

SITE PLAN

LEGEND

- ELEVATIONS ARE SHOWN THUS: * = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
- THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
- denotes Calculation points
 - ⊕ denotes Water Valve
 - ⊕ denotes Gas Valve
 - ⊕ denotes Manhole
 - ⊕ denotes Tree
 - denotes Power Pole
 - △ denotes Sign
 - ☀ denotes Light Standard
 - X-X- denotes Fence
 - S-S- denotes Sanitary Line
 - ST-ST- denotes Storm Line
 - W-W- denotes Water Line
 - G-G- denotes Gas Line
 - E-E- denotes Electrical Line
 - A.G.T-A.G.T- denotes A.G.T Line
 - U-U- denotes Utility Right of Way Line
 - P-P- denotes Property Line
 - ⊕ denotes Door
 - ⊕ denotes Main Floor Windows
 - ⊕ denotes Second Floor Windows
 - ⊕ denotes Basement Floor Windows
 - ⊕ denotes Shed Hatch
 - ⊕ denotes Detached Garage Hatch
 - ⊕ denotes Main Building Hatch
 - ⊕ denotes Concrete and Asphalt Hatch
 - ⊕ denotes Wood Hatch

- 'Cant.' denotes Cantilevers
- 'Enc.' denotes Encroach(es)
- 'BW' denotes Back of Walkway
- 'BOW' denotes Bottom of Wall
- 'Conc.' denotes Concrete
- 'Ret.' denotes Retaining
- 'BC' denotes Back of Curb
- 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
 Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lots 26 & 27
 Block 5
 Plan 3681V

MUNICIPAL ADDRESS:

942 42 ST. S.W.
 Calgary, Alberta

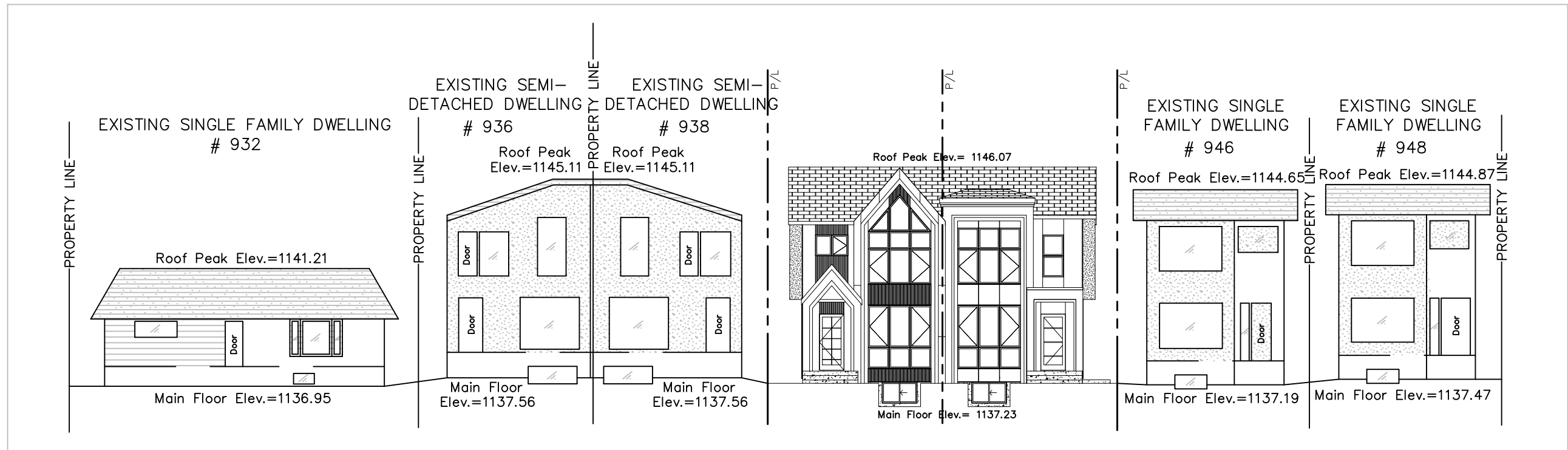
LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)	LOT COVERAGE DETAIL: (UNIT #1)	LOT COVERAGE DETAIL: (UNIT #2)
LOT SIZE: 580.204 SQ M HOUSE SIZE: 178.962 SQ M COVERED PORCH: 3.252 SQ M CANT.: 0.00 SQ M GARAGE: 74.322 SQ M WING WALL: 0.387 SQ M	LOT SIZE: 290.087 SQ M HOUSE SIZE: 89.481 SQ M COVERED PORCH: 1.626 SQ M CANT.: 0.000 SQ M GARAGE: 37.161 SQ M WING WALL: 0.1935 SQ M	LOT SIZE: 290.117 SQ M HOUSE SIZE: 89.481 SQ M COVERED PORCH: 1.626 SQ M CANT.: 0.00 SQ M GARAGE: 37.161 SQ M WING WALL: 0.1935 SQ M
= 256.923/580.204 = 44.30%	= 128.4615/290.087 = 44.30%	= 128.4615/290.117 = 44.30%

SITE PLAN/BLOCK PLAN

SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	04/11/2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
942 42 ST. S.W. Calgary, Alberta Lot 26 & 27 Block 5 Plan 3681V	SEMI-DETACHED	1:200
	DATE:	DIVISION NUMBER:
	Nov. 04, 2025	S 01



Tree Schedule

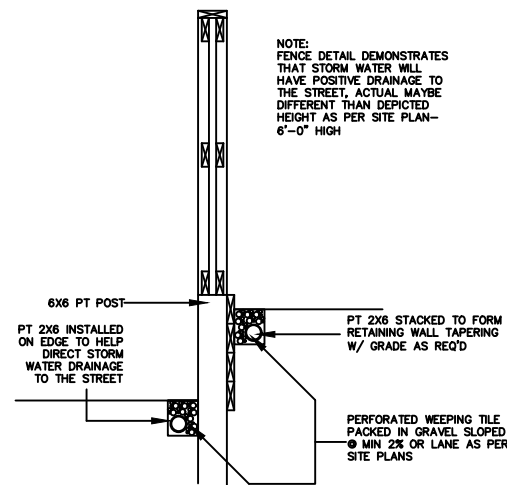
Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height	Disposition
1	Deciduous	0.30	5.50	10.00	To Be Removed
2	Deciduous	0.15	1.50	6.00	To Be Removed
3	Deciduous	0.45	6.00	15.00	To Be Removed
4	Deciduous	0.10	2.00	6.00	To Be Removed
5	Coniferous	0.55	6.00	14.00	To Be Removed
6	Deciduous	0.30	2.00	5.50	To Be Removed

SEMI-DETACHED SQFT.

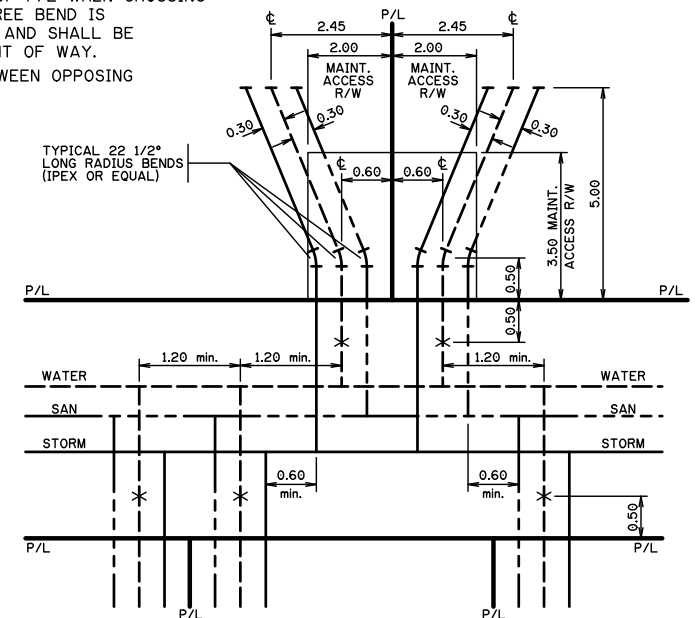
	UNIT #1	UNIT #2
GARAGE	400.00 SQ FT	400.00 SQ FT
BASEMENT	980.67 SQ FT	980.67 SQ FT
MAIN FLOOR	963.17 SQ FT	963.17 SQ FT
UPPER FLOOR	1073.67 SQ FT	1073.67 SQ FT
TOTAL AREA	2036.84 SQ FT	2036.84 SQ FT

NOTES:

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



FENCE SECTION DETAIL
SCALE: NTS



TRENCH DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	04/11/2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

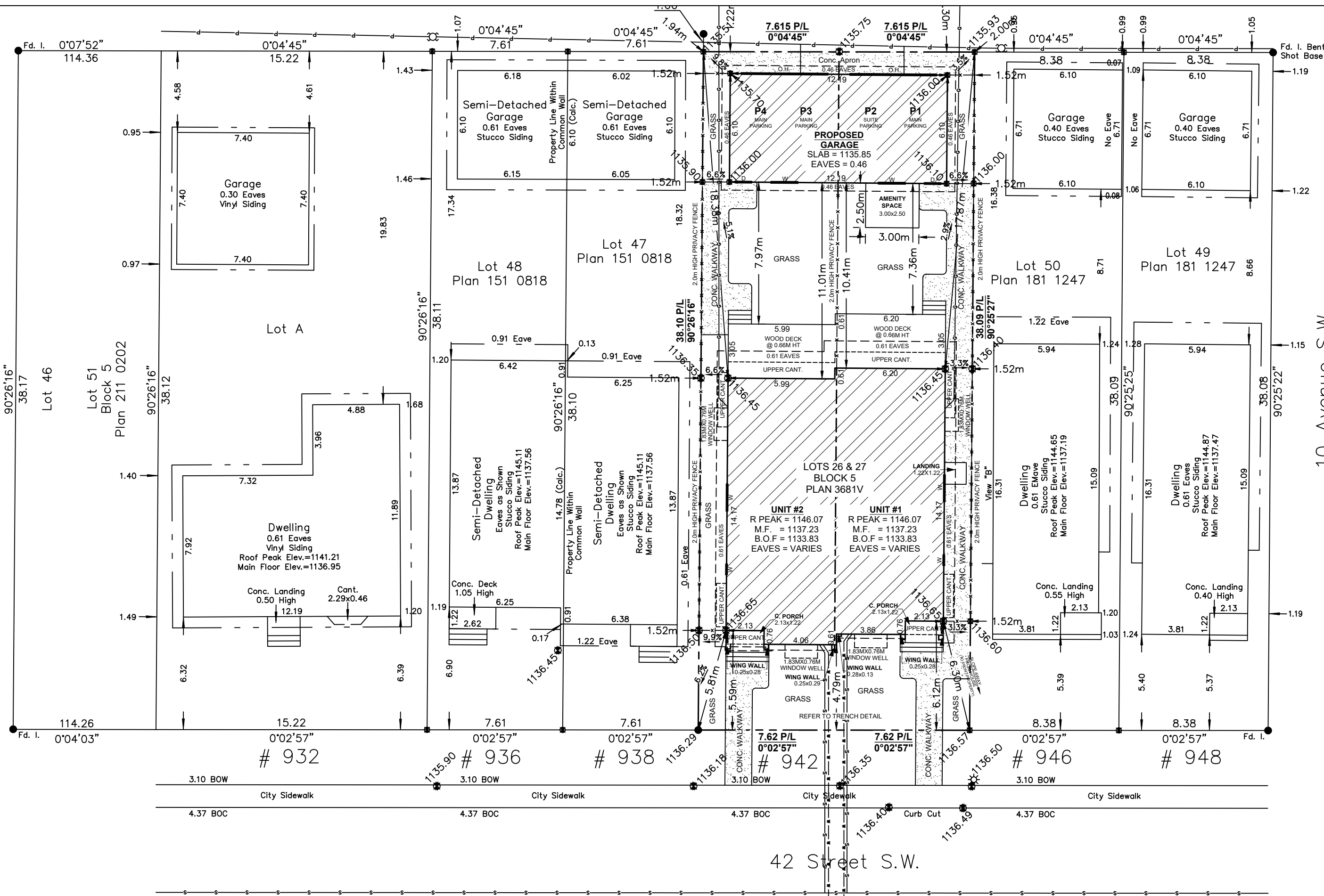
PROJECT NAME AND ADDRESS:
942 42 ST. S.W.
Calgary, Alberta
Lot 26 & 27
Block 5
Plan 3681V

PROJECT:
SEMI-DETACHED
DATE:
Nov. 04, 2025

SCALE:
AS SHOWN
DIVISION NUMBER:
S 02

8 Avenue S.W.

10 Avenue S.W.



BLOCK PLAN
SCALE: 1:250

NO.	DATE (D/M/Y)	DETAIL	BY
01.	04/11/2025	DP SITEPLAN	K.G.
02.			
03.			
04.			

PROJECT NAME AND ADDRESS:		PROJECT:	SCALE:
942 42 ST. S.W. Calgary, Alberta		SEMI-DETACHED	1:250
Lot 26 & 27 Block 5 Plan 3681V		DATE:	DIVISION NUMBER:
		Nov. 04, 2025	S 03



PROJECT NOTES:

FLOOR AREA - UNIT #1

BASEMENT = 980.67 SQ. FT.
 MAIN = 963.17 SQ. FT.
 UPPER = 1073.67 SQ. FT.
TOTAL = 2036.84 SQ. FT.

FLOOR AREA - UNIT #2

BASEMENT = 980.67 SQ. FT.
 MAIN = 963.17 SQ. FT.
 UPPER = 1073.67 SQ. FT.
TOTAL = 2036.84 SQ. FT.

DO NOT SCALE DRAWINGS.
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ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/11/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Section



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
 X _____

PRINTED: 11/13/2025 10:33:36 AM

PROJECT NAME:
 942 42 ST. S.W.
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 388-25

SCALE: AS SHOWN SHEET: A-0.0

EXTERIOR FINISHES:

- | | | | |
|---|-------------------------|---|-----------------------------------|
| 1 | ASPHALT SHINGLES | 5 | SMOOTH STUCCO - DARK GREY / BLACK |
| 2 | 6" ALUMNIMUM FASCIA | 6 | SMOOTH STUCCO - WHITE |
| 3 | STUCCO FINISHES - WHITE | 7 | CONC. PARGING |
| 4 | WOOD SLAT | 8 | CAST IN PLACE CONCRETE |

NOTE*

-SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED TO ACCOMMODATE CUSTOM WINDOWS

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/11/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
 X _____

PRINTED: 11/13/2025 10:33:43 AM

PROJECT NAME:
 942 42 ST. S.W.
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 388-25

SCALE: AS SHOWN SHEET: A-2.0



FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | |
|---------------------------|-------------------------------------|
| 1 ASPHALT SHINGLES | 5 SMOOTH STUCCO - DARK GREY / BLACK |
| 2 6" ALUMNIMUM FASCIA | 6 SMOOTH STUCCO - WHITE |
| 3 STUCCO FINISHES - WHITE | 7 CONC. PARGING |
| 4 WOOD SLAT | 8 CAST IN PLACE CONCRETE |

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/11/2025	DP PLANS	K.G.
02.	--	--	--
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PROJECT: SEMI DETACHED

STATUS: -

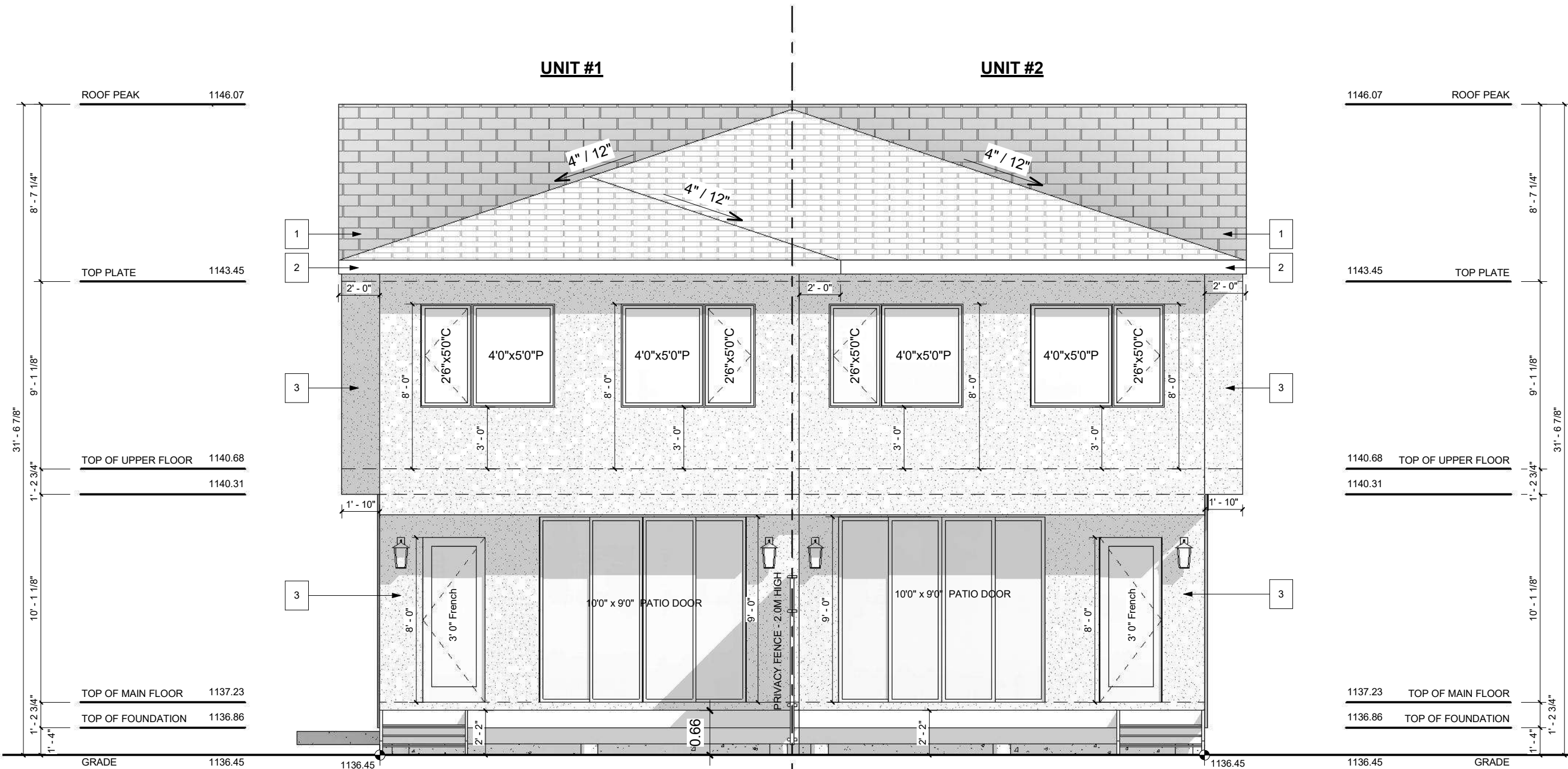
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PRINTED: 11/13/2025 10:33:45 AM

PROJECT NAME:
942 42 ST. S.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 388-25

SCALE: AS SHOWN SHEET: A-2.1



REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | | | |
|---|-------------------------|---|-----------------------------------|
| 1 | ASPHALT SHINGLES | 5 | SMOOTH STUCCO - DARK GREY / BLACK |
| 2 | 6" ALUMNIMUM FASCIA | 6 | SMOOTH STUCCO - WHITE |
| 3 | STUCCO FINISHES - WHITE | 7 | CONC. PARGING |
| 4 | WOOD SLAT | 8 | CAST IN PLACE CONCRETE |

WINDOW CALCULATION
 WALL AREA= 1100.34 SQ. FT.
 WINDOW AREA = 57.75 SQ. FT.
 TOTAL: 57.75 / 1100.34 = 5.25%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/11/2025	DP PLANS	K.G.
02.	--	--	--
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PROJECT: **SEMI DETACHED**

STATUS: -

SIGNATURES:
 X _____

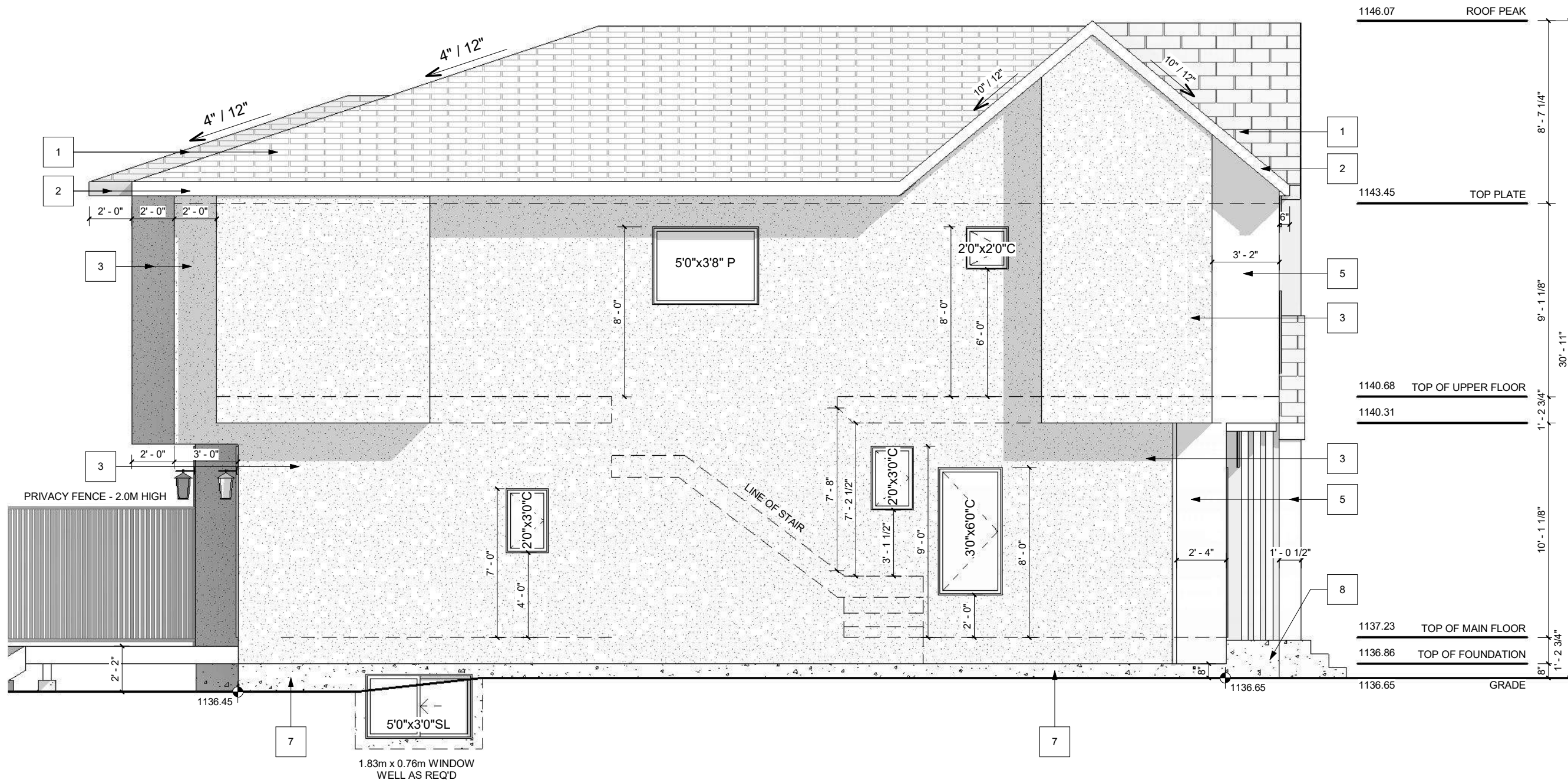
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PROJECT NAME:
 942 42 ST. S.W.
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 388-25

SCALE: AS SHOWN SHEET: A-2.2

UNIT #2



LEFT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- | | |
|---------------------------|-------------------------------------|
| 1 ASPHALT SHINGLES | 5 SMOOTH STUCCO - DARK GREY / BLACK |
| 2 6" ALUMNIMUM FASCIA | 6 SMOOTH STUCCO - WHITE |
| 3 STUCCO FINISHES - WHITE | 7 CONC. PARGING |
| 4 WOOD SLAT | 8 CAST IN PLACE CONCRETE |

WINDOW CALCULATION
 WALL AREA= 1097.37 SQ. FT.
 WINDOW AREA = 57.75 SQ. FT.
 TOTAL: 57.75 / 1097.37 = 5.26%

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

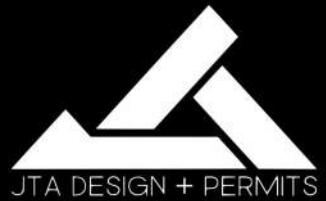
PROJECT NOTES:

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02.	--	--	--
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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
 X _____

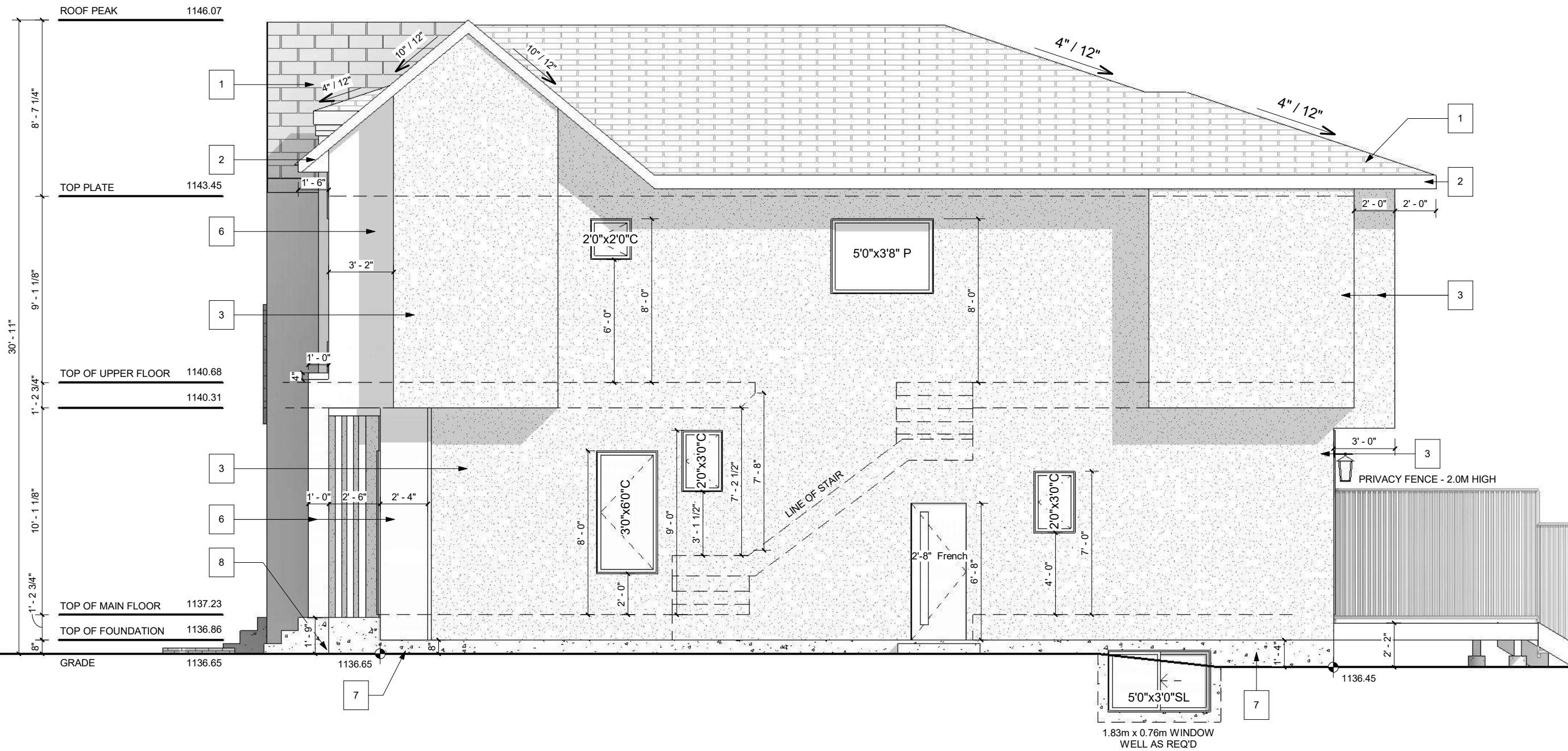
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PROJECT NAME:
 942 42 ST. S.W.
 CALGARY, ALBERTA

DESIGNER: JT JOB #: 388-25

SCALE: AS SHOWN SHEET: A-2.3

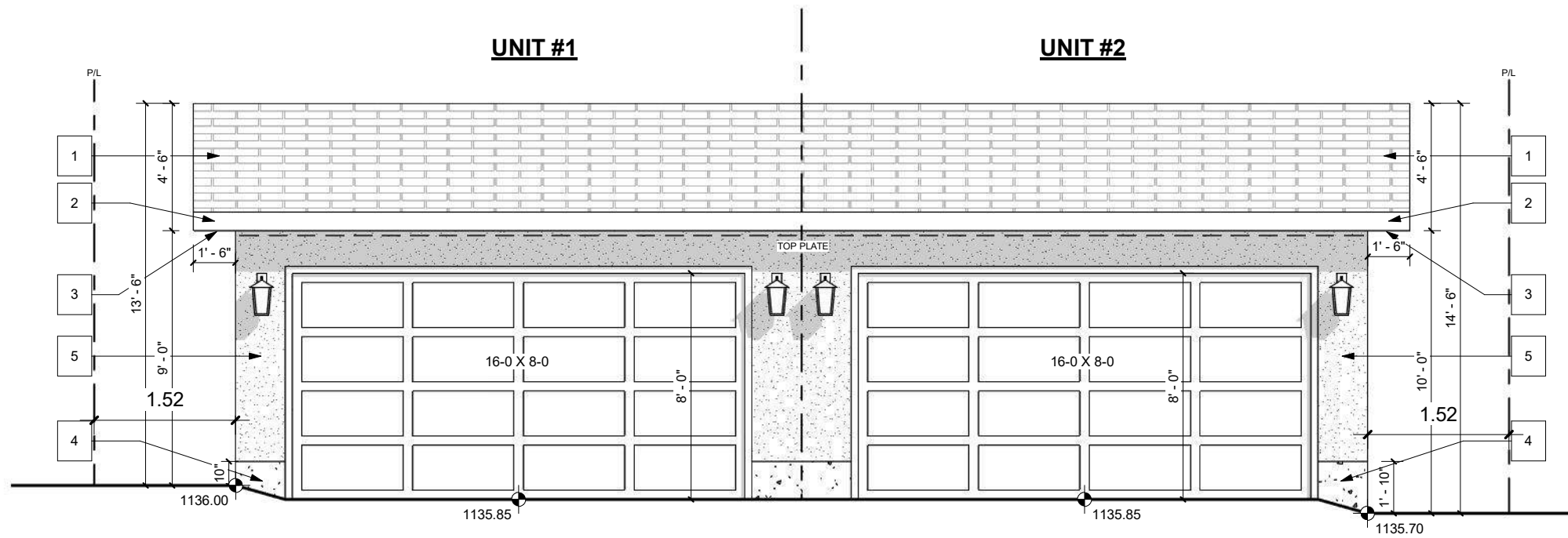
UNIT #1



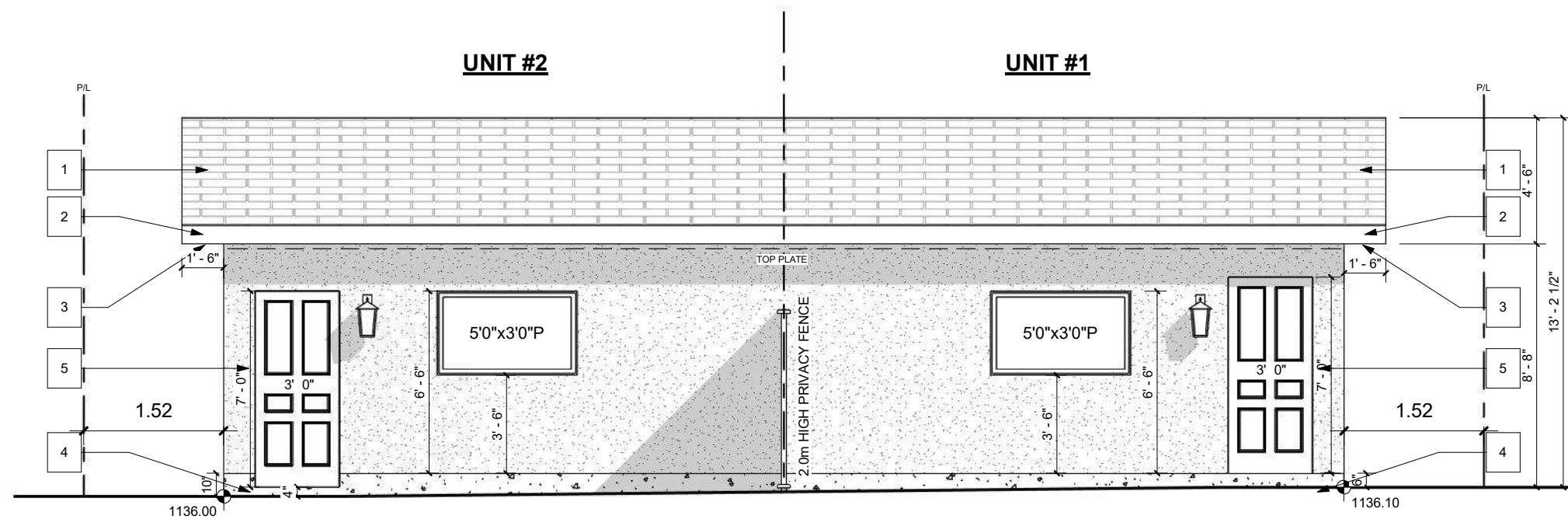
RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 STUCCO FINISH



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 11/13/2025 10:33:49 AM

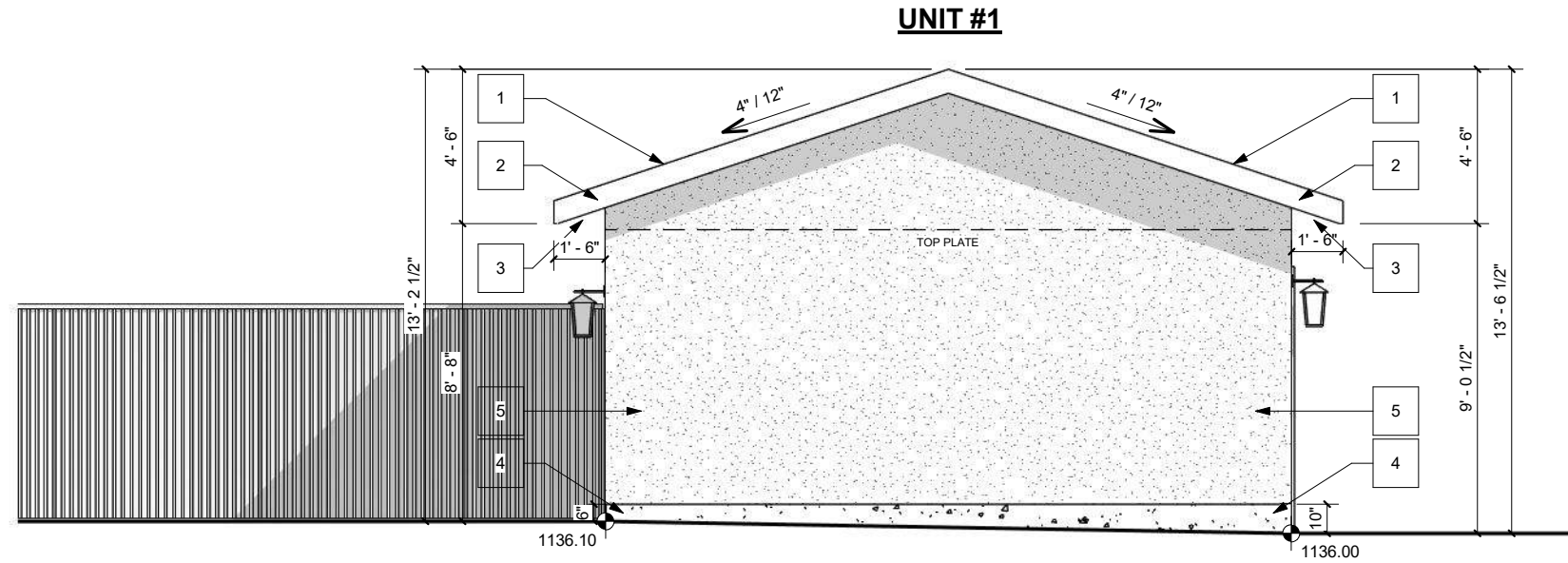
PROJECT NAME:
942 42 ST. S.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 388-25

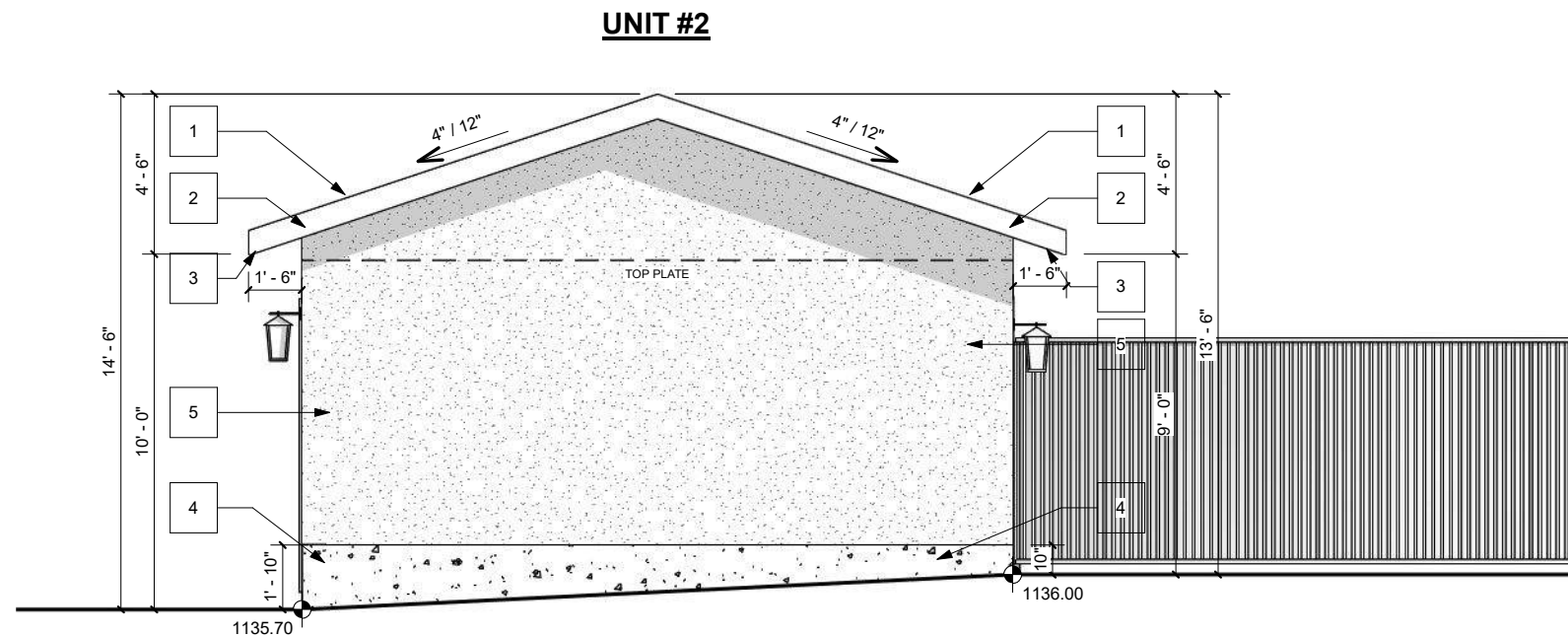
SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMNIMUM FASCIA
- 3 ALUMINUM EAVE'S
- 4 CONC. PARGING
- 5 STUCCO FINISH



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/11/2025	DP PLANS	K.G.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

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PROJECT NAME:
942 42 ST. S.W.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 388-25

SCALE: AS SHOWN SHEET: A-3.2