

# WCP BOWNESS

ISSUED FOR DR1  
2026.05.06

PROJECT NUMBER:  
**25.030.WCP\_6108**

PARCEL ADDRESS:  
LEGAL: LOT 13,14,&15, BLOCK 18, PLAN 4610AJ  
MUNICIPAL: 6108-6110 33 AVENUE NW  
CALGARY, AB

DP REFERENCE:

## DRAWING LISTS

### INDEX: CIVIL

ABILEE  
3702 EDMONTON TRAIL NE, CALGARY, AB T2E 3P4  
403-276-1001  
SP1 SITE SERVICING PLAN  
SP2 SITE GRADING PLAN

### INDEX: ARCHITECTURE

FAAS  
303 - 1812 4 ST SW, CALGARY, AB T2S 1W1

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DP.102 SITE DETAILS  
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### INDEX: LANDSCAPE

ARQUEJOS GROUP LTD.  
8 - 131 VILLAGE HEIGHTS SW, CALGARY, AB T3H 2L2  
403.818.4427  
L-0 OVERALL LANDSCAPE PLAN  
L-1 LANDSCAPE PLANS  
L-2 LANDSCAPE PLANS  
L-3 DETAILS AND FURNISHINGS

## BUILDING INFORMATION

### ADDRESSING:

LEGAL: LOT 13,14,&15, BLOCK 18, PLAN 4610AJ  
MUNICIPAL: 6108-6110 33 AVENUE NW  
CALGARY, AB  
COMMUNITY: BOWNESS  
ZONING: MU-1 G, 9h, 22

### SETBACKS:

	PERMITTED	PROPOSED	ADJACENT PROPERTY ZONE
NORTH (LANE)	1.4m	1.4m	MC-1 (REAR)
EAST (BOWNESS ROAD)	5.18m	5.18m	BOWNESS ROAD NW (SIDE)
SOUTH (33 AVE)	N/A	0.6m	SC-1 (FRONT)
WEST (M-C1)	N/A	0.6m	MC-1 (SIDE)

### PARCEL COVERAGE:

SITE AREA: 2005.8m<sup>2</sup> (21590sqft) (0.2ha)  
BUILDING FOOTPRINT: 996.61m<sup>2</sup> (10727.51sqft)  
COVERAGE: 49.68%

### FLOOR AREA RATIO:

MAXIMUM: 3.0  
PROPOSED: 2.91

### BUILDING AREA:

LEVEL	AREA (sq.m.)	AREA (sq.ft.)
PARKADE LEVEL P1	1459.95 m <sup>2</sup>	15714.72 ft <sup>2</sup>
PARKADE LEVEL P2	1459.95 m <sup>2</sup>	15714.72 ft <sup>2</sup>
TOTAL:	2919.89 m <sup>2</sup>	31429.44 ft <sup>2</sup>
LEVEL 1	988.05 m <sup>2</sup>	10635.27 ft <sup>2</sup>
LEVEL 2	1017.93 m <sup>2</sup>	10956.86 ft <sup>2</sup>
LEVEL 3	1009.42 m <sup>2</sup>	10865.29 ft <sup>2</sup>
LEVEL 4	979.80 m <sup>2</sup>	10546.45 ft <sup>2</sup>
LEVEL 5	966.19 m <sup>2</sup>	10399.99 ft <sup>2</sup>
LEVEL 6	888.37 m <sup>2</sup>	9562.38 ft <sup>2</sup>
TOTAL:	5849.75 m <sup>2</sup>	62966.23 ft <sup>2</sup>

### BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT: 22.0m 72' 2"  
ABOVE GRADE: 6 STOREYS  
BELOW GRADE: 1.5 STOREY STORAGE GARAGE

### DENSITY:

MAXIMUM ALLOWED: N/A  
PROPOSED DENSITY: 345 UNITS/ha  
TOTAL PROPOSED UNITS: 69 UNITS

### VEHICULAR PARKING CALCULATIONS:

MIN. 0.75 RESIDENT STALLS / RESIDENCE UNIT  
MIN. 0.1 VISITOR STALLS / RESIDENCE UNIT  
MIN. 1.0 LOADING STALLS

	RESIDENTIAL	VISITOR	TOTAL
REQUIRED STALLS	52	7	59
PROPOSED	68	7	75

NUMBER OF DESIGNATED BARRIER FREE STALLS = 4 REQUIRED  
4 PROPOSED

### BICYCLE PARKING:

MIN. 0.5 CLASS I BICYCLE STALLS / UNIT = 35 STALLS REQUIRED  
42 PROPOSED  
MIN. 0.1 CLASS II BICYCLE STALLS / UNIT = 7 STALLS REQUIRED  
8 PROPOSED

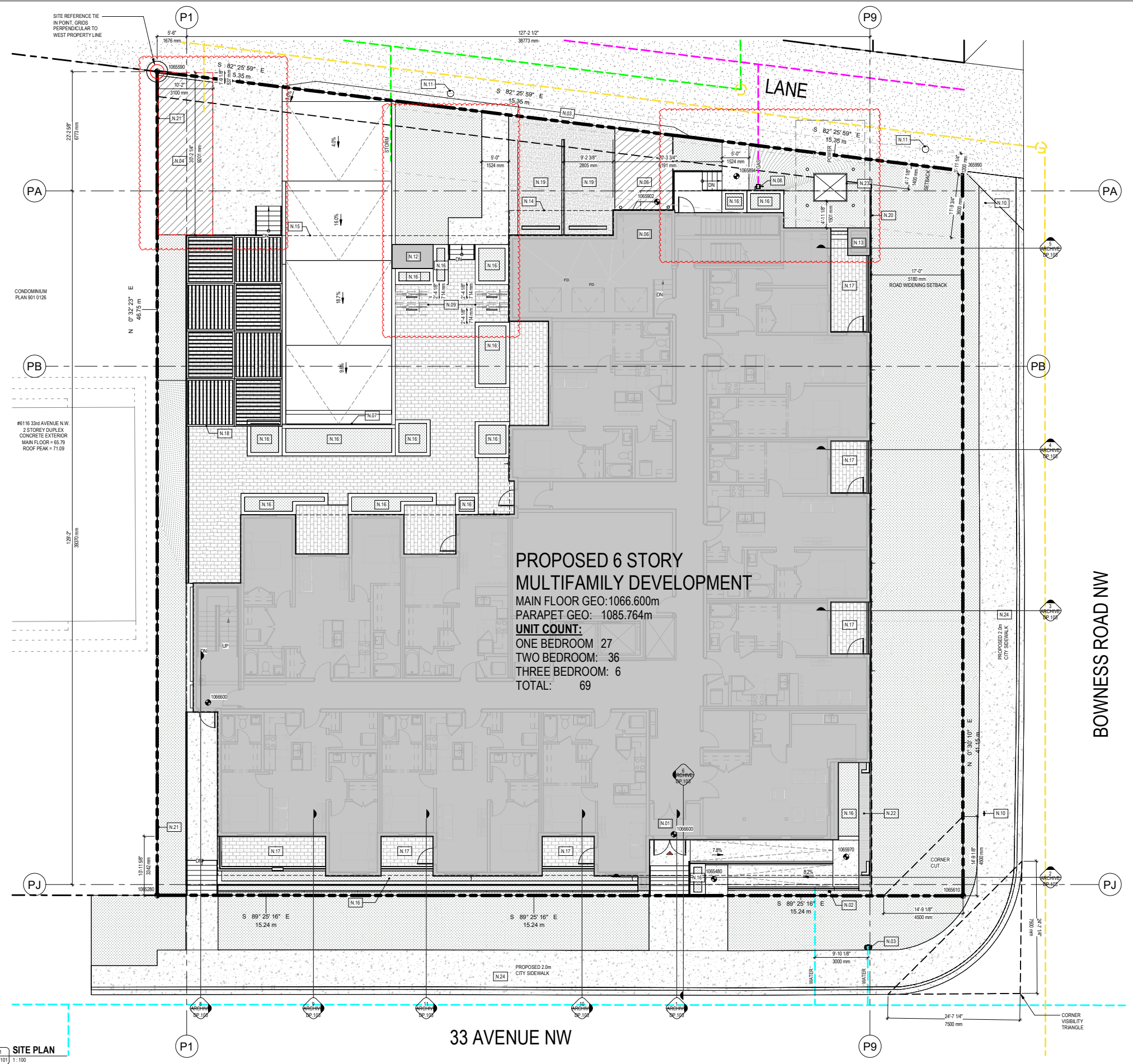
### AMENITY SPACE:

PRIVATE:  
MINIMUM REQUIRED: 5.0m<sup>2</sup>/unit = 345m<sup>2</sup>  
PROPOSED: 5.0m<sup>2</sup>/unit = 345m<sup>2</sup>

PUBLIC:  
AT-GRADE SHARED COURTYARD 140m<sup>2</sup>  
-1st FLOOR SHARED AMENITY 48.26m<sup>2</sup>



ARTISTIC RENDER — FOR REFERENCE ONLY



- GENERAL NOTES**
- REFER TO GEOTECHNICAL REPORT FOR SURFACE AND SUBSURFACE REQUIREMENTS.
  - REFER TO CIVIL FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO, EXISTING CONDITIONS AND SERVICES, CATCH BASINS, MANHOLES, GRADES, UPSTAND WALLS, SITE SERVICES, & FIRE HYDRANTS.
  - REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.
  - REFER TO SURVEY PLANS FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
  - REFER TO ELECTRICAL FOR SITE WORK AND DETAILS INCLUDING BUT NOT LIMITED TO, TRANSFORMER LOCATIONS, LIGHTING LAYOUT, FIXTURE TYPES & SECURITY.
  - REFER TO LANDSCAPE FOR CONTROL JOINTS.
  - BUILDING LOCATION (E-N) REFERENCE POINT IS LOCATED ON THE NORTH WEST CORNER PROPERTY LINE INTERSECTION AS NOTED.
  - ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE, PARONS, AND PAVED LANE ARE TO BE COMPLETED AT THE OWNERS EXPENSE.
  - PARKING RAMP WILL BE HEATED.

- SYMBOL LEGEND**
- BUILDING FOOTPRINT
  - GREY CONCRETE - BROOM FINISH
  - SOFT SCARPING - REFER TO LANDSCAPE
  - CONCRETE PAVERS - REFER TO LANDSCAPE
  - 4" WIDE PAINTED LINES
  - SURFACE PARKING
  - OVERHEAD SETBACK
  - PROPERTY LINE
  - SETBACK LINE
  - OUTLINE PARKADE BELOW
  - WATER LINE
  - SANITARY LINE
  - STORM LINE
  - POWER LINE
  - GAS LINE
  - PRIMARY ENTRANCE

- SHEET NOTES**
- FIRE DEPARTMENT LOCK BOX AND FIRE ALARM PANEL LOCATED AT ENTRY VESTIBULE.
  - PROPOSED FIRE DEPARTMENT CONNECTION - SHAMESE REFER TO CIVIL DRAWINGS
  - EXISTING FIRE HYDRANT - REFER TO CIVIL DRAWINGS
  - PROPOSED TIMED LOADING STALL
  - MAINTAIN LEVEL TRANSITION ACROSS LANE TO RAMP ENTRANCE, WALK STAGING, SURFACE PARKING AND LOADING ZONE.
  - PROPOSED WASTE AND RECYCLING ROOM AND STAGING AREA
  - PROPOSED PARKADE ENTRY SIGN
  - PROPOSED GAS METER LOCATION
  - CLASS II BIKE RACKS - TOTAL CAPACITY = 8
  - EXISTING SIGN TO REMAIN
  - EXISTING POWER POLE
  - PROPOSED PARKADE EXHAUST
  - PROPOSED PARKADE INTAKE
  - LINE OF FLOOR ABOVE
  - LINE OF PARKADE BELOW
  - PROPOSED RAISED PLANTER
  - PROPOSED BYLAW COMPLIANT UNIT BALCONY
  - PROPOSED TRELLIS - REFER TO LANDSCAPE
  - PROPOSED VISITOR STALL WITH SIGNAGE
  - ROAD WIDENING SETBACK
  - PROPOSED 6" HIGH FENCE
  - PROPOSED BENCH
  - PROPOSED TRANSFORMER
  - REMOVAL AND REPLACEMENT OF SIDEWALKS

**RELEASES**

NO	DESCRIPTION	DATE
DP 1	DP DRAFT	2025.09.12
DP 2	DP	2025.11.13
DP 3	DP1	2026.05.08

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME  
**WCP BOWNESS**

MUNICIPAL ADDRESS  
8108-8118 33 AVENUE NW  
CALGARY, AB

LEGAL ADDRESS  
LOT 13, 14 & 15, BLOCK 18, PLAN 4810AJ

PROJECT NUMBER  
25.836.WCP\_8108

DRAWN  
652

DATE  
2025.05.08

OVERSIGHT TITLE  
**OVERALL SITE PLAN**

DRAWING NUMBER  
**DP.101**

SCALE  
1:100

DATE  
2025.05.08

SCALE  
1:100

DATE  
2025.05.08

SCALE  
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DATE  
2025.05.08

SCALE  
1:100



FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



1 SOUTH ELEVATION  
DP.601 1/8" = 1'-0"

- SHEET NOTES**
- N.01 ELEVATOR SHAFT
  - N.02 PROPOSED GAS METER
  - N.03 GRADE AT PROPERTY LINE
  - N.04 PROPOSED TRANSFORMER
  - N.05 PROPOSED FIRE DEPARTMENT CONNECTION
  - N.06 PROPOSED PLANTER
  - N.07 PARKADE ENTRANCE
  - N.08 PROPOSED CLASS I BIKE STALLS
  - N.09 EXISTING FIRE HYDRANT
  - N.10 6'-0" MECHANICAL SCREENING
  - N.11 PRIVACY SCREEN
  - N.12 PROPOSED SIGNAGE
  - N.13 PROPOSED TRELLIS
  - N.14 PROPOSED LED LIGHT STRIP
  - N.15 MESH SCREENING

- FINISH MATERIAL LEGEND**
- M-METAL SIDING
  - B.1 HARDFEEL VERTICAL ARTISAN, COLOUR: WOOD TONE
  - B.2 HARDFEEL VERTICAL ARTISAN, COLOUR: WOOD TONE
  - B.1 HARDFEEL VERTICAL ARTISAN, COLOUR: WOOD TONE
  - B.2 HARDFEEL VERTICAL ARTISAN, COLOUR: WOOD TONE
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  - B.100 HARDFEEL VERTICAL ARTISAN, COLOUR: WOOD TONE



3 EAST ELEVATION  
DP.601 1/8" = 1'-0"

NO	DESCRIPTION	DATE
DP.1	DP DRAFT	2025.09.12
DP.2	DP	2025.11.13
DP.3	DR1	2026.05.08

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME  
**WCP BOWNESS**

MUNICIPAL ADDRESS  
8108-8119 23 AVENUE NW  
CALGARY, AB

LEGAL ADDRESS  
LOT 13,14&15, BLOCK 18, PLAN  
4810AJ

PROJECT NUMBER  
25.838.WCP\_6108

DRAWN  
652

DATE  
2026.05.08

DRAWING TITLE  
**ELEVATIONS**

DRAWING NUMBER  
**DP.601**

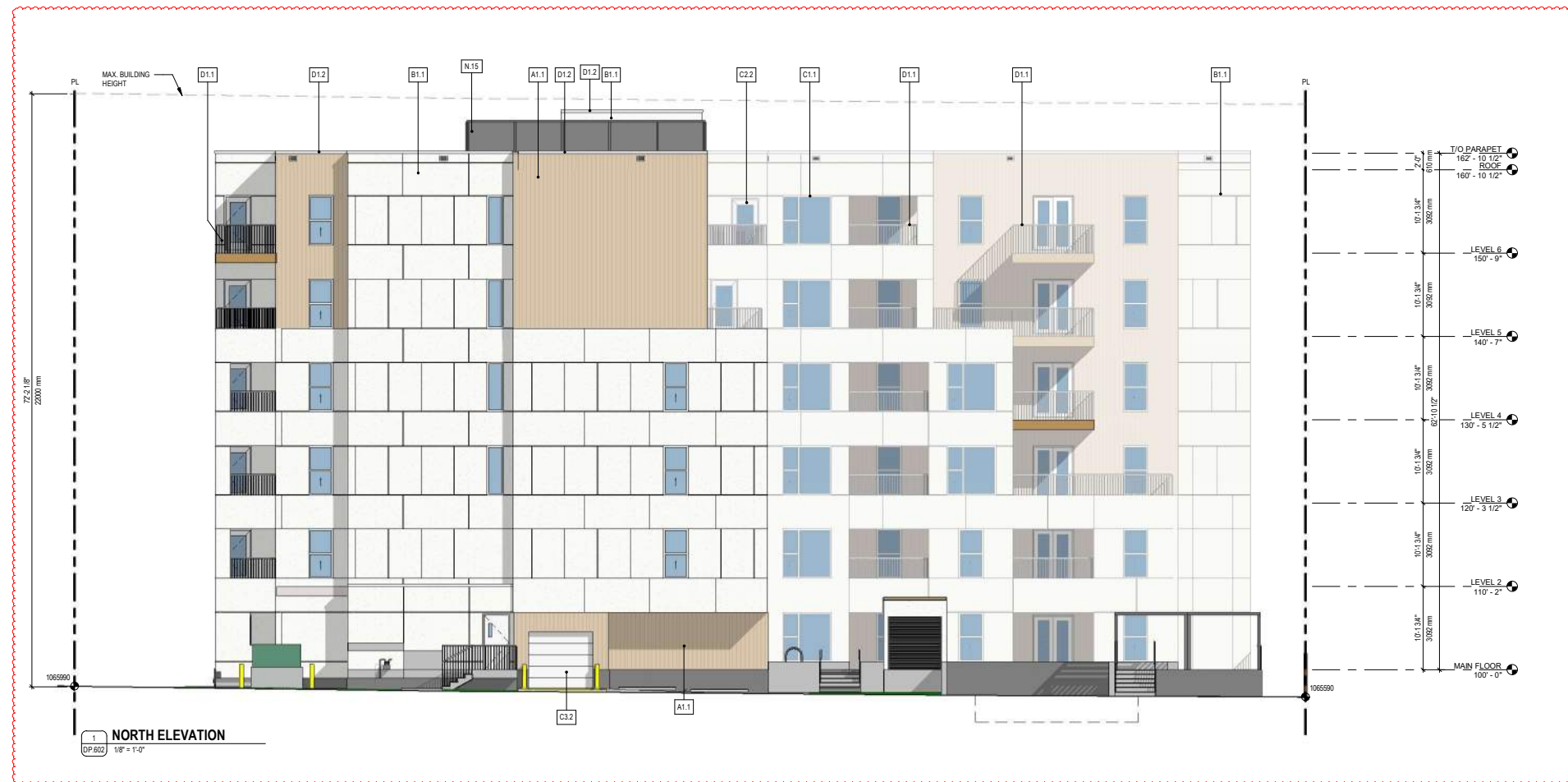
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PLOT DATE: 2026.05.08 12:58:59 PM



FORMED ALLIANCE ARCHITECTURE STUDIO

SCALE

FOR REFERENCE ONLY - NOT FOR CONSTRUCTION



1 NORTH ELEVATION  
DP.602  
1/8" = 1'-0"

- SHEET NOTES
- N.01 ELEVATOR SHAFT
  - N.02 PROPOSED GAS METER
  - N.03 GRADE AT PROPERTY LINE
  - N.04 PROPOSED TRANSFORMER
  - N.05 PROPOSED FIRE DEPARTMENT CONNECTION
  - N.06 PROPOSED PLANTER
  - N.07 PARKADE ENTRANCE
  - N.08 PROPOSED CLASS I BIKE STALLS
  - N.09 EXISTING FIRE HYDRANT
  - N.10 8'-0" MECHANICAL SCREENING
  - N.11 PRIVACY SCREEN
  - N.12 PROPOSED SIGNAGE
  - N.13 PROPOSED TRELLIS
  - N.14 PROPOSED LED LIGHT STRIP
  - N.15 MESH SCREENING

- FINISH MATERIAL LEGEND
- A - METAL SIDING
    - A1.1 HARDIE VERTICAL ARTISAN, COLOUR: WOOD TONE
  - B - HARDIE
    - B1.1 HARDIE PANEL COLOUR: ARTIC WHITE
    - B1.2 HARDIE PANEL COLOUR: ORANGE TO BE PAINTED
    - B1.3 HARDIE PANEL COLOUR: KHAKI BROWN
  - C - WINDOWS AND DOORS
    - C1.1 METAL CLAD WINDOW, COLOUR: WHITE
    - C2.1 BALCONY SWING DOOR, COLOUR: WHITE
    - C2.2 BALCONY SLIDING DOOR, COLOUR: WHITE
    - C3.1 INSULATED HOLLOW METAL DOOR, COLOUR: WHITE
    - C3.2 OVERHEAD DOOR, COLOUR: WHITE
  - D - METAL
    - D1.1 METAL GUARDRAILING, COLOUR: WHITE
    - D1.2 PREFINISHED METAL FLASHING, COLOUR: WHITE
  - E - BRICK
    - E.1 STONE TILE BRICK CLADDING, COLOUR: GRAY
  - H - CURTAIN WALL FRAMING
    - H1 CURTAIN WALL FRAMING SYSTEM - STANDARD CAP (CLEAR ANODIZED)
  - L - LOUVER
    - L1 PREFINISHED MECHANICAL LOUVER-GREY

NO	DESCRIPTION	DATE
DP.1	DP DRAFT	2025.09.12
DP.2	DP	2025.11.13
DP.3	DR1	2026.05.08

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME  
**WCP BOWNESS**

MUNICIPAL ADDRESS  
8108-8119 23 AVENUE NW  
CALGARY, AB

LEGAL ADDRESS  
LOT 13,14&15, BLOCK 18, PLAN  
4810AJ

PROJECT NUMBER  
25.030.WCP\_6108

DRAWN	CHECKED
ESZ	GD

DATE  
2025.05.08

SCALE  
1/8" = 1'-0"

DRAWING TITLE  
**ELEVATIONS**

DRAWING NUMBER  
**DP.602**

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2 WEST ELEVATION  
DP.602  
1/8" = 1'-0"

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COURTYARD AMENITY  
ARTISTIC RENDER — FOR REFERENCE ONLY



SCALE:  
FOR REFERENCE ONLY - NOT FOR CONSTRUCTION

RELEASES		
NO	DESCRIPTION	DATE
DP.2	DP	2025.11.13
DP.3	DR1	2025.05.06

- CONSTRUCTION
- TENDER
- BUILDING PERMIT

PROJECT NAME:  
**WCP BOWNESS**

MUNICIPAL ADDRESS:  
6108-6118 23 AVENUE NW  
CALGARY, AB

LEGAL ADDRESS:  
LOT 13, 14 & 15, BLOCK 18, PLAN  
4816AJ

PROJECT NUMBER:  
25.838.WCP\_6108

DRAWN	CHECKED
ESZ	GD
DATE	SCALE
2025.05.06	

DRAWING TITLE:  
**SUPPLEMENTAL  
RENDERS**

DRAWING NUMBER:  
**DP.608**

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PLOT DATE: 2025.07.23.09PM