UNIT 1A	JR. 1 BED	±40.4m² (435ft²)	12
UNIT 1B	1 BED	±50.6m² (545ft²)	84
UNIT 1C	1 BED + DEN	±55.7m² (600ft²)	90
UNIT 2A.A	2 BED + 2 BATH	±72.0m² (775ft²)	16
UNIT 2A.B	2 BED + 2 BATH	±72.0m² (775ft²)	5
UNIT 2A.C	2 BED + 2 BATH	±72.0m² (775ft²)	6
UNIT 2B	2 BED + 2 BATH	±73.1m² (787ft²)	35
UNIT 2C	2 BED + 2 BATH	±72.0m² (775ft²)	6
UNIT 2D	2 BED + DEN	±79.5m² (855ft²)	12
TOTAL			266

Amenity

RESIDENTIAL – AMENITY				
AMENITY TYPE	QUANTITY	FACTOR (m2 PER UNIT)	REQUIRED	PROVIDED
DWELLING UNIT	266	5.0m2 PER UNIT	1,330m2	*±1330m2
COMMON INDOOR AMENITY	-	-	-	± 216m2
COMMON OUTDOOR AMENITY	-	-	-	± 1470m2
TOTAL COMMON AMENITY	266	5.0m2 PER UNIT	1330m2	±3016m2

ADDITIONAL COMMON AMMENITY PROVIDED
SHARED INDOOR
111m2 – West (Level 1)
105m2 – East (Level 1)

SHARED OUTDOOR AMENITY
1470m2

TOTAL
1686m2 Shared Amenity

NOTE: Amenity space may be provided as common amenity space, private amenity space or a combination of both.

When the private amenity space exceeds 5.0 square metres per unit, only 5.0 square metres per unit must be included to satisfy the amenity space requirement.

Common amenity must have a contiguous area of not less than 50.0 square metres, with no dimension less than 6.0 metres.

Drawing List

ARCHITECTURE

DP0.00 COVER SHEET
DP0.01 PROJECT STATISTICS
DP0.02 SITE SURVEY
DP0.03 SITE SURVEY NW
DP0.04 SITE SURVEY NE
DP0.05 SITE SURVEY SOUTH
DP0.06 SITE SURVEY UTILITIES

DPI.00 OVERALL SITE PLAN
DPI.01 SITE PLAN WEST BUILDING
DPI.02 SITE PLAN EAST BUILDING
DPI.03 FIRE ACCESS PLAN
DPI.04 WASTE & RECYCLING PLAN
DPI.05 SITE DETAILS – PARKADE RAMP
DPI.06 SITE DETAILS

DP2.00 OVERALL PARKADE PLAN
DP2.01 PARKADE PLAN – WEST
DP2.02 PARKADE PLAN – EAST
DP2.03 WEST BUILDING – LEVEL 1 FLOOR PLAN
DP2.04 WEST BUILDING – LEVEL 2-6 FLOOR PLAN
DP2.05 WEST BUILDING – ROOF PLAN
DP2.06 EAST BUILDING – LEVELS 1 FLOOR PLAN
DP2.07 EAST BUILDING – LEVELS 2-6 FLOOR PLAN
DP2.08 EAST BUILDING – ROOF PLAN

DP4.00 WEST BUILDING – EXTERIOR ELEVATIONS
DP4.01 WEST BUILDING – EXTERIOR ELEVATIONS
DP4.02 WEST BUILDING – EXTERIOR ELEVATIONS
DP4.03 EAST BUILDING – EXTERIOR ELEVATIONS
DP4.04 EAST BUILDING – EXTERIOR ELEVATIONS

DP5.00 WEST BUILDING – SECTION 01
DP5.01 WEST BUILDING – SECTION 02
DP5.02 EAST BUILDING – SECTION 01
DP5.03 EAST BUILDING – SECTION 02

C1.0 UNDERGROUND LAYOUT PLAN
C2.0 SERVICE AND GRADING LAYOUT PLAN

L-00 OVERALL PLAN
L-01 LANDSCAPE PLAN
L-02 CENTRAL AMENITY AREA
L-03 TYPICAL DETAILS

E10IS ELECTRICAL COVER PAGE
E102S ELECTRICAL COVER PAGE
E103S ELECTRICAL COVER PAGE

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

CLIENT
ROYOP DEVELOPMENT
CORPORATION

NOTE

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Development Permit

DATE

10.29.2025

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CONSTRUCTION

SCALE 1: 7000

DATE 11/10/2025 11:56:05 AM

DRAWN BY Author

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PROJECT NO. 223116

DRAWING TITLE

PROJECT STATISTICS

DRAWING NO.

DP0.01

160 NAPHTHA PLAZA SE, CALGARY, AB

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ROYOP DEVELOPMENT
CORPORATION

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DATE 11/10/2025 11:56:08 AM

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CHECKED BY _____ MR _____

PROJECT NO. 223116

DRAWING TITLE

SITE SURVEY

DRAWING NO.

DPO.02





1 Site Map
DP0.03 SCALE:1:100



2 Street View - South
DP0.03 SCALE:1:1000



3 Street View - West
DP0.03 SCALE:1:1000



4 Street View - West
DP0.03 SCALE:1:1000



5 Street View - West
DP0.03 SCALE:1:1000



6 Street View - North
DP0.03 SCALE:1:1000



7 Street View - West
DP0.03 SCALE:1:1000



8 Street View - East
DP0.03 SCALE:1:1000



9 Street View - North
DP0.03 SCALE:1:1000



10 Street View - East
DP0.03 SCALE:1:1000



11 Street View - East
DP0.03 SCALE:1:1000



12 Street View - East
DP0.03 SCALE:1:1000

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

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DATE	11/10/2025 11:56:14 AM
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PROJECT NO.	223116
DRAWING TITLE	

SITE PHOTOS

DRAWING NO.

DP0.03

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

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PROJECT NO. 223116

DRAWING TITLE

PHASING PLAN

DRAWING NO.

DPO.04

Site Plan - Symbol Legend

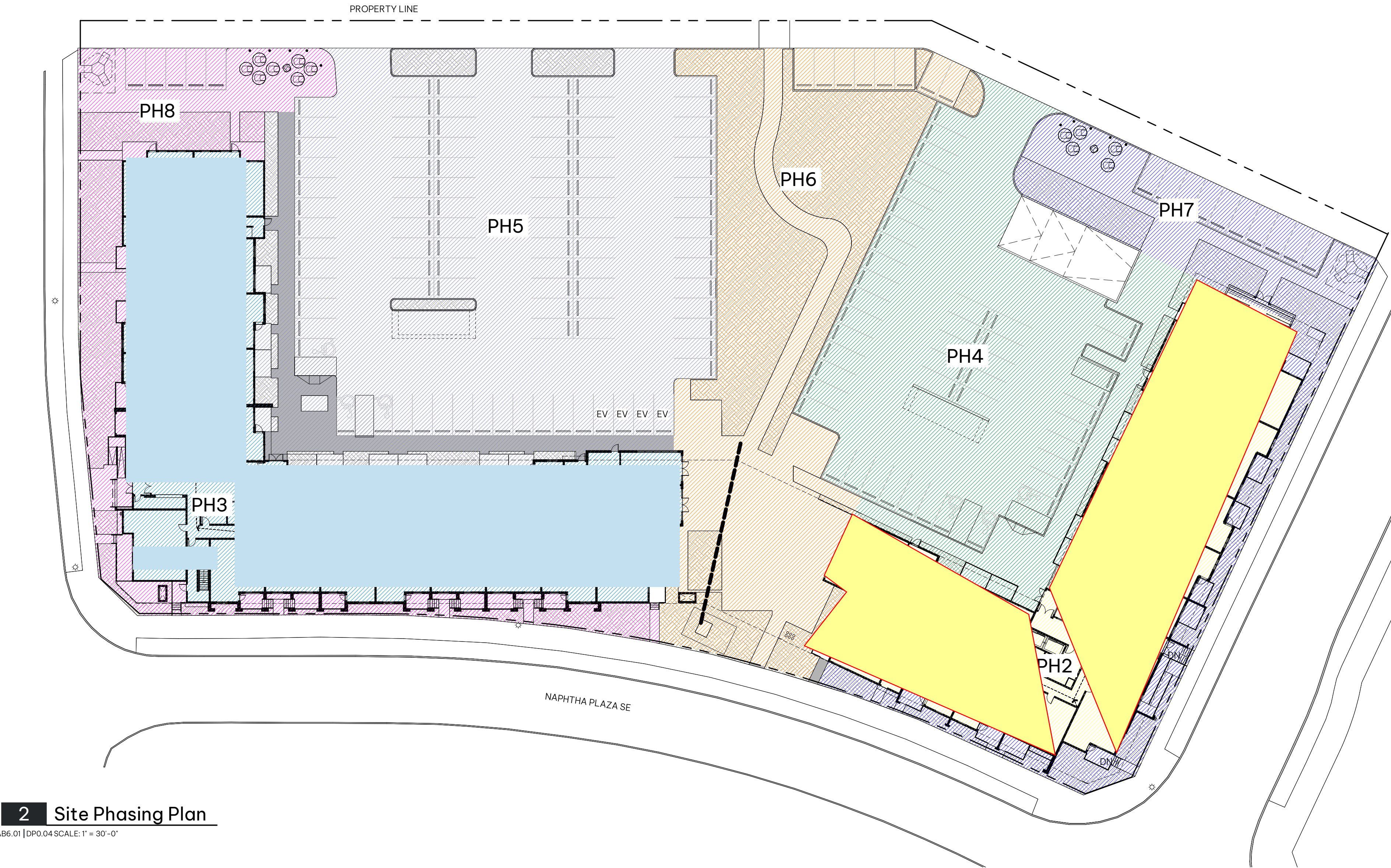
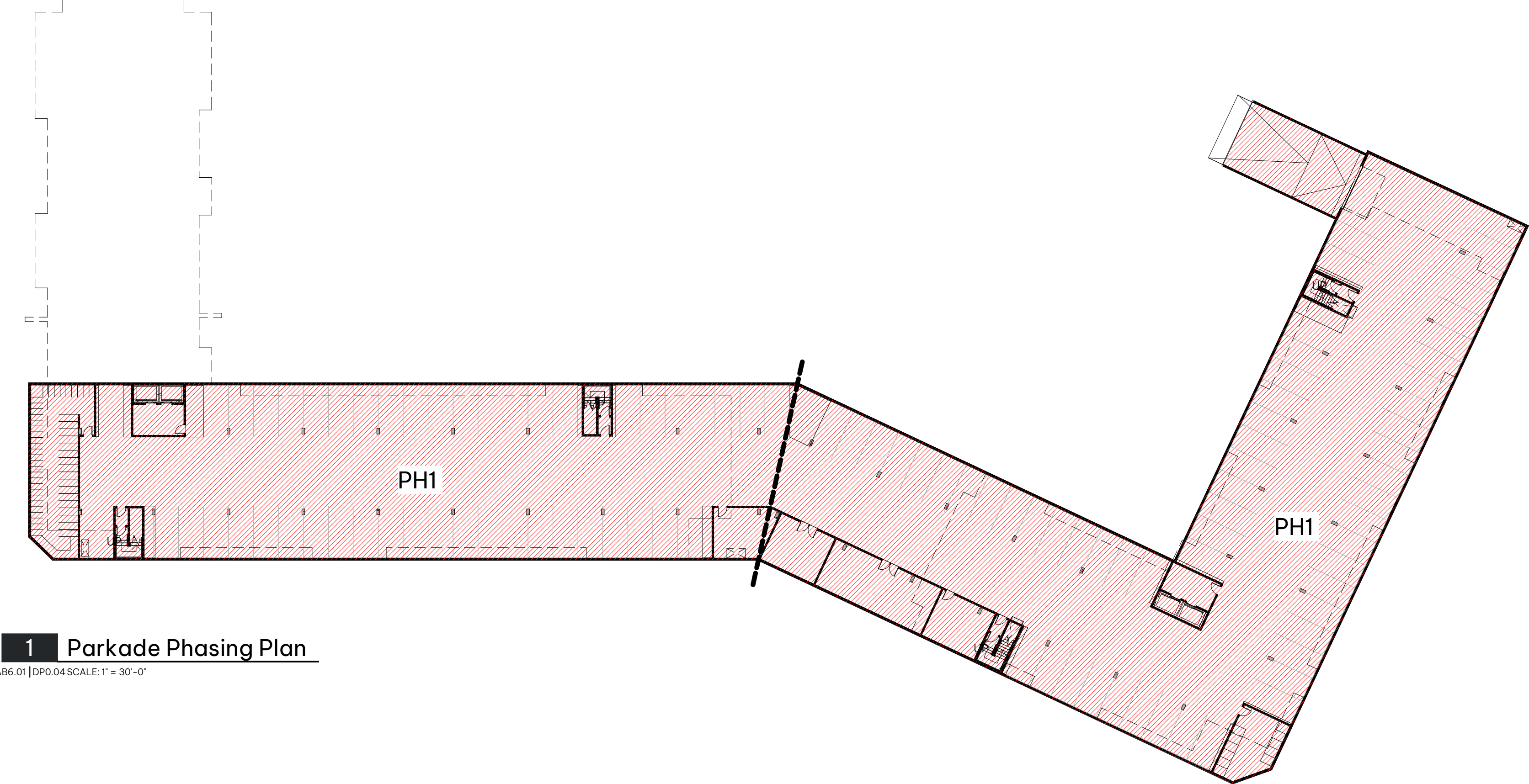


Site Plan - General Notes

- NOTE: PHASES IDENTIFIED MAY BE DEVELOPED IN A NON-SEQUENTIAL ORDER.
- PHASE 1: PARKADE UNDER BUILDING - WEST AND BUILDING- EAST, PARKADE RAMPS
 - PHASE 2: CONSTRUCTION OF BUILDING - EAST
 - PHASE 3: CONSTRUCTION OF BUILDING - WEST
 - PHASE 4: CONSTRUCTION OF SURROUNDING HARDSCAPE, PARKING LOT AND SOFTSCAPE LANDSCAPING (INCLUDING PLANTINGS, SOD, MULTCH, ETC.) AROUND INTERIOR BUILDING - EAST
 - PHASE 5: CONSTRUCTION OF SURROUNDING HARDSCAPE, PARKING LOT AND SOFTSCAPE LANDSCAPING (INCLUDING PLANTINGS, SOD, MULTCH, ETC.) AROUND INTERIOR BUILDING - WEST
 - PHASE 6: CONSTRUCTION OF SOFTSCAPE LANDSCAPING (INCLUDING PLANTINGS, SOD, MULTCH, ETC.) WITHIN THE CENTRAL AMENITY AREA AND AREA PARK SPACE
 - PHASE 7: CONSTRUCTION OF HARDSCAPE AND SOFTSCAPE LANDSCAPING (INCLUDING PLANTINGS, SOD, MULTCH, ETC.) AROUND BUILDING THE EXTERIOR OF BUILDING - EAST
 - PHASE 8: CONSTRUCTION OF HARDSCAPE AND SOFTSCAPE LANDSCAPING (INCLUDING PLANTINGS, SOD, MULTCH, ETC.) AROUND BUILDING THE EXTERIOR OF BUILDING - WEST

1 Parkade Phasing Plan

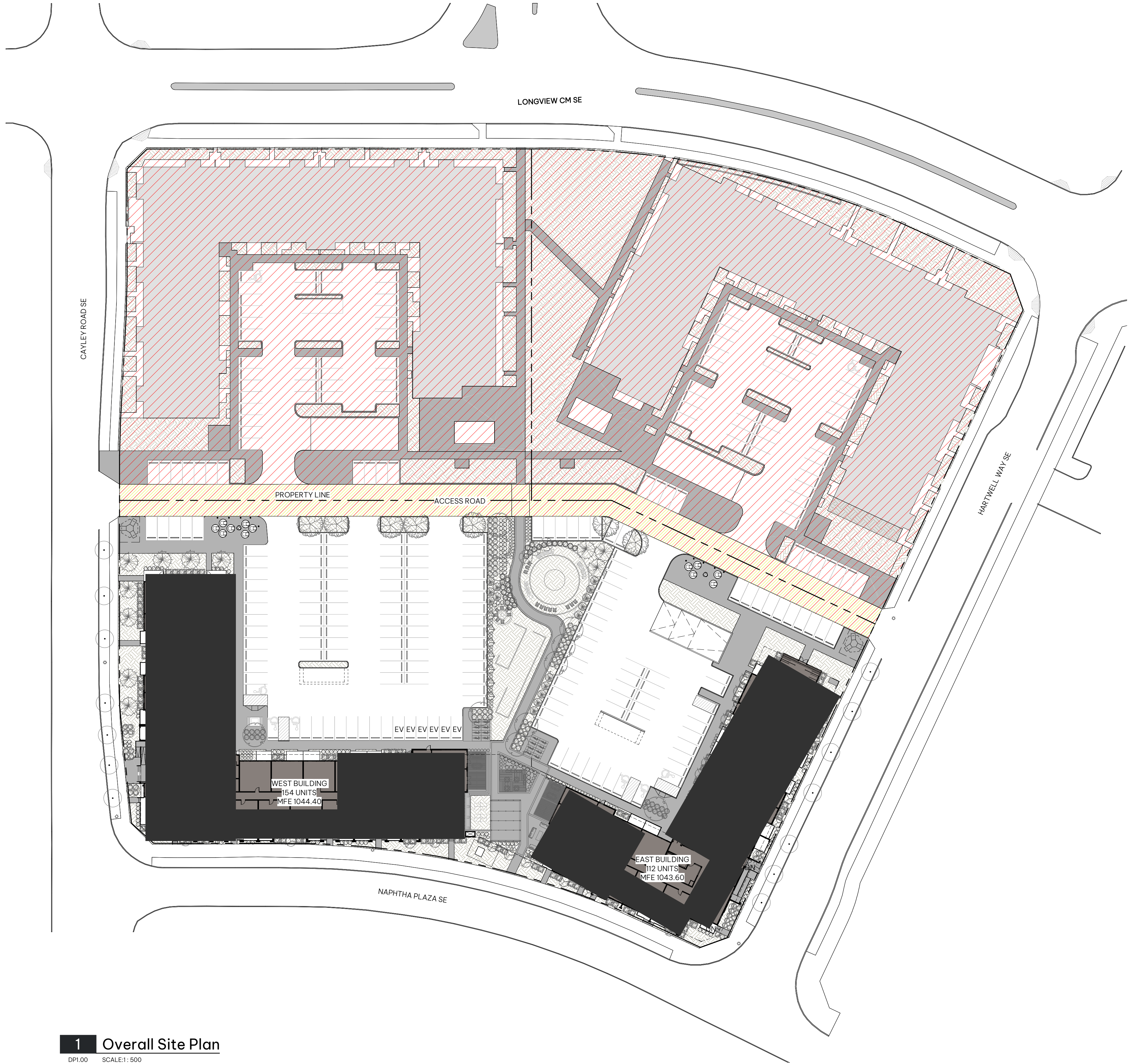
A86.01 | DPO.04 SCALE: 1" = 30'-0"



2 Site Phasing Plan

A86.01 | DPO.04 SCALE: 1" = 30'-0"

C:\Revit Projects\223116-A-Base_m.prolapowich.rvt



1 Overall Site Plan
DPI:00 SCALE:1:500

Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
3. ALL EXISTING FENCING TO BE REMOVED UNLESS OTHERWISE INDICATED
4. ALL EXISTING TREES TO REMAIN UNLESS OTHERWISE INDICATED
5. ALL AREAS NOT INDICATED AS PAVED/HARD SURFACING TO BE GRASSED

Site Plan - Symbol Legend

- INDICATED EXTENT AND LOCATION OF PREVIOUS PHASE 1 UNDER DP2023-01938 NOT IN SCOPE OF THIS PROJECT
- INDICATES EXTENT OF PROPOSED BUILDINGS
- INDICATES EXTENT AND LOCATION OF SIDEWALK
- INDICATES EXTENT AND LOCATION OF EXISTING HEAVY DUTY ASPHALT ACCESS ROAD
- INDICATES LANDSCAPED AREAS, REFER TO LANDSCAPE
- INDICATES LOCATION OF FIRE DEPARTMENT CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER/ PEDESTAL
- INDICATES LOCATION OF PROPOSED BIKE RACK
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES LOCATION OF PROPERTY LINE
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES EXISTING TREE

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

CLIENT
ROYOP DEVELOPMENT CORPORATION

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PROJECT NO. 223116

DRAWING TITLE

OVERALL SITE PLAN

DRAWING NO.

DP1.00

160 NAPHTHA PLAZA SE, CALGARY, AB

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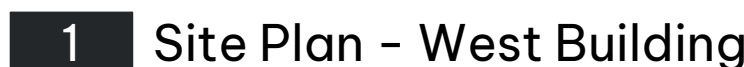
PROJECT NO. 223116

DRAWING TITLE

SITE PLAN WEST BUILDING

DRAWING NO.

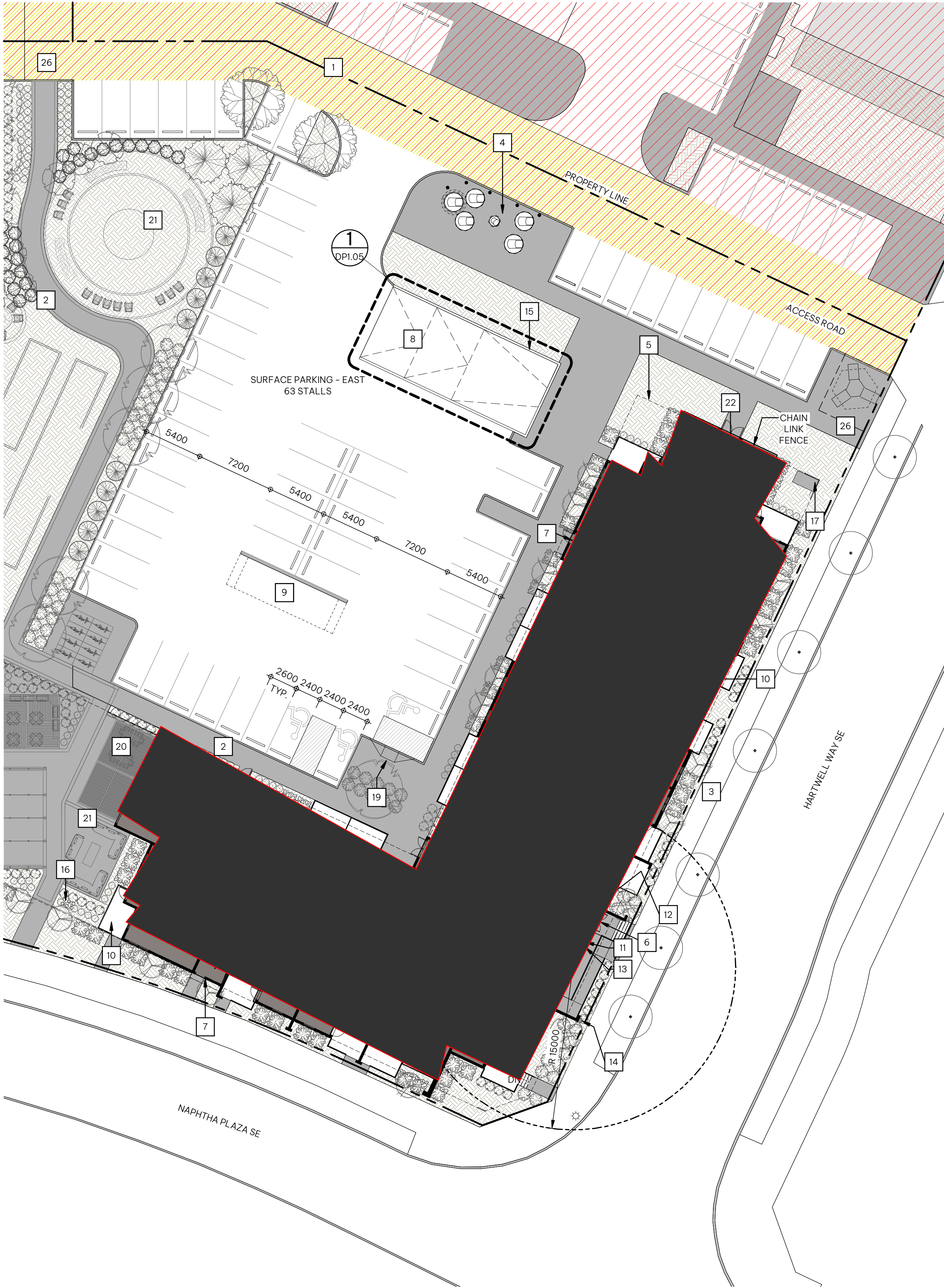
DP1.01



DP1.01 SCALE: 3/64" = 1'-0"

1	HEAVY DUTY ASPHALT ACCESS LANEWAY - REFER TO SYMBOL LEGEND HATCH
2	PROPOSED CONCRETE SIDEWALK - REFER TO SYMBOL LEGEND HATCH
3	EXISTING CONCRETE SIDEWALK OUTSIDE PROPERTY EXTENTS
4	IN GROUND WASTE AND RECYCLING SYSTEM REFER TO DP1.04
5	OUTLINE OF PARKADE BELOW
6	PRINCIPAL BUILDING ENTRANCE
7	BUILDING EXIT
8	PARKADE ACCESS RAMP
9	LOADING STALL
10	RESIDENTIAL UNIT BALCONY/PATIO, PRIVACY SCREEN BETWEEN ADJOINING UNITS
11	FIRE ALARM EXTERIOR STROBE LIGHT LOCATION
12	FIRE ALARM PANEL LOCATION
13	FIRE DEPARTMENT APPROVED LOCKBOX LOCATED ON EXTERIOR OF BUILDING
14	FIRE DEPARTMENT CONNECTION

- | | |
|----|--|
| 15 | GUARDRAIL |
| 16 | MECHANICAL EXHAUST |
| 17 | MECHANICAL INTAKE DOGHOUSE |
| 18 | (NOT USED) |
| 19 | TYPICAL BARRIER FREE CURB CUT |
| 20 | OUTDOOR AMENITY - REFER TO LANDSCAPING DRAWINGS |
| 21 | PROPOSED LANDSCAPING - REFER TO LANDSCAPING DRAWINGS |
| 22 | BIKE STORAGE ENCLOSURE (CLASS 1) |
| 23 | TRANSFORMER |
| 24 | (NOT USED) |
| 25 | INDOOR AMENITY |
| 26 | RAISED CROSSWALK TO PHASE 1 |
| 26 | EXISTING PULLBOX AND UTILITY ROW |



1 Site Plan - East Building
AB6.01 | DPI.02 SCALE: 3/64" = 1'-0"

Site Plan - General Notes

1. REFER TO SITE SERVICING PLAN FOR SPECIFIC RELATED REQUIREMENTS
2. REFER ALSO TO THE LANDSCAPE PLAN
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- INDICATES LANDSCAPED AREAS, REFER TO LANDSCAPE
- INDICATES LOCATION OF FIRE DEPARTMENT CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER/ PEDESTAL
- INDICATES LOCATION OF PROPOSED BIKE RACK
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES LOCATION OF PROPERTY LINE
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES EXISTING TREE

Site Plan - Notations

- | | |
|---|---|
| 1 HEAVY DUTY ASPHALT ACCESS LANEWAY - REFER TO SYMBOL LEGEND HATCH | 15 GUARDRAIL |
| 2 PROPOSED CONCRETE SIDEWALK - REFER TO SYMBOL LEGEND HATCH | 16 MECHANICAL EXHAUST |
| 3 EXISTING CONCRETE SIDEWALK OUTSIDE PROPERTY EXTENTS | 17 MECHANICAL INTAKE DOGHOUSE |
| 4 IN GROUND WASTE AND RECYCLING SYSTEM REFER TO DPI.04 | 18 (NOT USED) |
| 5 OUTLINE OF PARKADE BELOW | 19 TYPICAL BARRIER FREE CURB CUT |
| 6 PRINCIPAL BUILDING ENTRANCE | 20 OUTDOOR AMENITY - REFER TO LANDSCAPING DRAWINGS |
| 7 BUILDING EXIT | 21 PROPOSED LANDSCAPING - REFER TO LANDSCAPING DRAWINGS |
| 8 PARKADE ACCESS RAMP | 22 BIKE STORAGE ENCLOSURE (CLASS 1) |
| 9 LOADING STALL | 23 TRANSFORMER |
| 10 RESIDENTIAL UNIT BALCONY/PATIO, PRIVACY SCREEN BETWEEN ADJOINING UNITS | 24 (NOT USED) |
| 11 FIRE ALARM EXTERIOR STROBE LIGHT LOCATION | 25 INDOOR AMENITY |
| 12 FIRE ALARM PANEL LOCATION | 26 RAISED CROSSWALK TO PHASE 1 |
| 13 FIRE DEPARTMENT APPROVED LOCKBOX LOCATED ON EXTEIOR OF BUILDING | 26 EXISTING PULLBOX AND UTILITY ROW |
| 14 FIRE DEPARTMENT CONNECTION | |

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

CLIENT
ROYOP DEVELOPMENT CORPORATION

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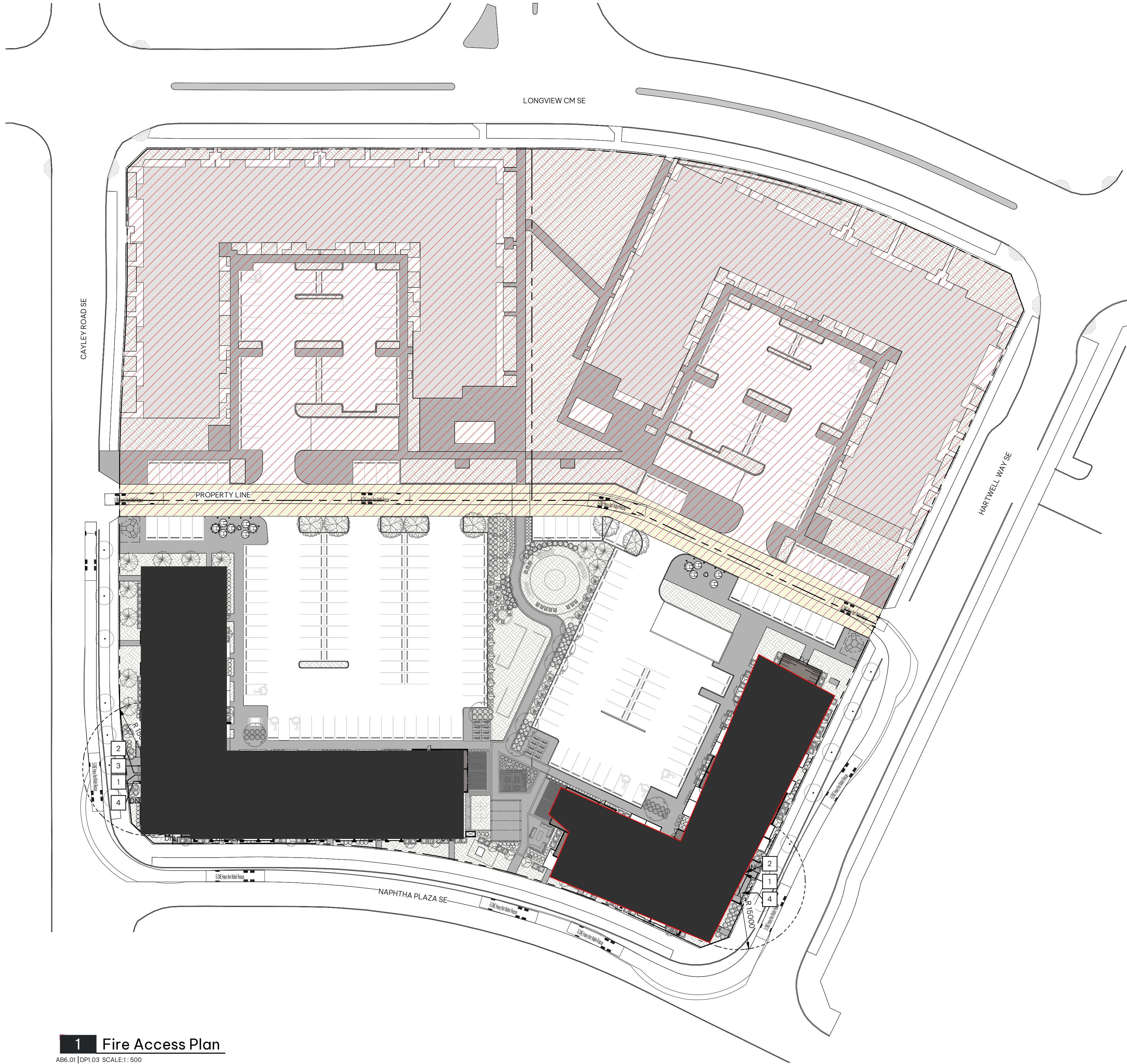
DRAWING TITLE

SITE PLAN EAST BUILDING

DRAWING NO.

DP1.02

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1 Fire Access Plan
AB6.01 | DP1.03 SCALE: 1:500

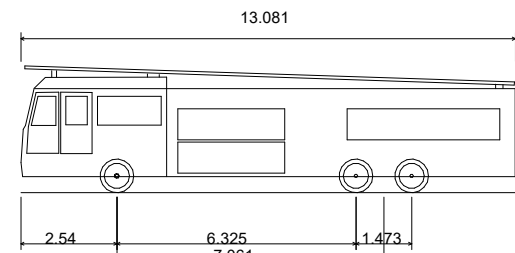
Fire Access - General Notes

ALL PORTIONS OF THE FIRE ACCESS ROUTE ARE DESIGNED TO SUPPORT 38,556KG / 85,000LBS. THIS ALSO INCLUDES THE ENTIRE FIRE ACCESS ROUTE, WHICH IS DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517KPA (75 PSI) OVER A 24" X 24" AREA, WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE. REFER TO DRAWING AND LEGEND.

Site Plan - Symbol Legend

- INDICATED EXTENT AND LOCATION OF PREVIOUS PHASE 1 UNDER DP2023-01938 NOT IN SCOPE OF THIS PROJECT
- INDICATES EXTENT OF PROPOSED BUILDINGS
- INDICATES EXTENT AND LOCATION OF SIDEWALK
- INDICATES EXTENT AND LOCATION OF EXISTING HEAVY DUTY ASPHALT ACCESS ROAD
- INDICATES LANDSCAPED AREAS, REFER TO LANDSCAPE
- INDICATES LOCATION OF FIRE DEPARTMENT CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF PROPOSED BIKE RACK
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES LOCATION OF PROPERTY LINE
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES EXISTING TREE

Site Plan - Notations



E-ONE Heavy Non Walkin Rescue
Overall Length 13.081m
Overall Width 2.540m
Overall Body Height 3.325m
Min Body Ground Clearance 0.425m
Track Width 2.540m
Lock-to-lock time 6.00s
Max Wheel Angle 45.00°

Fire Access - Notations

- EXTERIOR CALGARY FIRE DEPARTMENT APPROVED LOCK BOX
- PROPOSED FIRE PANEL LOCATION. A STROBE LIGHT TO BE LOCATED AT EACH FIRE ALARM PANEL LOCATION.
- FIRE DEPARTMENT PATH OF TRAVEL.
- FIRE DEPARTMENT CONNECTION STANDPIPE. 2m OPERATIONAL CLEARANCE LEFT AND RIGHT OF EACH PORT

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

CLIENT
ROYOP DEVELOPMENT CORPORATION

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DRAWING TITLE

FIRE ACCESS PLAN

DRAWING NO.

DP1.03

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

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DRAWING TITLE
WASTE & RECYCLING ACCESS
PLAN

DRAWING NO.

DP1.04

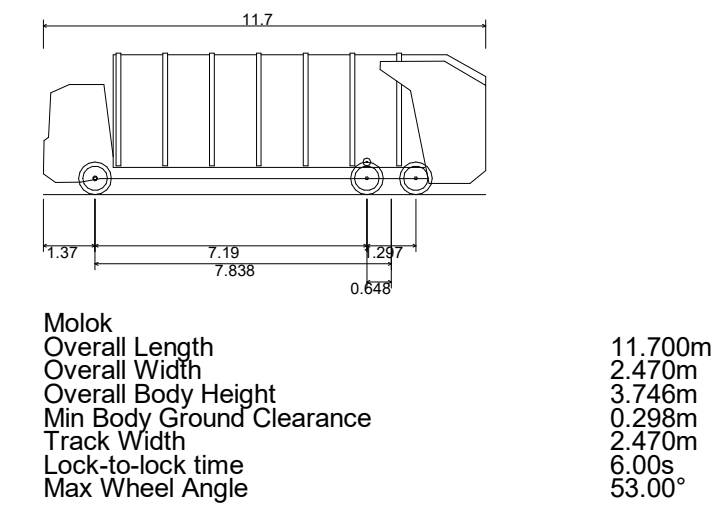
Waste & Recycling - General Notes

- ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE ARE DESIGNED TO SUPPORT 38,556 KG/ 85,000LBS. THIS ALSO INCLUDES THE ENTIRE FIRE ACCESS ROUTE, WHICH IS DESIGNED TO SUPPORT THE FA 1901 POINT LOAD OF 517KPA (75 PSI) OVER A 24" X 24" AREA, WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE. REFER TO DRAWING AND LEGEND.
- THE MAXIMUM GRADE WHERE CONTAINERS ARE STORED, MANEUVERED COLLECTED IS 2% IN ALL DIRECTIONS. REFER TO CIVIL GRADING PLAN.
- WASTE RECYCLING ROOMS TO BE SPRINKLER AND HEATED.
- SITE MAINTENANCE PERSONNEL TO HELP COORDINATE BIN MOVING ON COLLECTION DAY.

Site Plan - Symbol Legend

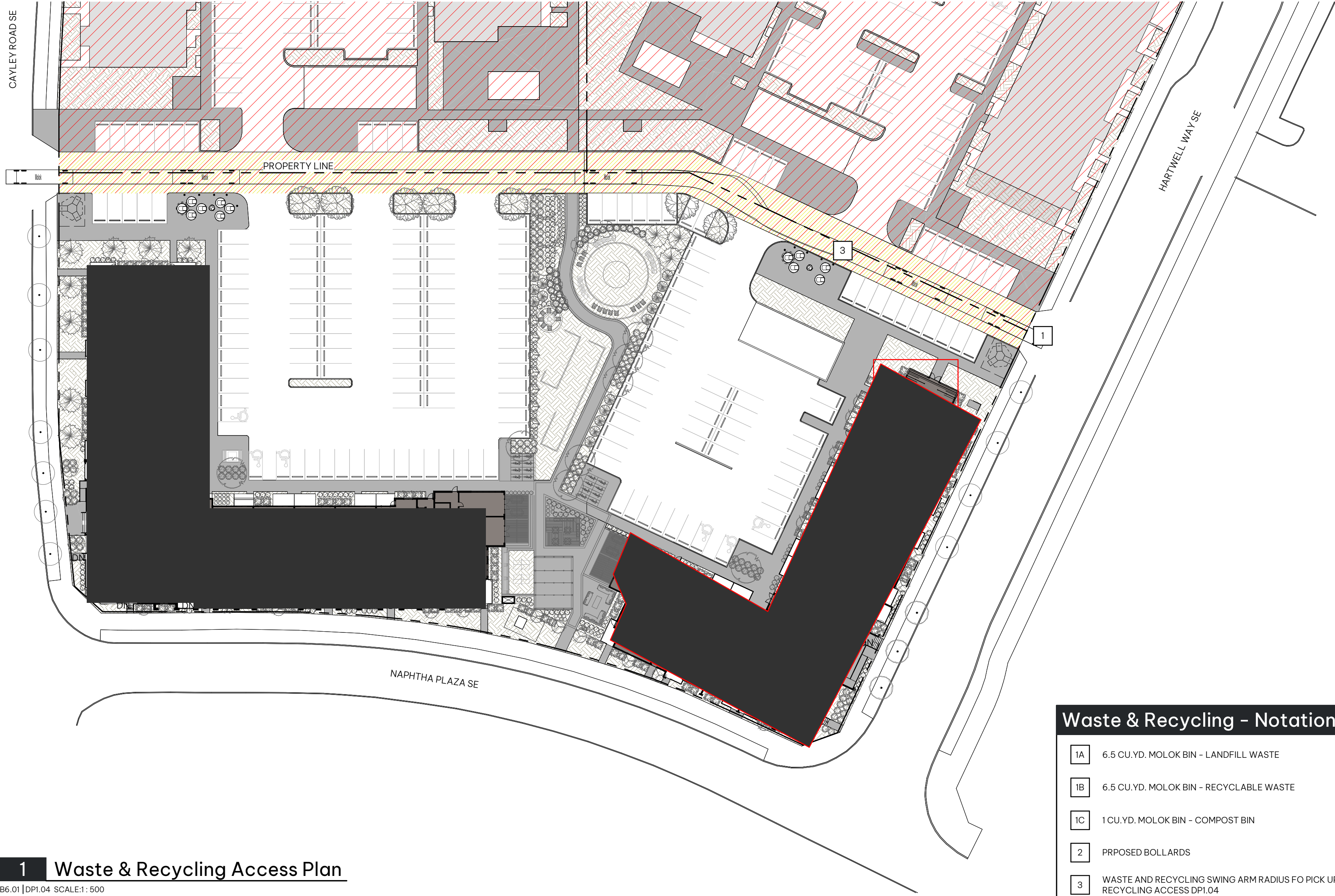
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- INDICATES EXTENT AND LOCATION OF EXISTING HEAVY DUTY ASPHALT ACCESS ROAD
- INDICATES LANDSCAPED AREAS, REFER TO LANDSCAPE
- INDICATES LOCATION OF FIRE DEPARTMENT CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER/ PEDESTAL
- INDICATES LOCATION OF PROPOSED BIKE RACK
- INDICATES PARKING LINE PAINTED ON ASPHALT
- INDICATES HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE
- INDICATES LOCATION OF PROPOSED CONCRETE WHEEL STOP
- INDICATES LOCATION OF PROPERTY LINE
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES EXISTING TREE

Site Plan - Notations



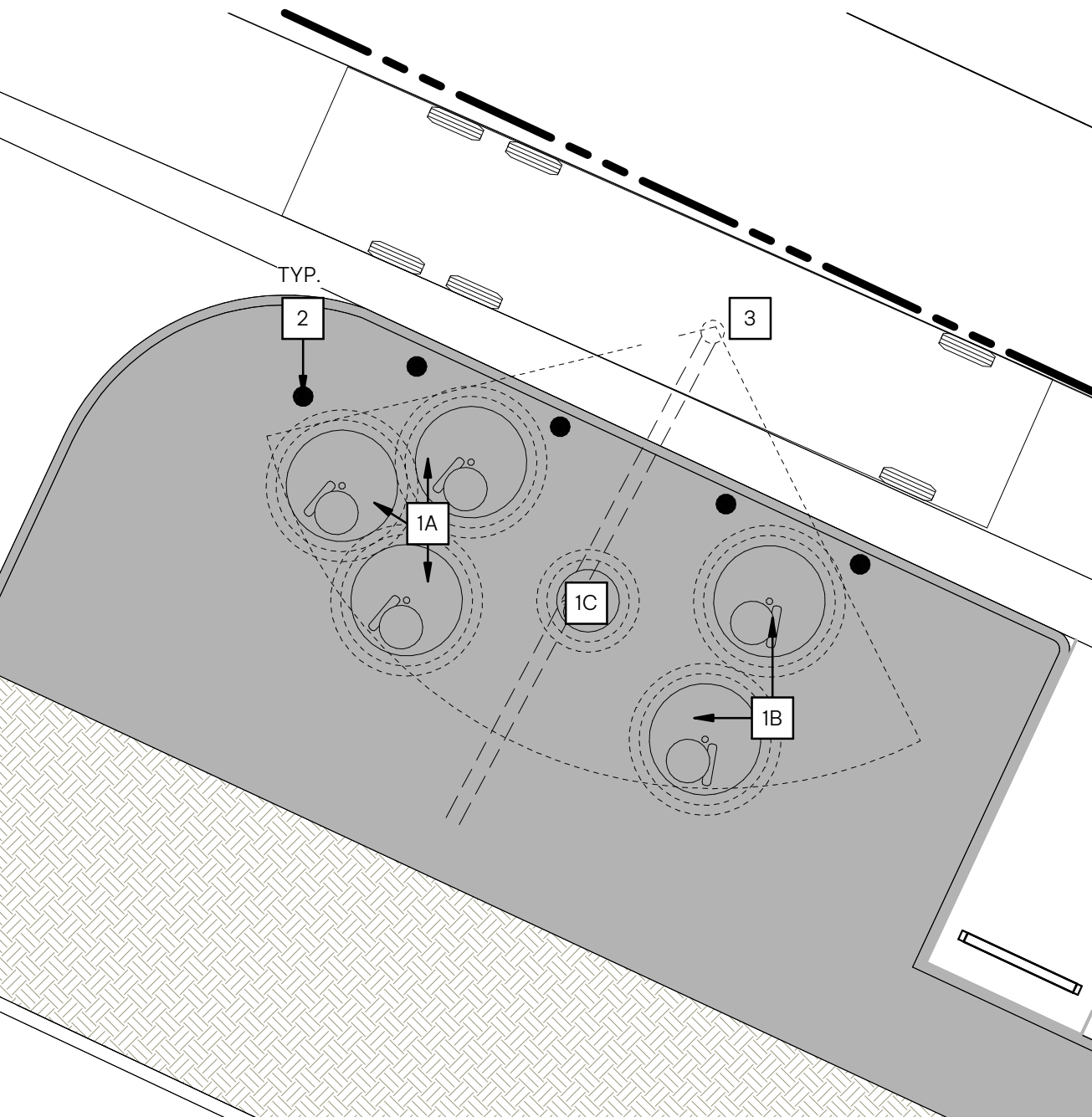
Waste & Recycling - Notations

- 1A 6.5 CU.YD. MOLOK BIN - LANDFILL WASTE
- 1B 6.5 CU.YD. MOLOK BIN - RECYCLABLE WASTE
- 1C 1 CU.YD. MOLOK BIN - COMPOST BIN
- 2 PROPOSED BOLLARDS
- 3 WASTE AND RECYCLING SWING ARM RADIUS FOR PICK UP TRUCK. REFER TO WASTE & RECYCLING ACCESS DP1.04



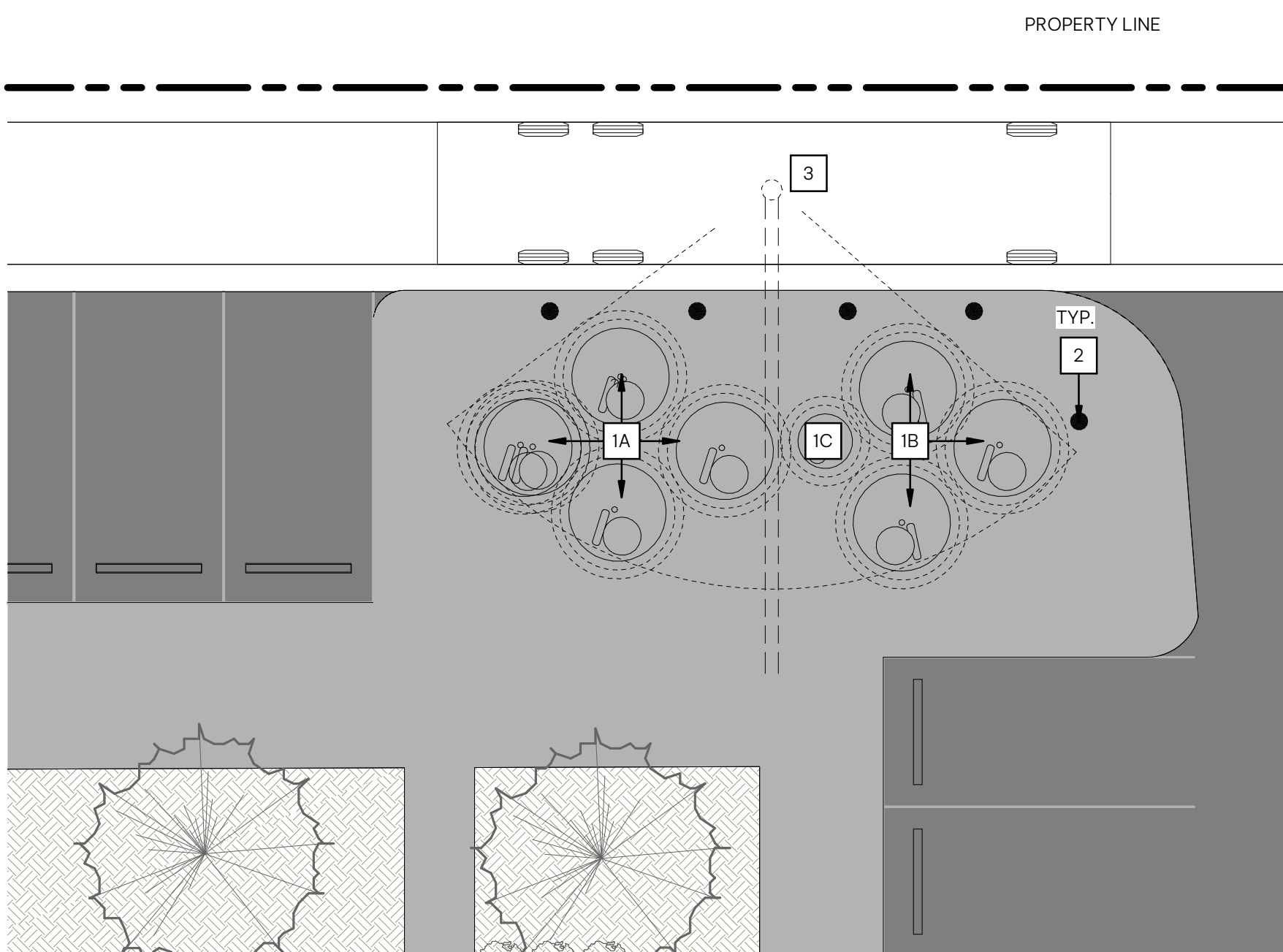
1 Waste & Recycling Access Plan

AB6.01 | DP1.04 SCALE: 1/8" = 1'-0"



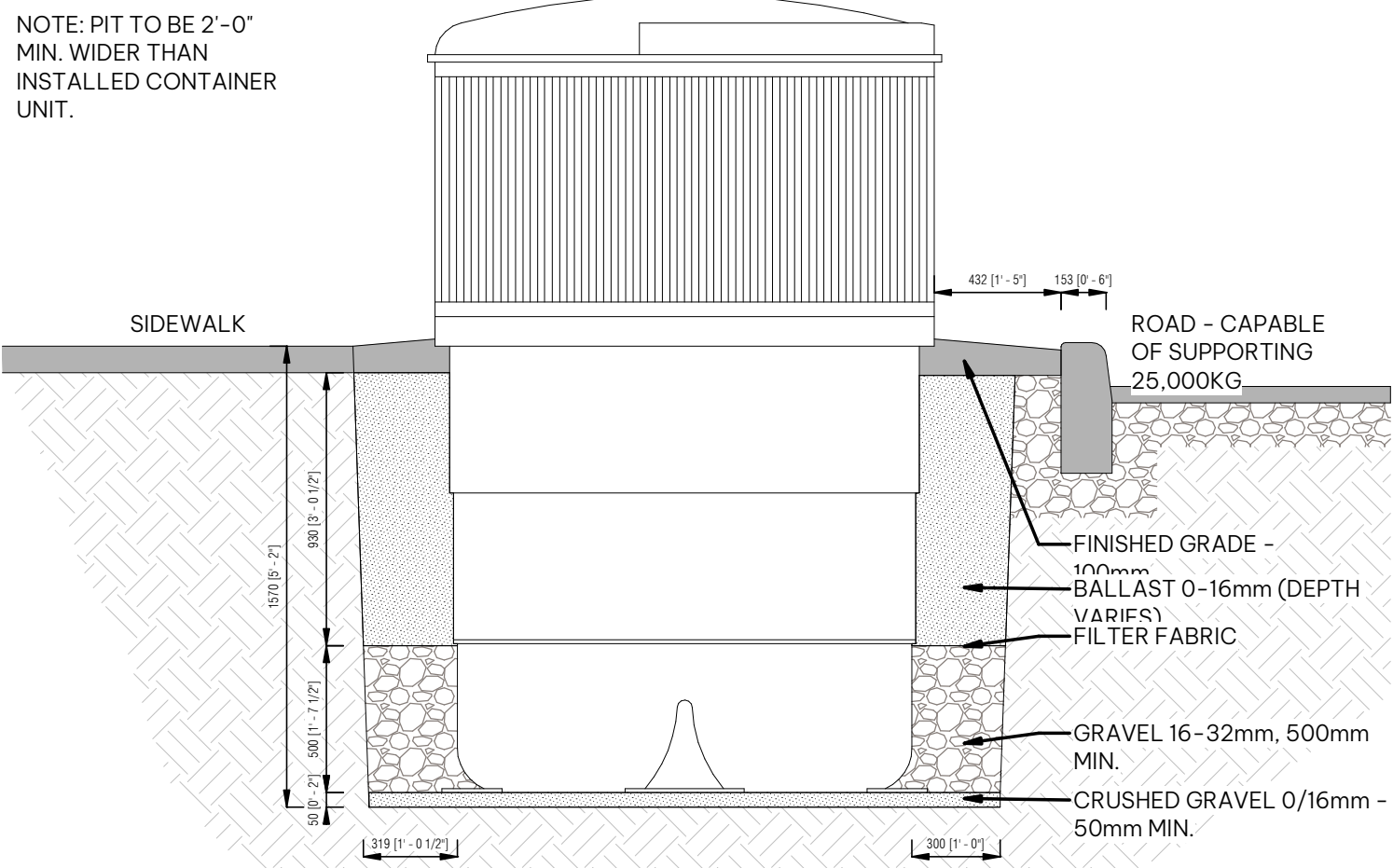
2 East Building - Waste & Recycling Plan

AB6.01 | DP1.04 SCALE: 1/8" = 1'-0"



3 West Building - Waste & Recycling Plan

AB6.01 | DP1.04 SCALE: 1/8" = 1'-0"



4 In Ground Bin Detail

DP1.04 SCALE: 1/2" = 1'-0"

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

CLIENT
ROYOP DEVELOPMENT
CORPORATION

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DRAWING TITLE

WEST BUILDING - EXTERIOR
ELEVATIONS

DRAWING NO.

DP4.00

Elevation - Keynote Legend

- | | |
|----|--|
| 1 | HORIZONTAL CEMENTIOUS LAP SIDING 01 - FEATURE COLOR 1 (EAST BUILDING ONLY) |
| 2 | HORIZONTAL CEMENTIOUS LAP SIDING 02 - FEATURE COLOR 2 (WEST BUILDING ONLY) |
| 3 | HORIZONTAL CEMENTIOUS LAP SIDING 03 - MEDIUM BROWN (EAST BUILDING ONLY) |
| 4 | HORIZONTAL CEMENTIOUS LAP SIDING 04 - TAUPE (WEST BUILDING ONLY) |
| 5 | HORIZONTAL CEMENTIOUS LAP SIDING 05 - DEEP BROWN WOOD TONE |
| 6 | CEMENTIOUS PANEL 01 - MEDIUM BROWN (EAST BUILDING ONLY) |
| 7 | CEMENTIOUS PANEL 02 - TAUPE (WEST BUILDING ONLY) |
| 8 | CEMENTIOUS PANEL 03 - LIGHT CREAM |
| 9 | VERTICAL CEMENTITIOUS BOARD AND BATTEN 01 - WHITE WOOD TONE |
| 10 | VERTICAL CEMENTITIOUS BOARD AND BATTEN 02 - DEEP BROWN WOOD TONE |
| 11 | CEMENTITIOUS TRIM/PANEL 01 - BROWN (EAST BUILDING ONLY) |
| 12 | CEMENTITIOUS TRIM/PANEL 02 - DARK BROWN (WEST BUILDING ONLY) |
| 13 | BRICK - MEDIUM TONE |
| 14 | WINDOW - WHITE FRAME + LIGHT TRIM |
| 15 | WINDOW - BLACK FRAME + BROWN TRIM |
| 16 | BALCONY DOOR - SLIDING |
| 17 | BALCONY DOOR - SWING |
| 18 | DOOR - METAL EXIT |
| 19 | ROOF |
| 20 | FIREWALL |
| 21 | BUILDING SIGNAGE TO BE CONFIRMED |
| 22 | METAL PICKET RAILING - CHARCOAL |
| 23 | BICYCLE STORAGE |



1 West Building - East Elevation

2.04 | DP4.00 SCALE: 3/32" = 1'-0"



2 West Building - East Elevation 2

2.04 | DP4.00 SCALE: 3/32" = 1'-0"



3 West Building - North Elevation 1

DP2.03 | DP4.00 SCALE: 3/32" = 1'-0"

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

CLIENT
ROYOP DEVELOPMENT
CORPORATION

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DRAWING TITLE

WEST BUILDING - EXTERIOR
ELEVATIONS

DRAWING NO.

DP4.01

Elevation - Keynote Legend

- HORIZONTAL CEMENTIOUS LAP SIDING 01 - FEATURE COLOR 1 (EAST BUILDING ONLY)
- HORIZONTAL CEMENTIOUS LAP SIDING 02 - FEATURE COLOR 2 (WEST BUILDING ONLY)
- HORIZONTAL CEMENTIOUS LAP SIDING 03 - MEDIUM BROWN (EAST BUILDING ONLY)
- HORIZONTAL CEMENTIOUS LAP SIDING 04 - TAUPE (WEST BUILDING ONLY)
- HORIZONTAL CEMENTIOUS LAP SIDING 05 - DEEP BROWN WOOD TONE
- CEMENTIOUS PANEL 01 - MEDIUM BROWN (EAST BUILDING ONLY)
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- WINDOW - BLACK FRAME + BROWN TRIM
- BALCONY DOOR - SLIDING
- BALCONY DOOR - SWING
- DOOR - METAL EXIT
- ROOF
- FIREWALL
- BUILDING SIGNAGE TO BE CONFIRMED
- METAL PICKET RAILING - CHARCOAL
- BICYCLE STORAGE



1 West Building - North Elevation 2

2.04 | DP4.01 SCALE: 3/32" = 1'-0"



2 West Building - South Elevation

DP2.02 | DP4.01 SCALE: 3/32" = 1'-0"

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

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CORPORATION

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DRAWING TITLE

WEST BUILDING - EXTERIOR
ELEVATIONS

DRAWING NO.

DP4.02

Elevation - Keynote Legend

- | | |
|----|--|
| 1 | HORIZONTAL CEMENTIOUS LAP SIDING 01 - FEATURE COLOR 1 (EAST BUILDING ONLY) |
| 2 | HORIZONTAL CEMENTIOUS LAP SIDING 02 - FEATURE COLOR 2 (WEST BUILDING ONLY) |
| 3 | HORIZONTAL CEMENTIOUS LAP SIDING 03 - MEDIUM BROWN (EAST BUILDING ONLY) |
| 4 | HORIZONTAL CEMENTIOUS LAP SIDING 04 - TAUPE (WEST BUILDING ONLY) |
| 5 | HORIZONTAL CEMENTIOUS LAP SIDING 05 - DEEP BROWN WOOD TONE |
| 6 | CEMENTIOUS PANEL 01 - MEDIUM BROWN (EAST BUILDING ONLY) |
| 7 | CEMENTIOUS PANEL 02 - TAUPE (WEST BUILDING ONLY) |
| 8 | CEMENTIOUS PANEL 03 - LIGHT CREAM |
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| 10 | VERTICAL CEMENTITIOUS BOARD AND BATTEN 02 - DEEP BROWN WOOD TONE |
| 11 | CEMINTITIOUS TRIM/PANEL 01 - BROWN (EAST BUILDING ONLY) |
| 12 | CEMINTITIOUS TRIM/PANEL 02 - DARK BROWN (WEST BUILDING ONLY) |
| 13 | BRICK - MEDIUM TONE |
| 14 | WINDOW - WHITE FRAME + LIGHT TRIM |
| 15 | WINDOW - BLACK FRAME + BROWN TRIM |
| 16 | BALCONY DOOR - SLIDING |
| 17 | BALCONY DOOR - SWING |
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| 19 | ROOF |
| 20 | FIREWALL |
| 21 | BUILDING SIGNAGE TO BE CONFIRMED |
| 22 | METAL PICKET RAILING - CHARCOAL |
| 23 | BICYCLE STORAGE |



1 West Building - West Elevation

2.04 | DP4.02 SCALE: 3/32" = 1'-0"

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

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DRAWING TITLE

EAST BUILDING - EXTERIOR
ELEVATIONS

DRAWING NO.

DP4.03

Elevation - Keynote Legend

- | | |
|----|--|
| 1 | HORIZONTAL CEMENTIOUS LAP SIDING 01 - FEATURE COLOR 1 (EAST BUILDING ONLY) |
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| 3 | HORIZONTAL CEMENTIOUS LAP SIDING 03 - MEDIUM BROWN (EAST BUILDING ONLY) |
| 4 | HORIZONTAL CEMENTIOUS LAP SIDING 04 - TAUPE (WEST BUILDING ONLY) |
| 5 | HORIZONTAL CEMENTIOUS LAP SIDING 05 - DEEP BROWN WOOD TONE |
| 6 | CEMENTIOUS PANEL 01 - MEDIUM BROWN (EAST BUILDING ONLY) |
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| 19 | ROOF |
| 20 | FIREWALL |
| 21 | BUILDING SIGNAGE TO BE CONFIRMED |
| 22 | METAL PICKET RAILING - CHARCOAL |
| 23 | BICYCLE STORAGE |



1 East Building - West Elevation 1

2.05 | DP4.03 SCALE: 3/32" = 1'-0"



2 East Building - West Elevation 2

2.05 | DP4.03 SCALE: 3/32" = 1'-0"



3 East Building - North Elevation 1

DP2.06 | DP4.03 SCALE: 3/32" = 1'-0"



4 East Building North Elevation 2

2.05 | DP4.03 SCALE: 3/32" = 1'-0"

TOWNSHIP PHASE 2

MIXED USE DEVELOPMENT

160 NAPHTHA PLAZA SE, CALGARY, AB

CLIENT
ROYOP DEVELOPMENT
CORPORATION

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DRAWING TITLE

EAST BUILDING - EXTERIOR
ELEVATIONS

DRAWING NO.

DP4.04

Elevation - Keynote Legend

- | | |
|----|--|
| 1 | HORIZONTAL CEMENTIOUS LAP SIDING 01 - FEATURE COLOR 1 (EAST BUILDING ONLY) |
| 2 | HORIZONTAL CEMENTIOUS LAP SIDING 02 - FEATURE COLOR 2 (WEST BUILDING ONLY) |
| 3 | HORIZONTAL CEMENTIOUS LAP SIDING 03 - MEDIUM BROWN (EAST BUILDING ONLY) |
| 4 | HORIZONTAL CEMENTIOUS LAP SIDING 04 - TAUPE (WEST BUILDING ONLY) |
| 5 | HORIZONTAL CEMENTIOUS LAP SIDING 05 - DEEP BROWN WOOD TONE |
| 6 | CEMENTIOUS PANEL 01 - MEDIUM BROWN (EAST BUILDING ONLY) |
| 7 | CEMENTIOUS PANEL 02 - TAUPE (WEST BUILDING ONLY) |
| 8 | CEMENTIOUS PANEL 03 - LIGHT CREAM |
| 9 | VERTICAL CEMENTITIOUS BOARD AND BATTEN 01 - WHITE WOOD TONE |
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| 18 | DOOR - METAL EXIT |
| 19 | ROOF |
| 20 | FIREWALL |
| 21 | BUILDING SIGNAGE TO BE CONFIRMED |
| 22 | METAL PICKET RAILING - CHARCOAL |
| 23 | BICYCLE STORAGE |



1 East Building - South Elevation

2.05 | DP4.04 SCALE: 3/32" = 1'-0"



2 East Building - East Elevation

2.05 | DP4.04 SCALE: 3/32" = 1'-0"



1 overall landscape plan
Scale: 1:400

Site Information			
Address:		Naptha Plaza SE Calgary, A.B.	
City of Calgary Zoning:		DC 308D2017	
Landscape Statistics			
Site Area		11,720.33 sq m	
Landscape Area Provided		1,851.42 sq m	
Soft Landscape area		1,851.42 sq.m.	
Tree requirements		required	provided
1 tree per 45 sq m		Total	41.1 72
Deciduous Trees		30.9	57.00
75mm cal		15.4	29
50mm cal		15.4	28
Coniferous Trees		10.3	15.00
3m height		5.1	12.00
2m height		5.1	3.00
Shrub Requirements		required	provided
2 Shrubs per 45 sq m		Total	82.3 630
		Deciduous	488.00
		Coniferous	142.00



2 landscape areas
Scale: 1:1250

Plant List			
Qty	Common Name	Botanical Name	Size
Ornamental Grasses and Groundcovers			
Shrubs			
Coniferous			
142	Dwarf Mugo Pine	Pinus mugo 'pumilio'	600mm min
Deciduous			
84	Alpine Currant	Ribes alpinum	600mm min
39	Amber Jubilee Ninebark	Physocarpus opulifolius 'Jefam'	600mm min
81	Little Devil Ninebark	Physocarpus opulifolius 'Donna May'	600mm min
173	Potentilla	Potentilla fruticosa 'Hachliss'	600mm min
111	Wild Rose	Rosa woodsii	600mm min
Trees			
Coniferous			
12	Scotch Pine	Pinus sylvestris	3m ht
3	Columnar Spruce	Picea pungens 'Fastigiata'	2m ht
Deciduous			
7	Brandon Elm	Ulmus americana 'Brandon'	75mm cal
11	Foothills Green Ash	Fraxinus pennsylvanica 'Foothills'	75mm cal
11	Red Rocket Red Maple	Acer rubrum 'Red Rocket'	75mm cal
20	Dakota Pinnacle Birch	Betula platyphylla 'Fargo'	50mm cal
8	Green Wall Flowering Crab	Malus 'Jefwall'	50mm cal

Trees		Shrubs and Perennials	
	Dakota Pinnacle Birch		Alpine Currant
	Brandon Elm		Amber Jubilee Ninebark
	Foothills Green Ash		Dwarf Mugo Pine
	Green Wall Flowering Crab		Little Devil Ninebark
	Red Rocket Red Maple		Potentilla
	Columnar Spruce		Wild Rose
	Scotch Pine		

General Notes

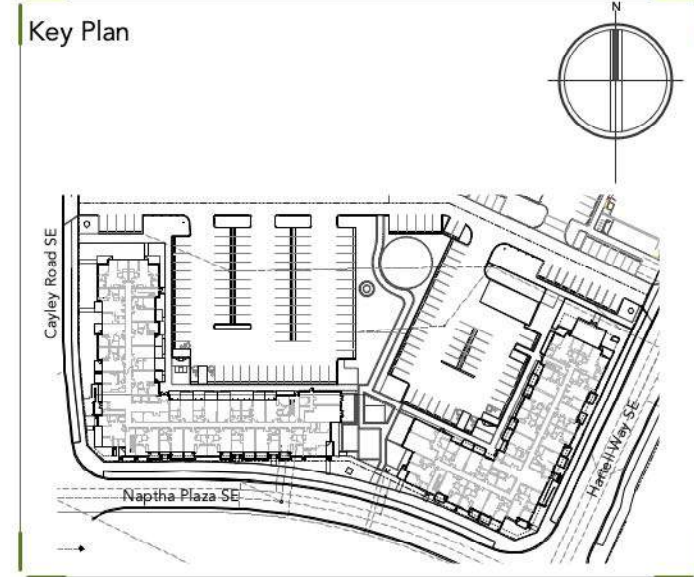
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Irrigation Notes

1. All landscape areas shall be watered by a low water use, automatic underground irrigation system as per municipal standards.

Plant Material

1. All plant material to be sourced from Alberta nurseries and be capable of growth in the Calgary Region (Chinook hardy) as per municipal bylaws.

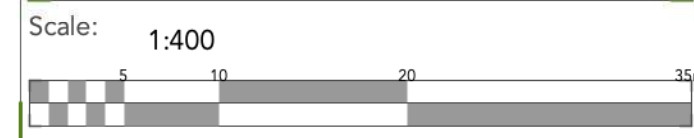


6	development permit	25.11.07
5	review and coordination	25.10.15
4	review and coordination	25.10.08
3	review and coordination	25.09.18
2	review and coordination	25.09.04
Issued for:		Date: (yy.mm.dd)

Project No: 50-001
Project Title:
Township Core Multifamily Phase 2
Calgary, A.B.

Drawing Title:
Overall Plan

Drawn by: cmp
Checked by: cmp
Drawing No: **L-00**





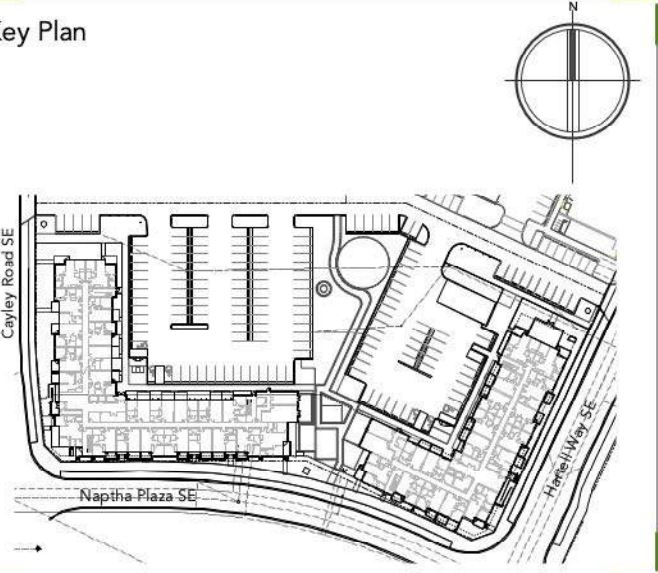
1 overall landscape plan
Scale: 1:250

- | Trees | | Shrubs and Perennials | |
|-------|---------------------------|-----------------------|------------------------|
| | Dakota Pinnacle Birch | | Alpine Currant |
| | Foothills Green Ash | | Dwarf Mugo Pine |
| | Red Rocket Red Maple | | Potentilla |
| | Scotch Pine | | Amber Jubilee Ninebark |
| | Brandon Elm | | Little Devil Ninebark |
| | Green Wall Flowering Crab | | Wild Rose |
| | Columnar Spruce | | |

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Issued for:		Date: (yy.mm.dd)

Project No. 50-001
Project Title:
Township Core Multifamily Phase 2
Calgary, A.B.

Drawing Title:
Landscape Plan

Drawn by: cmp	Drawing No. L-01
Checked by: cmp	
Scale: 1:250	

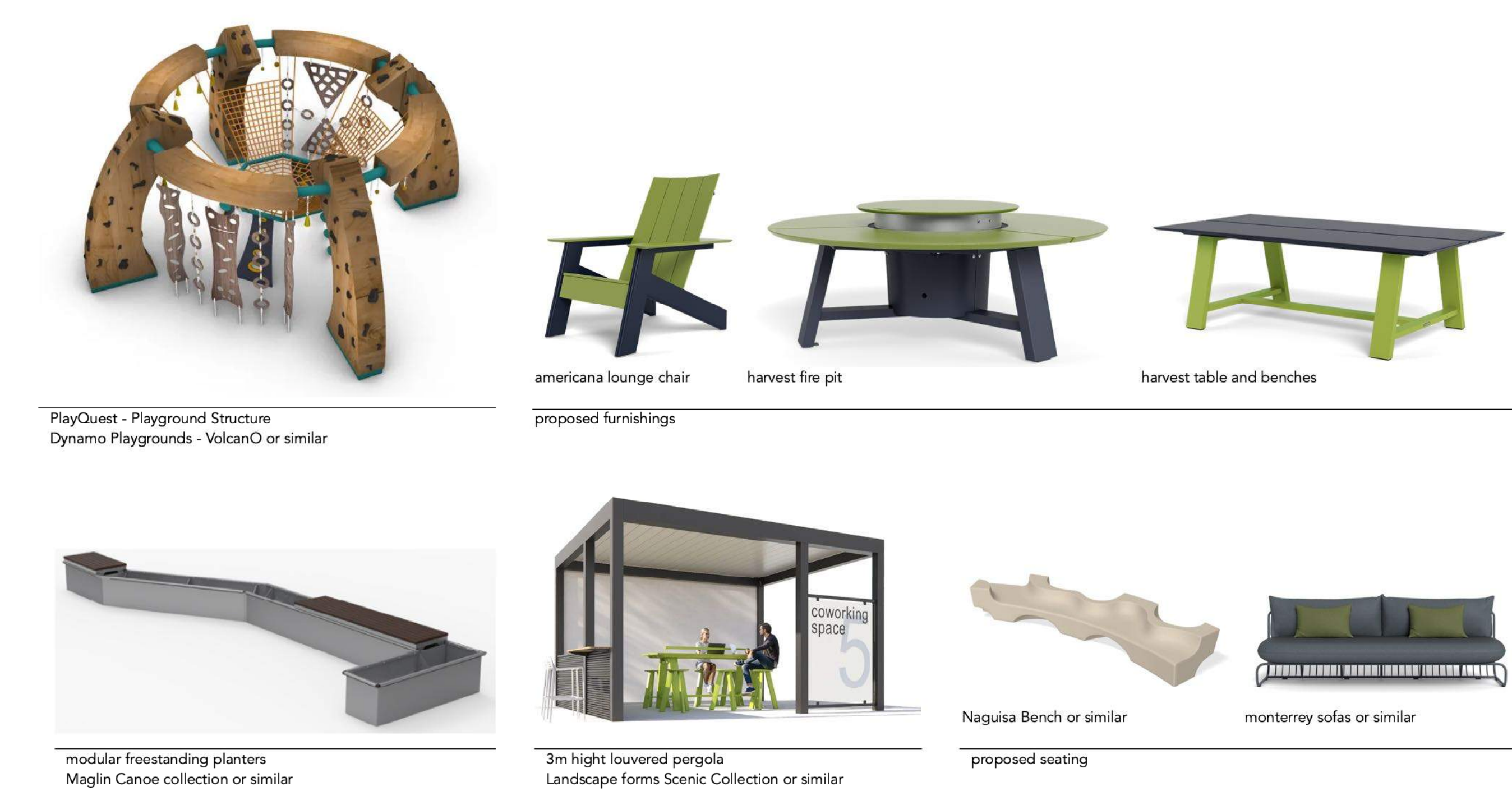


1 central amenity area - north
Scale: 1:125

Trees		Shrubs and Perennials	
	Dakota Pinnacle Birch		Alpine Currant
	Foothills Green Ash		Dwarf Mugo Pine
	Red Rocket Red Maple		Potentilla
	Scotch Pine		Amber Jubilee Ninebark
	Brandon Elm		Little Devil Ninebark
	Green Wall Flowering Crab		Wild Rose
	Columnar Spruce		



2 central amenity plaza - south
Scale: 1:125



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Calgary, Alberta T3H 2L2
p. 403.618.44.27
e. info@arquecos.com

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Irigation Notes

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Plant Material

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Key Plan

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Issued for: _____ Date: (yy.mm.dd)

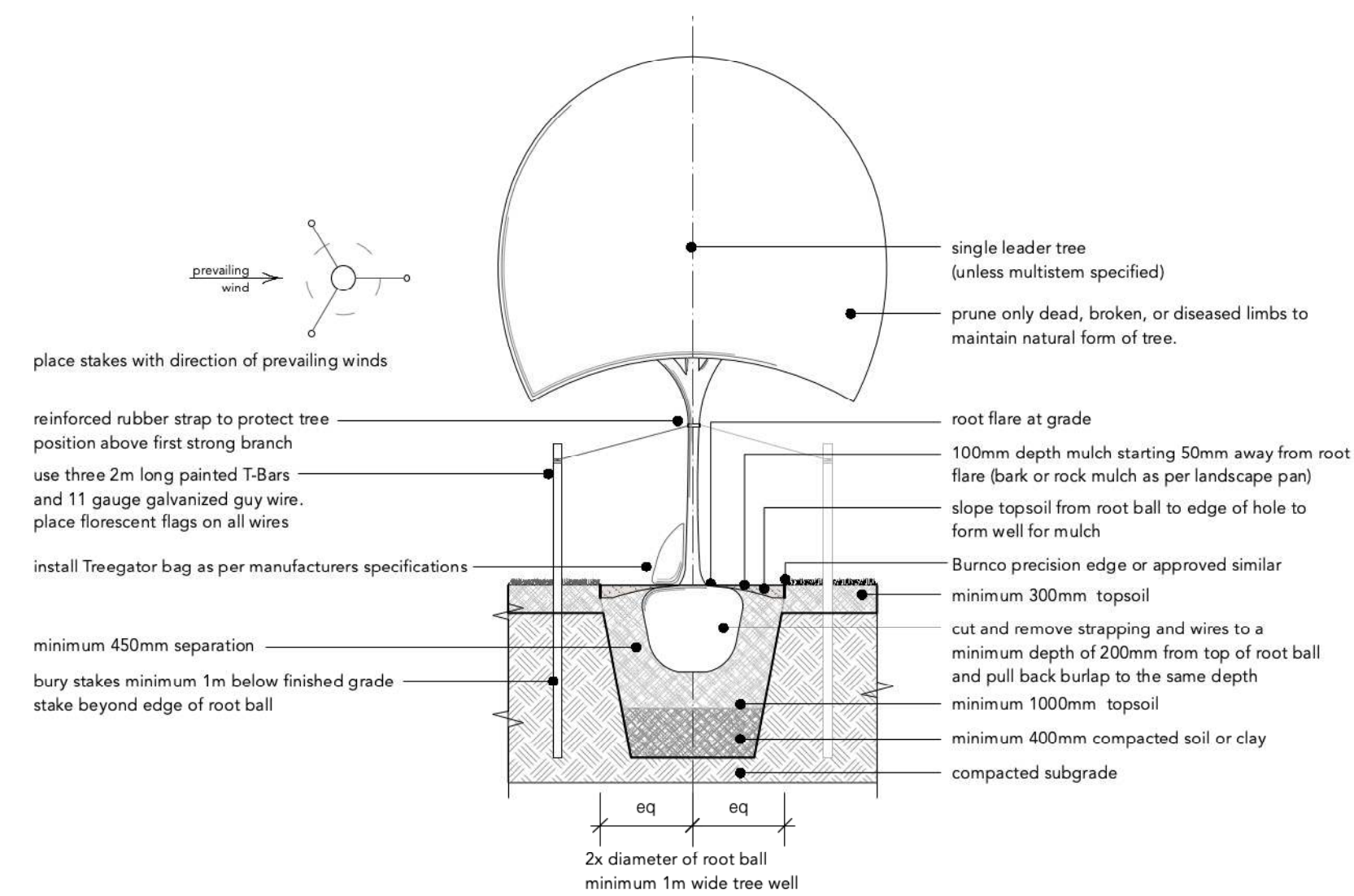
Project No. 50-001

Project Title. **Township Core Multifamily Phase 2 Calgary, A.B.**

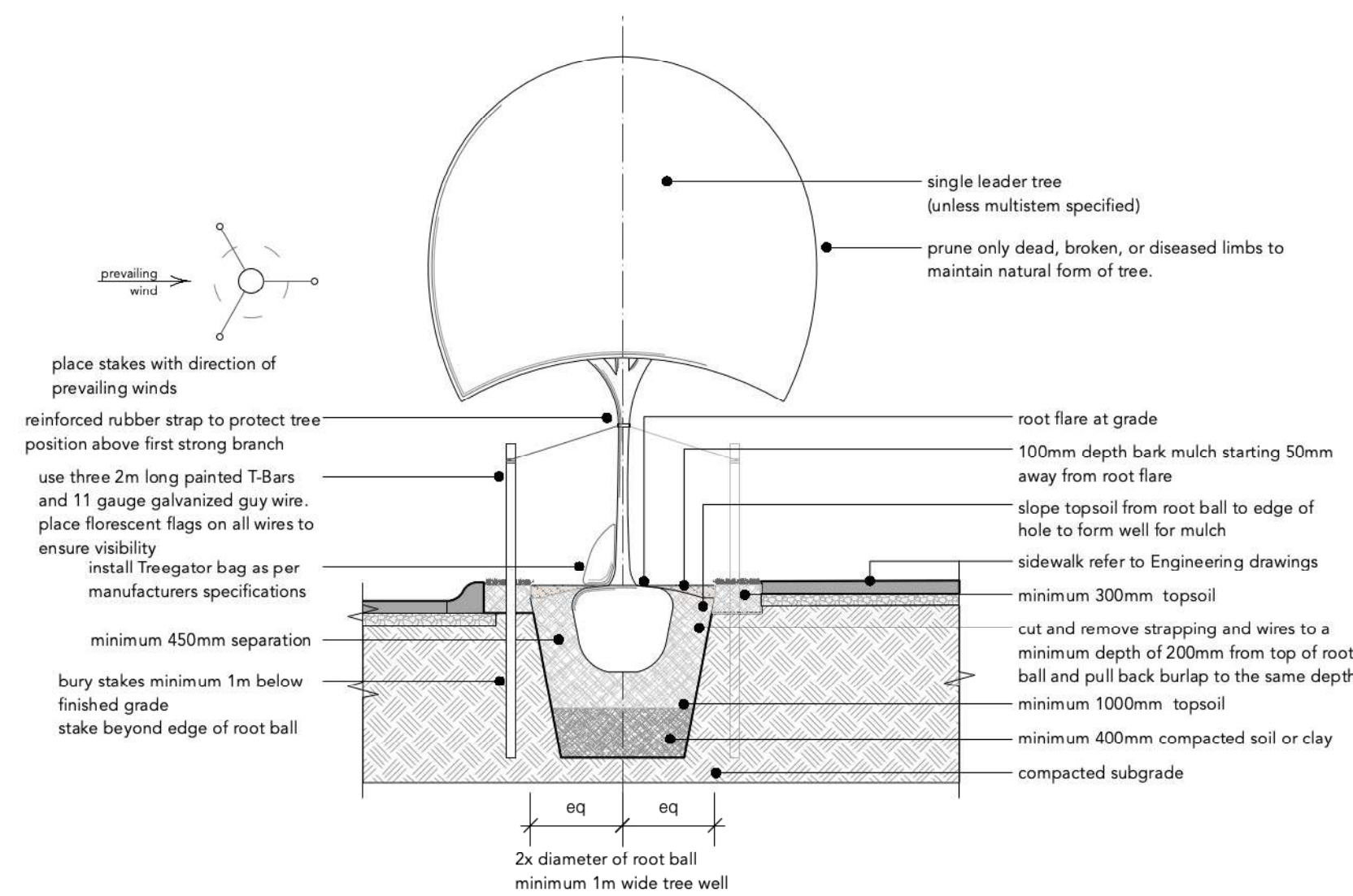
Drawing Title: **Central Amenity Area**

Drawn by: cmp	Drawing No. L-02
Checked by: cmp	

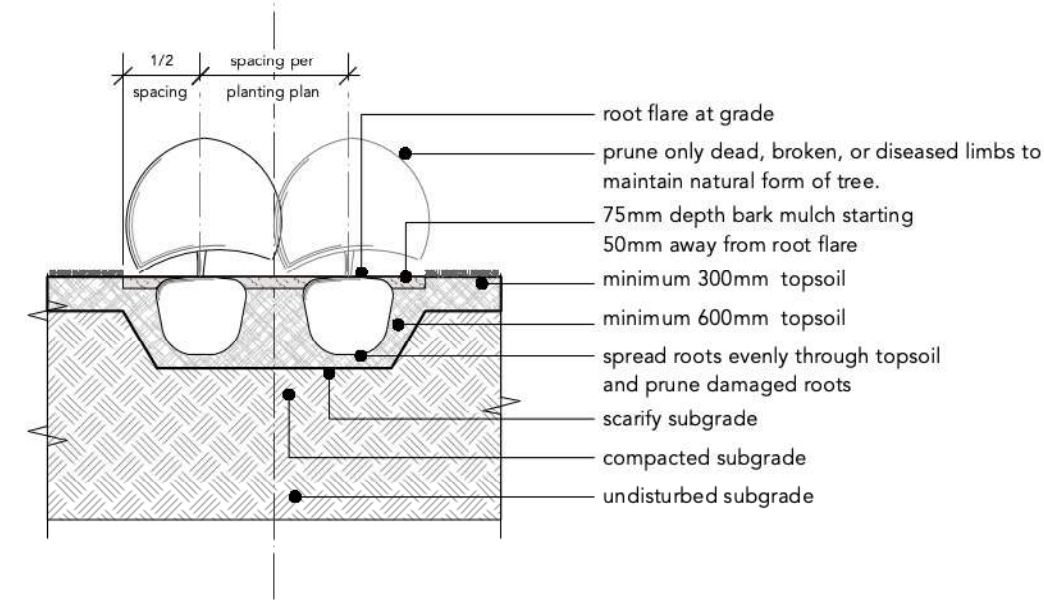
Scale: 1:125



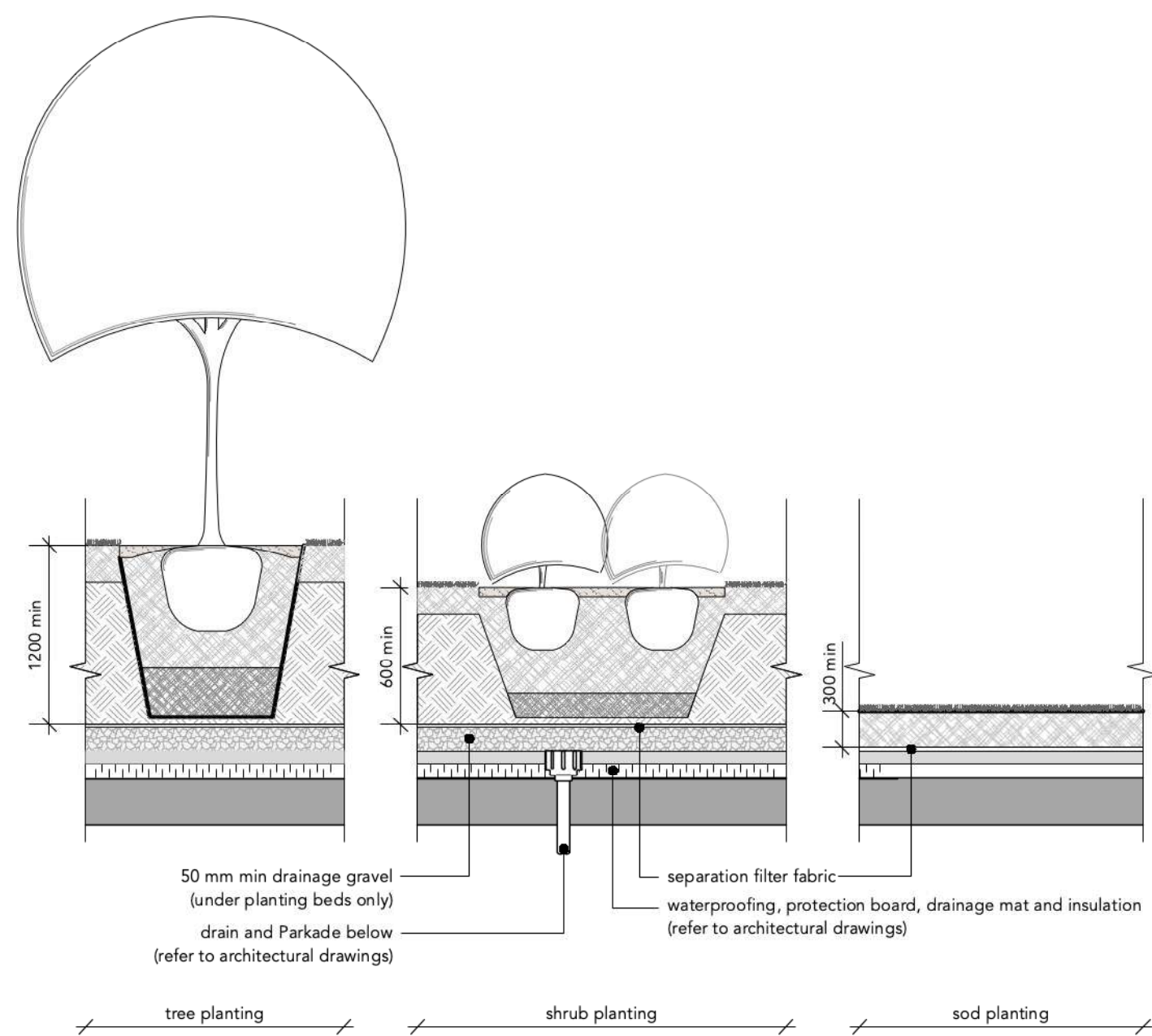
1 typical tree planting
Scale: n.t.s



2 typical tree planting at sidewalk
Scale: n.t.s



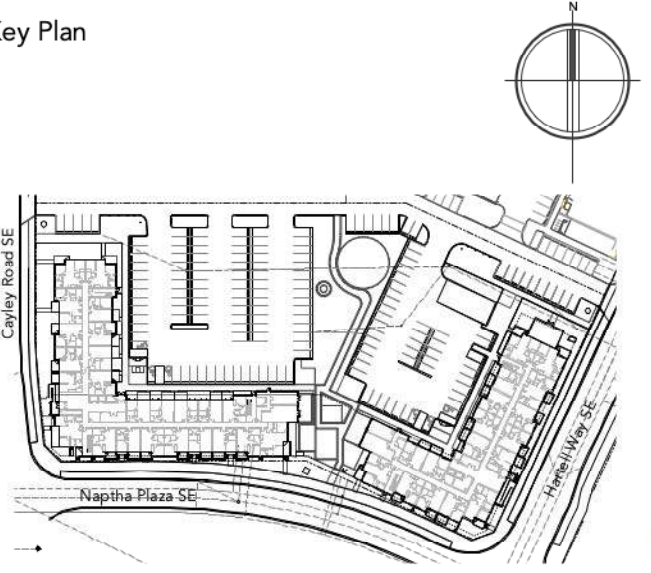
3 typical shrub planting
Scale: n.t.s



4 minimum planting depths over parkade
Scale: n.t.s.

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Issued for:		Date: (yy.mm.dd)

Project No. 50-001
Project Title:
Township Core Multifamily Phase 2
Calgary, A.B.

Drawing Title:
Typical Details

Drawn by: cmp
Checked by: cmp
Scale: as noted
Drawing No. **L-03**