

PROPOSED MULTI-RESIDENTIAL

- ADDRESS : 1112/1124 17 Avenue SW, Calgary AB
 - LEGAL ADDRESS : Plan:A1;Block:118;Lot:10-14
 - LAND USE DESIGNATION : C-COR1f4.0h24 Commercial - Corridor 1
 - SITE/PARCEL AREA : 1,338sqm/ 14,403sqft/ 0.13 ha
 - PARCEL COVERAGE : (Building Coverage/ Parcel Area) x100
1057 sqm/ 1338sqm x100 = 79%
 - MAX BUILDING HEIGHT : 24 metres ALLOWED - 23 metres PROVIDED
 - PROPOSED GFA : 4835 sqm/ 52,043sqft -(5353 SQM ALLOWED)
 - FLOOR AREA RATIO : 3.61 (4.0 ALLOWED)
- FRONT SETBACK AREA(SOUTH)
REQUIRED- NONE; MAX ALLOWED 3M, PROVIDED 2M
 - REAR SETBACK AREA (NORTH)
REQUIRED 3M, (ON THE MAIN FLOOR, AT THE REQUEST OF THE UDRP/CITY TO TREAT THE PROJECT AS DUAL FRONTAGE, THE SETBACK ON NORTH HAS BEEN REDUCED TO 0.0M BY BRINGING THE BUILDING TILL THE PROPERTY EDGE.)
ON HIGHER LEVELS A 3.0M SETBACK IS PROPOSED.
 - SIDE SETBACK AREA
EAST SIDE - NONE REQUIRED. WEST SIDE - NONE REQUIRED
 - NUMBER OF UNITS: 75 ; RETAIL AREA : 720 SQM (14.8% OF GFA)
 - BICYCLE PARKING
CLASS 1 FOR @0.5/UNIT = 37.5: 38 STALLS (66 PROVIDED)
CLASS 2 FOR @0.1/UNIT = 7.5 : 8 STALLS (8 PROVIDED)
EXCES CLASS 1BIKE PARKING- 28
 - MOTOR VEHICLE PARKING STALLS
RESIDENT PARKING @0.75 STALLS PER UNIT :56.25
VISITOR PARKING STALLS @0.1 STALLS PER UNIT :7.5
RETAIL PARKING @ 4PER 100 SQM GFA (736SQM) :29.44
TOTAL PARKING DEMAND: 93.19 = 93 STALLS
TOTAL PARKING PROVIDED: 25
RELAXATION REQUESTED: 68
 - AMENITY SPACE
NUMBER OF UNITS WITHOUT BALCONIES: 33
REQUIRED @ 5.0 SQM/UNIT = 165 SQM
ROOFTOP GARDEN COMMON AMENITY PROVIDED: 208 SQM

Area Schedule (Gross Building)-RETAIL

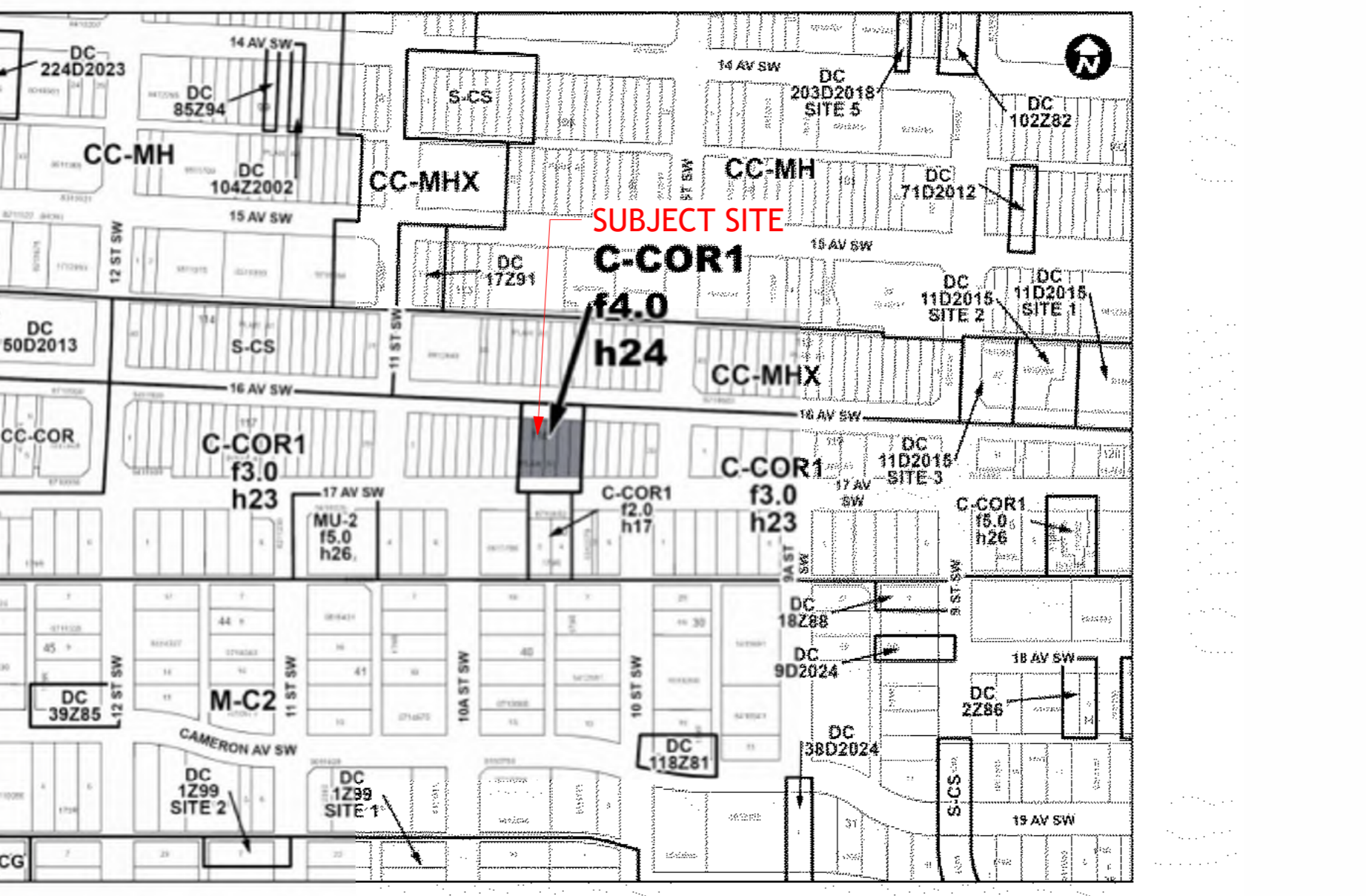
Level	Name	Area Type	Area
MAIN LEVEL	RETAIL 1	Gross Building Area	353 m ²
MAIN LEVEL	RETAIL 2	Gross Building Area	216 m ²
MAIN LEVEL	RETAIL 3	Gross Building Area	167 m ²
			736 m ²

Parking Schedule-VEHICLE PARKING			Parking Schedule-BIKE PARKING			
Level	Type	Count	Level	Type	STALLS	Comments
PARKING LEVEL	PARKING 2500 X 5400	13	PARKING LEVEL	CLASS 1-BIKE STALL	33	2 BIKES PER STALL, 66
PARKING LEVEL	PARKING 2600 X 5400	2	PARKING LEVEL	VERTICAL (2PAX)		
PARKING LEVEL	PARKING 2850 X 5400	0	MAIN LEVEL			
PARKING LEVEL	PARKING- ADA- 2400 x 5500	0	MAIN LEVEL	CLASS 2-BIKE STALL (2PAX)	4	2 BIKES PER STALL, 8
Grand total: 25		25				

LEGEND

- PROPERTY LINE
- - - SETBACK
- - - CRANE REACH(7.0 M MAX)
- - - FENCE 1200MM (SHEET D2.01)
- - - FENCE 1800MM (SHEET D2.01)
- ▲ RETAIL ENTRY/EXIT
- ▲ RESIDENTIAL ENTRY/EXIT
- ▲ EMERGENCY EXIT
- BALCONY / AMENITY

REFER THE ROOF PLAN FOR COMMON AMENITY SPACE
REFER THE LANDSCAPE PLAN FOR DETAILS OF THE AMENITY SPACE.



PRIME CONSULTANT:

MANU CHUGH ARCHITECT LTD
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CLIENT:

CONSULTANTS:

REVISION SCHEDULE

No.	Description	Date
1	ISSUED FOR DEVELOPMENT PERMIT	2025.11.11
2	ISSUED FOR UDRP	2025.11.08
3	ISSUED FOR DTR 1 RESPONSE	2026.06.18

Project Municipal Address
1112/1124 17 Avenue SW, Calgary AB

Project Legal Address
Plan:A1;Block:118;Lot:10-14

MC+A file No. MCA 1299

PHASE:
DEVELOPMENT PERMIT

Designed By Designer: GM/NB
Drawn By Designer: MC
Checked By Designer: MC

Date 2026.06.18
Scale As indicated

Sheet Title
SITE INFORMATION

Sheet Number
D1.00

