

# TWO-ZERO 27

## LOT 7 BLOCK 1 PLAN 2860GR 2027 37TH STREET SW CALGARY, AB

PROJECT ISSUE DATE:

6/15/23

CURRENT REVISION DATE:

10.21.25

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MIDNIGHT  
DESIGN  
STUDIO

### BUILDING ANALYSIS:

#### BUILDING HEIGHT:

PROPOSED PEAK GEODETIC:

- WEST BUILDING = 1047.75  
- EAST BUILDING = 1045.86

#### PARCEL COVERAGE:

LOT AREA: 5,783.73 SQ. FT. (537.33m<sup>2</sup>)  
COVERAGE ALLOWED: 60% (3,470.24 SQ. FT. (322.4m<sup>2</sup>))  
FOOTPRINT COVERAGE: 3,295.04 SQ. FT. (306.12m<sup>2</sup>)  
CARPORT INCLUDED IN FOOTPRINT OF WEST BUILDING  
TOTAL COVERAGE OF DEVELOPMENT: 3,295.04 (306.12m<sup>2</sup>) 56.97%  
TOTAL LANDSCAPE COVERAGE: 2,488.69 SQ. FT. (231.2m<sup>2</sup>)

#### ZONING: RC-G

FRONT SETBACK: 3.0m (MIN.)  
REAR SETBACK: N/A  
SIDE SETBACKS: 1.2m  
HEIGHT LIMIT/HEIGHT PLANE GEODETIC: 1148.33 (14.0m)

#### SHARED AMENITY SPACE FOR BOTH BUILDINGS:

1,142.7 SQ. FT. (106.67m<sup>2</sup>)

#### TOTAL GROSS FLOOR AREA: (DETAILS BELOW)

8,650 SQ. FT. (803.5m<sup>2</sup>)  
FAR = 8,650 / 5,783.73 = 1.5

#### PARKING STALLS PROVIDED ON SITE - 6.0

DWELLING UNITS: 6  
PARKING STALL PER DWELLING UNIT: 0.65  
VISITORS STALLS PER DWELLING UNIT: 0.25  
PARKING STALLS PROVIDED: 6

### LANDSCAPE ANALYSIS:

#### REQUIRED PLANTINGS:

A MINIMUM OF 1.0 TREE AND 3.0 SHRUBS MUST BE PROVIDED FOR EACH 110m<sup>2</sup> OF PARCEL AREA  
LOT AREA: 5,783.73 SQ. FT. / 537.33m<sup>2</sup>  
TREES = 1.0 X 5.37 = 5.37  
SHRUBS = 3 X 5.37 = 16.11

#### PROPOSED PLANTING:

TREES - 8  
SHRUBS - 29

#### TOTAL LANDSCAPED AREA:

LOT AREA: 5,783.73 SQ. FT. (537.33m<sup>2</sup>)  
FOOTPRINT COVERAGE: 3,295.04 SQ. FT. (306.12m<sup>2</sup>)  
CARPORT COVERAGE: INCLUDED IN FOOTPRINT COVERAGE  
TOTAL AREA NOT LANDSCAPED: 2,488.69 (231.21m<sup>2</sup>) 39.91%

#### TOTAL LANDSCAPE: 2,488.69 SQ. FT. (231.21m<sup>2</sup>)

#### HARDSCAPE:

SWEPT CONCRETE: 1,694.7 SQ. FT. (157.44m<sup>2</sup>)

#### SOFTSCAPE:

MULCHED PLANTERS: 433.81 SQ. FT. (40.3m<sup>2</sup>)  
SOD: 185.6 SQ. FT. (17.24m<sup>2</sup>)

#### EAST BUILDING -

COMMERCIAL SPACE DEV. - 429 SQ. FT.  
MAIN FLOOR AREA - 550 SQ. FT.  
UPPER FLOOR AREA - 568 SQ. FT.  
LOFT AREA (OUTSIDE UNITS AREA) - 312 SQ. FT.  
LOFT AREA (INSIDE UNIT AREA) - 425 SQ. FT.  
TOTAL OUTSIDE UNITS AREA - 1,410 SQ. FT.  
TOTAL INSIDE UNIT AREA - 1,525 SQ. FT.

#### WEST BUILDING -

BUILDING "B" FOYER AREA - 150 SQ. FT.  
MAIN FLOOR AREA - 483 SQ. FT.  
UPPER FLOOR AREA - 501 SQ. FT.  
LOFT AREA (OUTSIDE UNITS) - 264 SQ. FT.  
LOFT AREA (INNER UNIT) - 393 SQ. FT.  
TOTAL OUTSIDE UNITS AREA - 1,398 SQ. FT.  
TOTAL INSIDE UNIT AREA - 1,509 SQ. FT.

### ENERGY CODE NOTATIONS:

1. IF HEATING DUCT OR PIPING IS INSTALLED WITHIN THE THERMAL BARRIER OF AN EXTERIOR ASSEMBLY, BREAKING THE CONTINUITY OF THE INSULATION, THE CAVITY IN WHICH THE PIE OR DUCT IS USING SHOULD HAVE AN EFFECTIVE RSI VALUE OF 2.78 (R-15.78) PER 9.36.5-7

2. ALL MECHANICAL PENETRATIONS THROUGH THE ENVELOPE ASSEMBLY SHALL COMPLY WITH SECTION ABC 2023 9.36.3.3 WHERE MOTORIZED DAMPERS OR GRAVITY/BACK-FLOW DAMPERS ARE TO BE INSTALLED

3. WHERE THE AIR BARRIER SYSTEM CONSISTS OF FLEXIBLE SHEET MATERIAL, PER ABC 2023 9.25.3.3.4: ALL JOINTS SHOULD BE LAPPED OR SEALED BY NOT LESS THAN 100mm AND CLAMPED BETWEEN FURRING MEMBERS, FRAMING, OR BLOCKING.

4. 6mm POLY CUT AROUND JOISTS CANNOT ACT AS AN AIR BARRIER; THEREFORE FRAMING MUST BE MADE AIR-TIGHT. DETAIL APPROVED SEALANT OR SILL GASKET AT ALL MECHANICAL JOINTS (INCLUDING BUTT JOINTS IN RIM)\*

5. MATERIALS INTENDED TO PROVIDE THE PRINCIPAL RESISTANCE TO AIR LEAKAGE CONFORM TO CANULC-S741, AIR BARRIER MATERIALS - SPECIFICATION\*

6. HEAT DUCT AND COLD AIR RETURNS ARE TO BE PROTECTED WITH A THERMAL BARRIER. ENSURE THIS IS PROPERLY DETAILED.

7. ALL HOT WATER PIPES INSTALLATIONS SHALL COMPLY WITH ABC 9.36.4.4

8. PENETRATIONS SHOULD BE SEALED TO MAINTAIN THE INTEGRITY OF THE AIR BARRIER PER ABC 2023 9.25.3.3.4-6

9. ALL PENETRATIONS AND TIE-INS OF THE AIR BARRIER SYSTEM SHALL COMPLY WITH ABC 2023 SECTION 9.36.2.10

10. THE INTERFACES BETWEEN WINDOWS, DOORS, AND SKYLIGHTS AND WALL/CEILING ASSEMBLIES SHALL BE CONSTRUCTED AIR TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE AIR BARRIER MATERIALS IN THE WALL AND THE WINDOW, DOOR OR SKYLIGHT FRAME (ABC 2023 SECTION 9.7.6). PER ABC 2023 A-9.36.2.10-9), THIS CAN BE ACHIEVED USING EXTERIOR SEALANT, INTERIOR SEALANT, LOW EXPANSION FOAM, OR SHEATHING TAPE IN COMBINATION WITH DRYWALL, POLYETHYLENE, CLOSED-CELL BACKER ROD, OR WOOD LINER.

No.	Description	Date
1	CONCEPTS	10/09/25
2	CONCEPT REVISION	10.09.25
3	FINAL CONCEPT	10.21.25

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DATE ISSUED: 6/15/23

DESIGN BY: MJK

SCALE: As indicated

LOT 7 BLOCK 1 PLAN 2860GR  
2027 37TH STREET SW  
CALGARY, AB

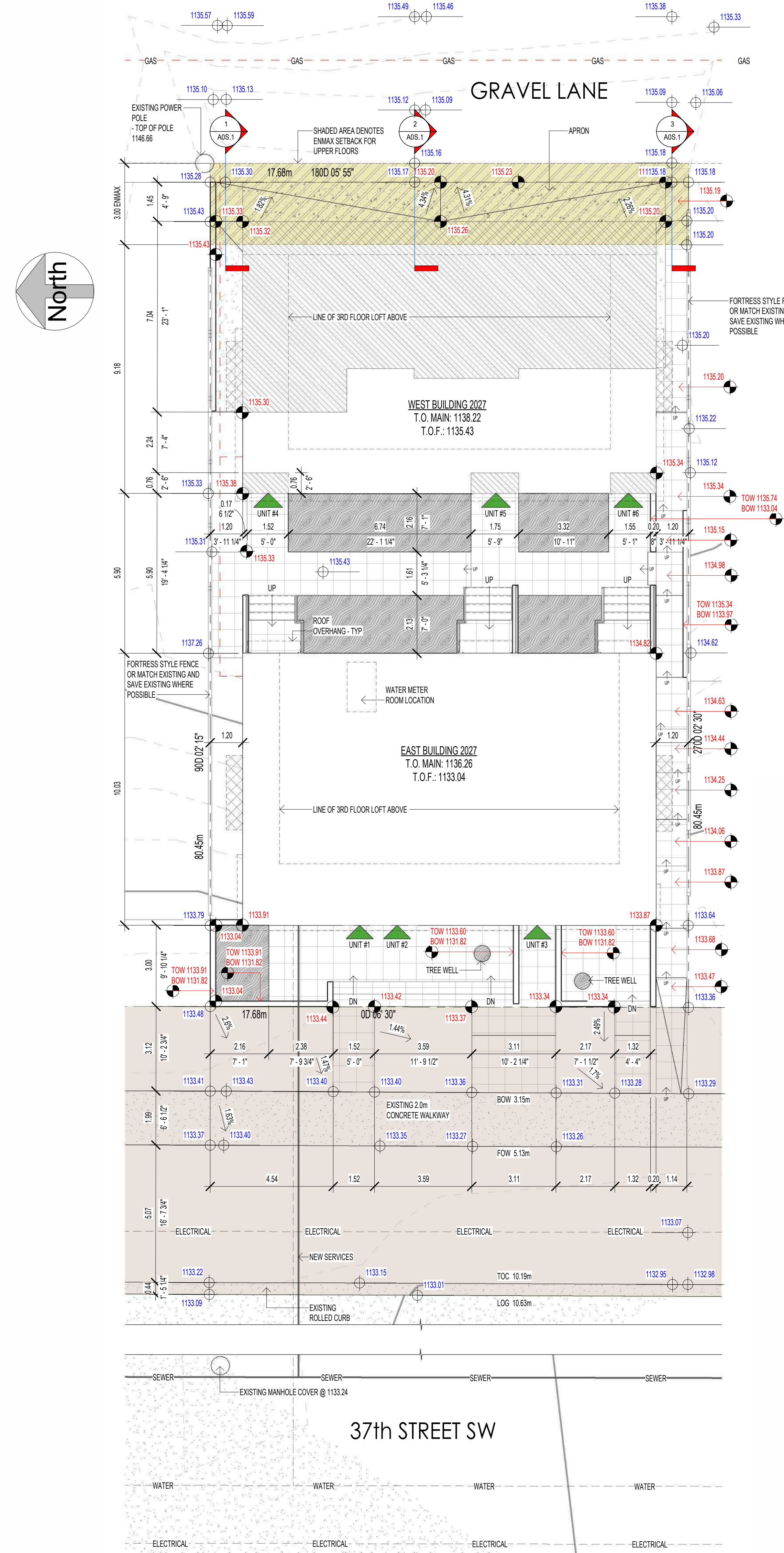
A0

COVERSHEET

CONCEPTUALS

MIDNIGHT DESIGN STUDIO, INC.  
5315 3RD STREET SE, CALGARY, AB  
(403) 815-0604 - office  
www.midnightdesignstudio.ca

TWO-ZERO  
27



ALL EXISTING STRUCTURES ON THE SUBJECT PROPERTY SHALL BE EITHER REMOVED OR DEMOLISHED  
 ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN

ELEVATIONS ARE GEODETIC AND DERIVED FROM MARKER ASCM 270264

PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:  
 - N/A

- INDICATES EXISTING GEODETIC
- INDICATES PROPOSED GEODETIC
- TOP OF WALL
- BOW 72.49
- ELEVATION REFERENCE POINTS

- DENOTES WINDOW WELL
- DENOTES PATIO OR WALKWAY FINISH AS PER SITE PLAN NOTATION
- DENOTES MAIN FLOOR CANTILEVER
- DENOTES CANTILEVER OF UPPER FLOOR
- DENOTES PUBLIC ZONE
- DENOTES ENMAX ZONE
- FOOTPRINT OF SUBJECT PROPERTY
- DENOTES BLACK MULCH GROUNDCOVER
- DENOTES KENTUCKY BLUEGRASS SOD
- MOBILITY LOCKER
- BIKE LOCKER

NOTE: ALL AREAS NOT DESIGNATED WITH MATERIAL SHALL BE SOD

- DENOTES EXISTING TREE TO BE REMOVED
- DENOTES EXISTING TREE TO REMAIN

- DENOTES UNIT ENTRY POINT
- DENOTES GARAGE ENTRY POINT
- DENOTES SUITE ENTRY POINT
- UNIT #
- GARAGE #
- SUITE #

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 2027 37TH STREET SW  
 CALGARY, AB

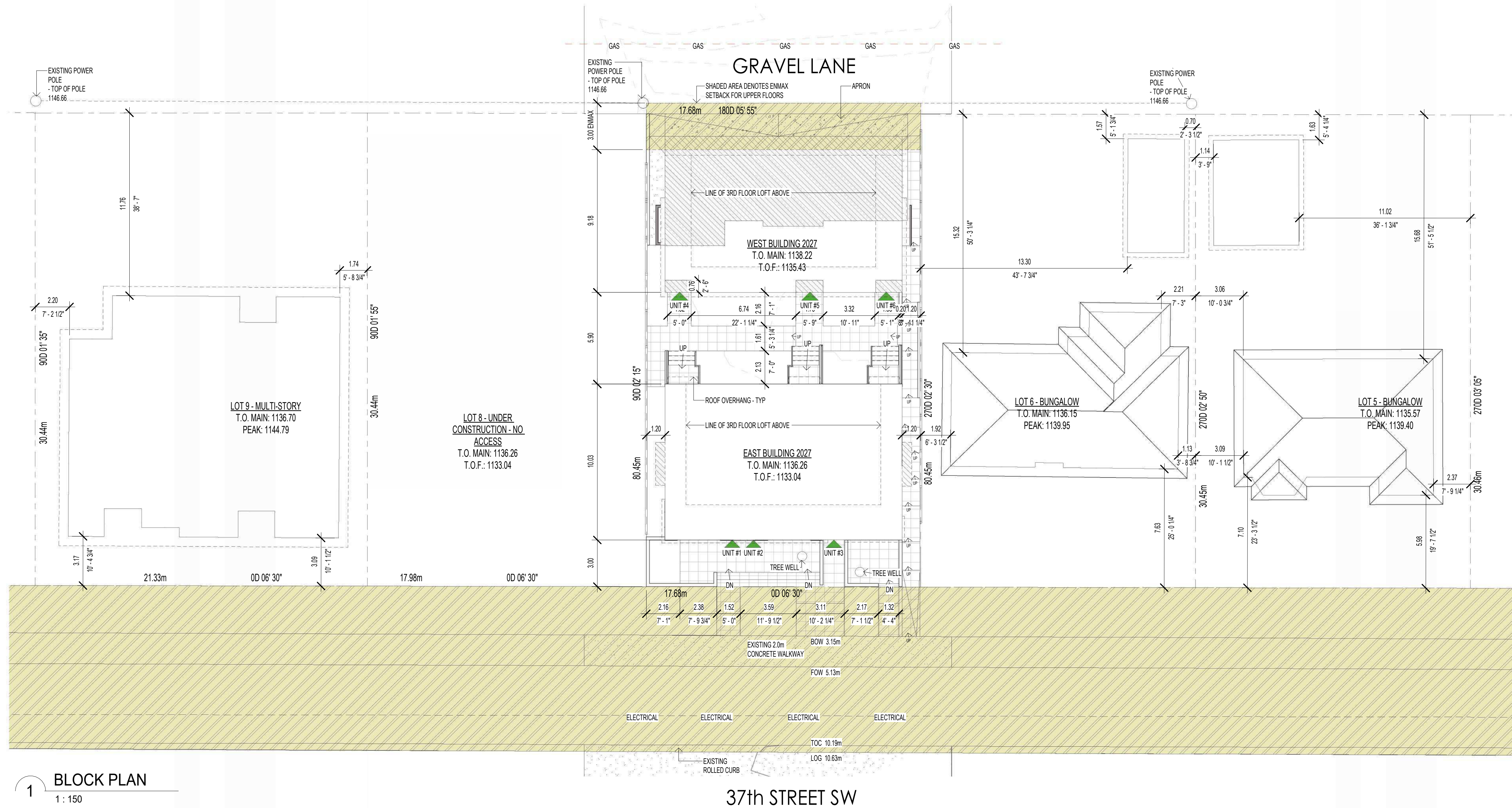
## AOS.0

SITE PLAN

CONCEPTUALS

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 5319 3RD ST SE, CALGARY, AB  
 403-815-0664  
 www.midnightdesignstudio.ca

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**1 BLOCK PLAN**  
1: 150



**2 STREETScape**  
1: 150

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DESIGN BY:	MJK
SCALE:	1: 150

LOT 7 BLOCK 1 PLAN 2860GR  
2027 37TH STREET SW  
CALGARY, AB

## A0S.2

BLOCK PLAN AND  
STREETSCAPE

CONCEPTUALS

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1 LANDSCAPING PLAN  
1/8" = 1'-0"

PLANTING LEGEND

- DENOTES NEW COLUMNAR ASPEN (POPULUS TREMULA 'ERECTA')  
80mm CALLIPER  
4.5m HEIGHT  
SPREAD: 1.5m
- DENOTES NEW COLUMNAR CRAB APPLE (MALUS 'JEFSPIRE')  
60mm CALLIPER  
4.5m HEIGHT  
SPREAD: 2m
- DENOTES NEW SHRUB - GLOBE CARAGANA (CARAGANA FRUTEX 'GLOBOSA')  
SPREAD: 0.6m MINIMUM
- DENOTES NEW SHRUB - ROSE GLOW BARBERRY (BERBERIS THUNBERGII)  
SPREAD: 0.6m MINIMUM
- DENOTES NEW GRASS - BLUE OAT GRASS (HELICTOTRICHON SEMPERVIRENS)  
HEIGHT: MIN. 1.0m
- DENOTES NEW COLUMNAR SPRUCE - 20 GAL - 3.5m HEIGHT
- DENOTES NEW SHRUB - NINEBARK - 10 GAL - 1.2m HEIGHT - 1.0m SPREAD
- DENOTES NEW SHRUB - JUNIPER CREEPER - 10 GAL - 0.60m HEIGHT - 1.0m SPREAD
- DENOTES NEW SOD - KENTUCKY BLUE GRASS
- DENOTES BLACK WOOD MULCH @ PLANTER
- DENOTES GRAVEL PLANTER
- DENOTES PATH LIGHT w/ ESTIMATED SPREAD OF LIGHTBEAM

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PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:  
- N/A

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- INDICATES PROPOSED GEODETIC
- TOW 72.49 TOP OF WALL
- BOW 72.49 BOTTOM OF WALL
- ELEVATION REFERENCE POINTS
- DENOTES WINDOW WELL
- DENOTES PATIO OR WALKWAY FINISH AS PER SITE PLAN NOTATION
- DENOTES MAIN FLOOR CANTILEVER
- DENOTES CANTILEVER OF UPPER FLOOR
- DENOTES PUBLIC ZONE
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- DENOTES KENTUCKY BLUEGRASS SOD
- MOBILITY LOCKER
- BIKE LOCKER

NOTE: ALL AREAS NOT DESIGNATED WITH MATERIAL SHALL BE SOD

- 11 - DENOTES EXISTING TREE TO BE REMOVED
- 11 - DENOTES EXISTING TREE TO REMAIN

- DENOTES UNIT ENTRY POINT
- DENOTES GARAGE ENTRY POINT
- DENOTES SUITE ENTRY POINT
- UNIT #
- GARAGE #
- SUITE #



LANDSCAPE PATH LIGHT  
1/8" = 1'-0"

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LOT 7 BLOCK 1 PLAN 2860GR  
2027 37TH STREET SW  
CALGARY, AB

**AOS.3**

LANDSCAPE PLAN

CONCEPTUALS

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# MIDNIGHT DESIGN STUDIO

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DATE ISSUED: 6/15/23

DESIGN BY: MJK

SCALE:

LOT 7 BLOCK 1 PLAN 2860GR  
2027 37TH STREET SW  
CALGARY, AB

## A300

EXTERIOR PERSPECTIVES

CONCEPTUALS

MIDNIGHT DESIGN STUDIO, INC.  
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403-815-8664  
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TWO-ZERO  
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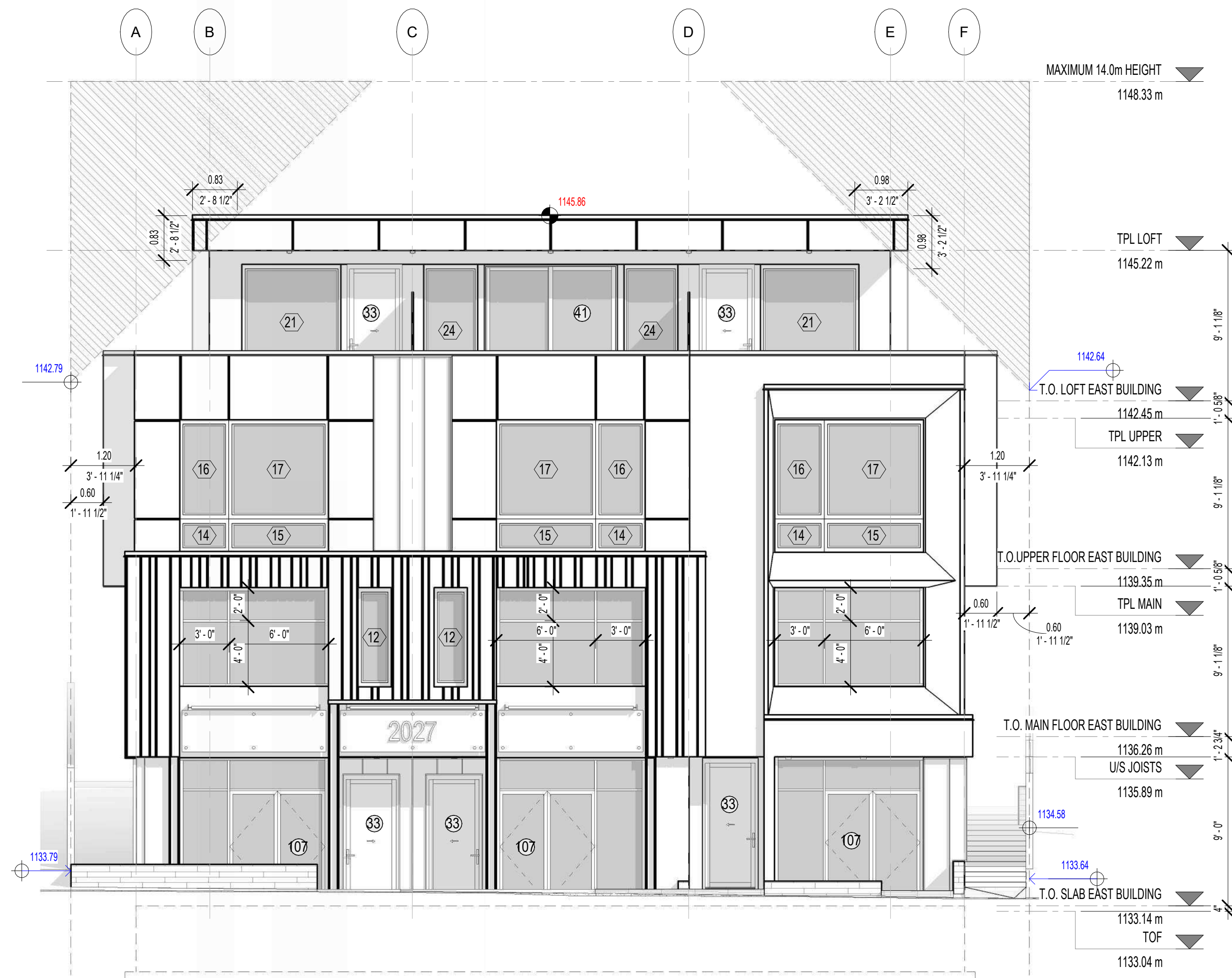
# EXTERIOR FINISHES

- CONCRETE FOUNDATION WALL - NO WATERPROOFING ABOVE GRADE - PROVIDE PARING AT ALL EXPOSED FACES
- EXPOSED DECORATIVE CONCRETE RETAINING WALL w/ STRIATED DETAIL - SEAL EXPOSED CONCRETE w/ SPRAY-ON RADONSEAL PLUS CONCRETE PENETRATING SEALER
- MASONRY FINISH - SEE OWNERS' SPECIFICATIONS FOR EXACT SELECTION AS IT MAY DIFFER FROM THESE DRAWINGS
- NORWOOD CLADDING FINISH - SEE OWNERS' SPECIFICATIONS FOR EXACT SELECTION AS IT MAY DIFFER FROM THESE DRAWINGS - INSTALL PER MFR SPECIFICATIONS OR ENGINEERS DIRECTIONS FOR EXTERIOR APPLICATION
- SAGIPER SIMULATED WOOD SOFFITS - INSTALL AS PER MFR SPECIFICATIONS AND ENVELOPE ENGINEERS SPECS IF VENTING REQUIRED
- ACRYLIC STUCCO FINISH - COLOUR TBD OR PER OWNERS' SPECIFICATIONS - PROVIDE REVEAL AS NOTED ON SPECIFIC ELEVATION
  - WHERE AN EXPANSION JOINT IS NOT CALLED OUT BUT ONE IS REQUIRED, CONTRACTOR SHALL INQUIRE OF LOCATION TO MDS OFFICE, NO SUBSTITUTIONS
- ACM FASCIA/WALL PANEL w/ REVEALS @ EVEN SPACING @ EACH FASCIA PLANE U.N.O. PROVIDE DRIP CAP ABOVE OR AS PER MFR SPECIFICATIONS ON SPECIFIED FASCIAS
- STEEL STRUCTURAL COLUMN/BEAM AS NOTED - SEE SECTION DETAIL IF IS PROVIDED FOR SPECIFIC SIZE AND SPACING OF LAG BOLTS
  - STRUCTURAL ENGINEER TO PROVIDE SPECIFICS OF THIS DETAIL IF STRUCTURAL NECESSITIES REQUIRED
  - ALL EXPOSED STRUCTURAL STEEL SHALL BE POWDER-COATED TO ENSURE SAFETY AND LONGEVITY
  - NON-STRUCTURAL STEEL SHALL BE LEFT UNSEALED TO PATINA WITH THE ELEMENTS
- 26 GAUGE ALUMINUM WALL CAP - BACKSLOPE TO ROOF
- ALUMINUM K-STYLE GUTTER - BLACK
- STANDING SEAM OR CORRUGATED STEEL SIDING - SEE FINISH MATRIX PER BUILDER
- ALUMINUM CORNER CONNECTING WINDOWS BY WDW MANUFACTURER
- 12mm GLASS RAILING w/ STAINLESS STEEL STAND-OFFS OR BLACK ALUMINUM POSTS PER ELEVATION

PERFORMANCE REQUIREMENTS PER NAFS CANADA:

MINIMUM PERFORMANCE GRADE (PG)	25
MINIMUM POSITIVE DESIGN PRESSURE:	1200 PA
MINIMUM NEGATIVE DESIGN PRESSURE:	1200 PA
MINIMUM WATER PENETRATION RESISTANCE TEST PRESSURE:	260 PA
MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION:	A2

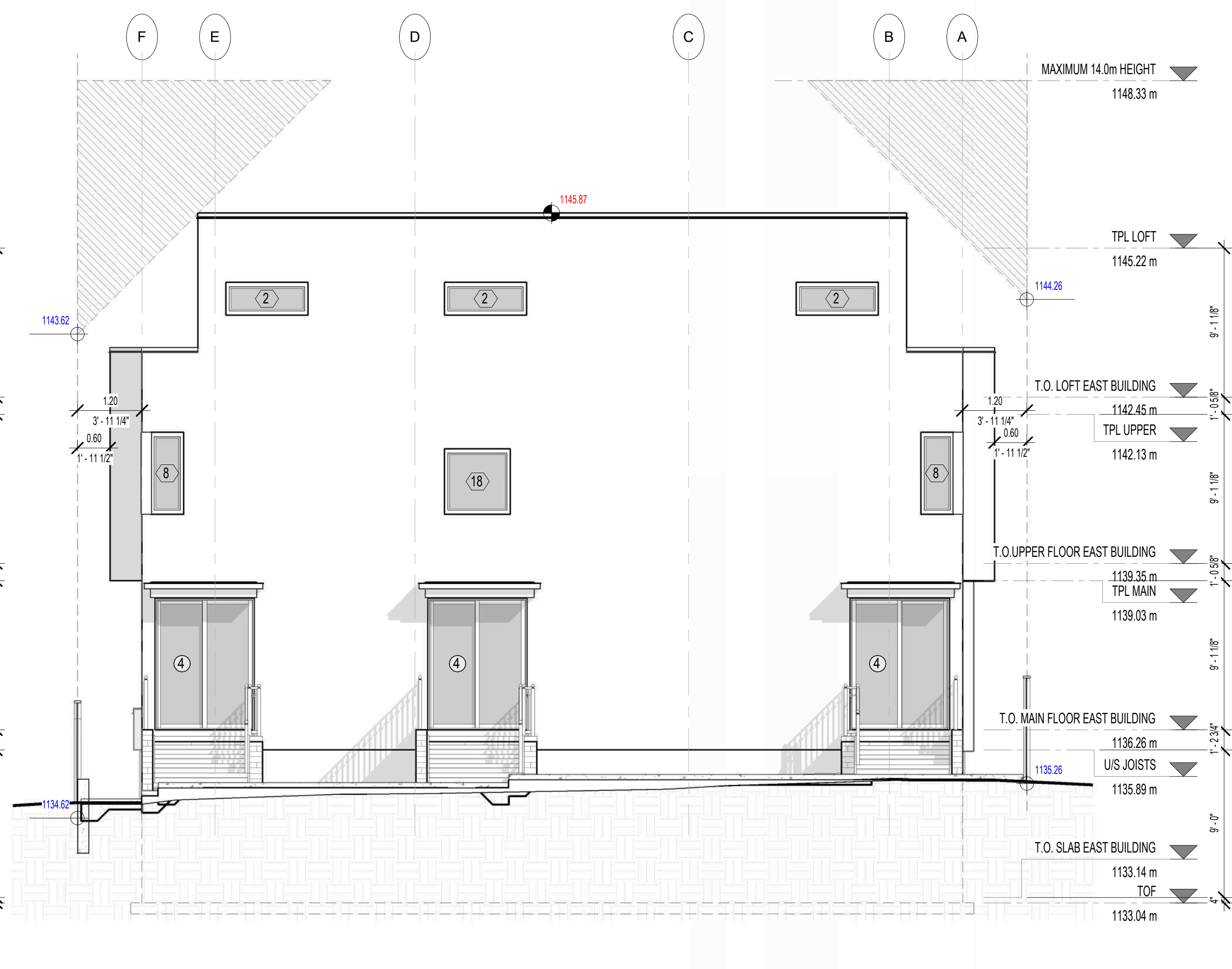
ALL WINDOWS AND DOORS MUST MEET THE MINIMUM STANDARD U-VALUE OF 1.6



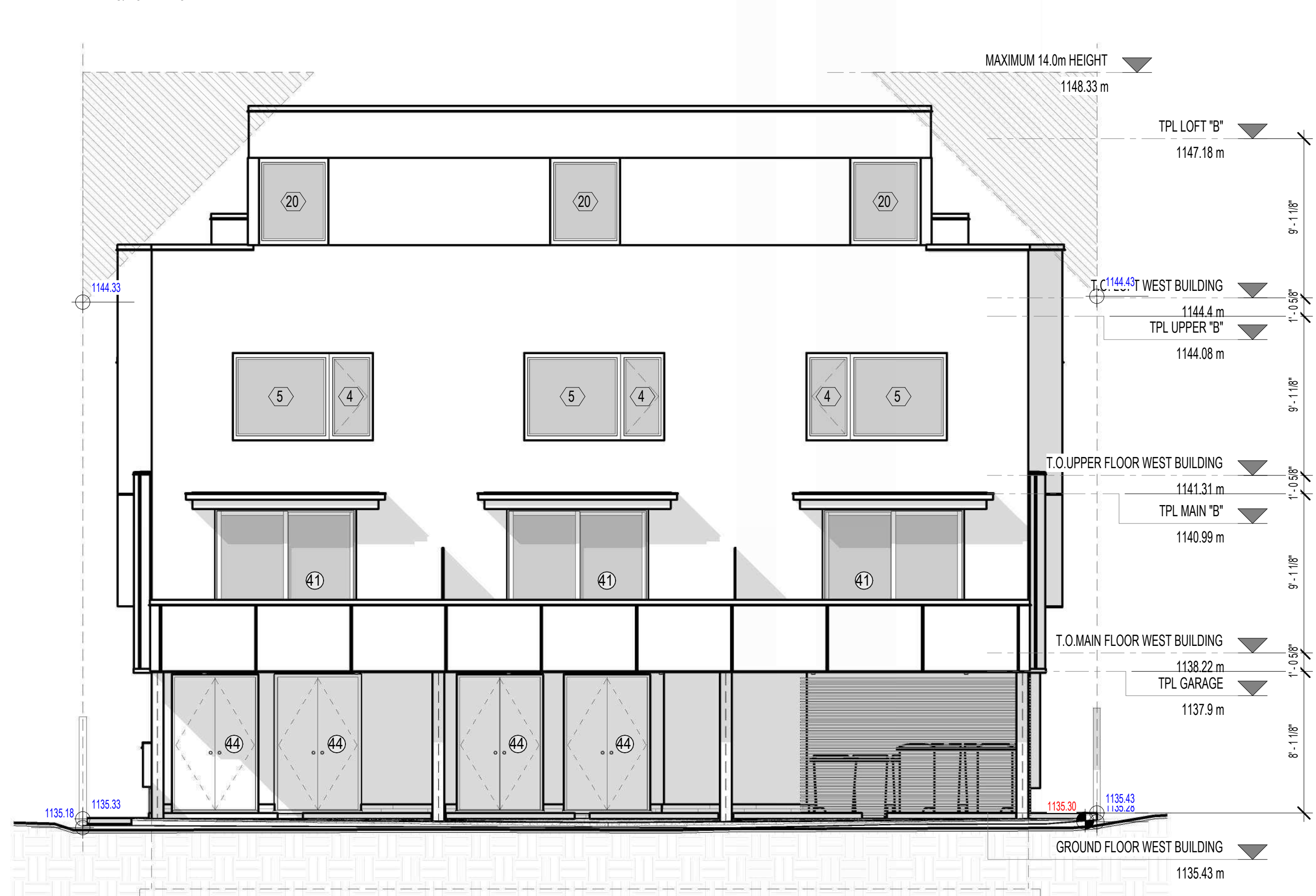
1 FRONT ELEVATION - EAST BUILDING  
3/16" = 1'-0"



2 FRONT ELEVATION - WEST BUILDING  
3/16" = 1'-0"



3 REAR ELEVATION - EAST BUILDING  
3/16" = 1'-0"



4 REAR ELEVATION - WEST BUILDING  
3/16" = 1'-0"

MIDNIGHT DESIGN STUDIO

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DATE ISSUED: 6/15/23  
DESIGN BY: Designer  
SCALE: As indicated

LOT 7 BLOCK 1 PLAN 2860GR  
2027 37TH STREET SW  
CALGARY, AB

**A301**  
EXTERIOR SCHEMATICS

CONCEPTUALS  
MIDNIGHT DESIGN STUDIO, INC.  
5319 3RD ST SE, CALGARY, AB  
403-815-6664  
www.midnightdesignstudio.ca

TWO-ZERO  
27

## EXTERIOR FINISHES

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- STANDING SEAM OR CORRUGATED STEEL SIDING - SEE FINISH MATRIX PER BUILDER
- ALUMINUM CORNER CONNECTING WINDOWS BY WDW MANUFACTURER
- 12mm GLASS RAILING w/ STAINLESS STEEL STAND-OFFS OR BLACK ALUMINUM POSTS PER ELEVATION

PERFORMANCE REQUIREMENTS PER NAFS CANADA:

MINIMUM PERFORMANCE GRADE (PG)	25
MINIMUM POSITIVE DESIGN PRESSURE	1200 PA
MINIMUM NEGATIVE DESIGN PRESSURE	1200 PA
MINIMUM WATER PENETRATION RESISTANCE TEST PRESSURE	260 PA
MINIMUM CANADIAN AIR INFILTRATION/EXFILTRATION	A2

ALL WINDOWS AND DOORS MUST MEET THE MINIMUM STANDARD U-VALUE OF 1.6

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTS	10/09/25
2	CONCEPT REVISION	10/07/25
3	FINAL CONCEPT	10/21/25

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DATE ISSUED: 6/15/23  
DESIGN BY: Designer  
SCALE: As indicated

LOT 7 BLOCK 1 PLAN 2860GR  
2027 37TH STREET SW  
CALGARY, AB

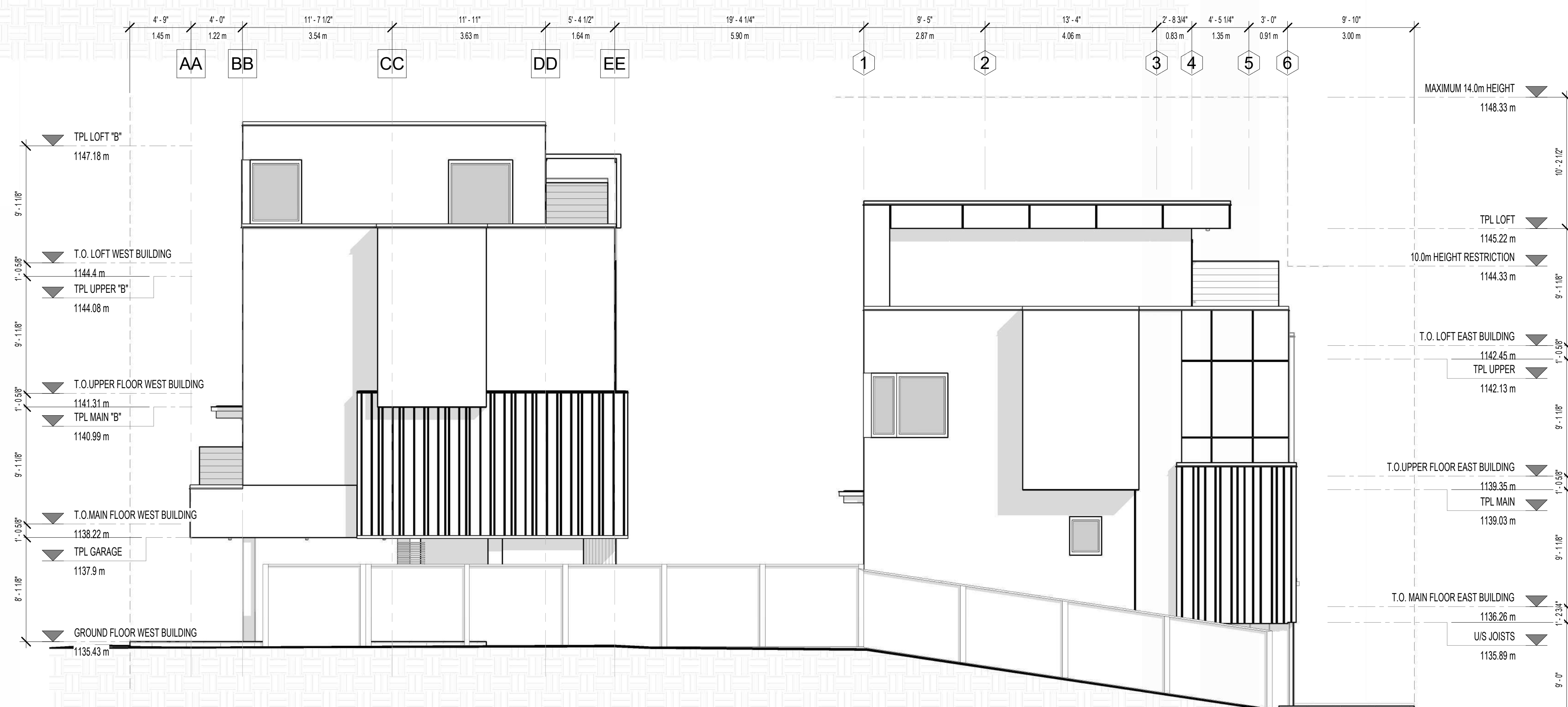
**A302**  
EXTERIOR SCHEMATICS

MIDNIGHT DESIGN STUDIO, INC.  
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**TWO-ZERO**  
27



**1 NORTH ELEVATION**  
3/16" = 1'-0"



**2 SOUTH ELEVATION**  
3/16" = 1'-0"