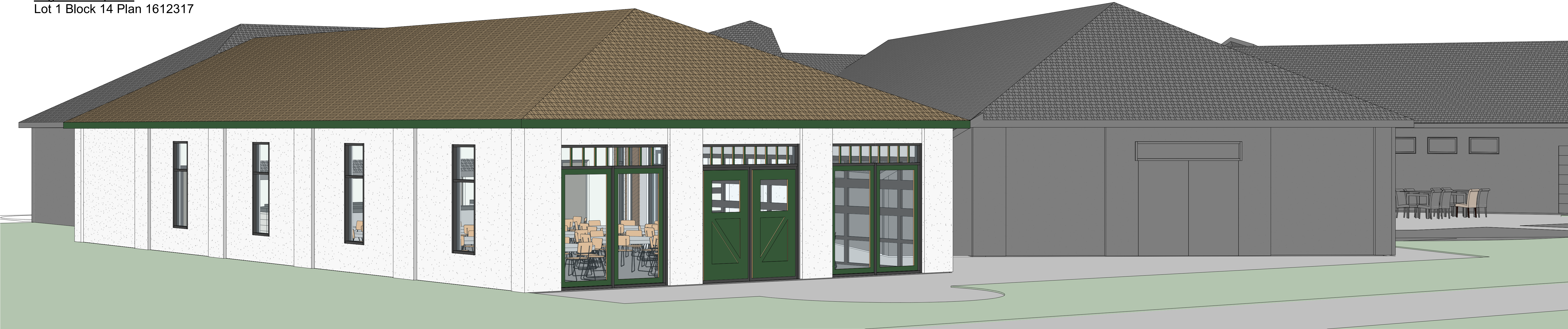


EVENT FACILITY ADDITION - BURWOOD DISTILLERY - BUILDING D2

Municipal Address:
2566 Flanders Avenue SW,
Calgary, AB T3E 7H9

Legal Description:
Lot 1 Block 14 Plan 1612317



ISSUED FOR: DEVELOPMENT PERMIT - REV1

January 2, 2026

ARCHITECTURAL SHEET LIST	
PAGE #	SHEET NAME
DP0.00	COVERSHEET
DP1.00	OVERALL SITE & PHOTOS
DP1.01	SITE & LANDSCAPE PLAN
DP2.01	MAIN AND ROOF PLAN
DP3.02	EXTERIOR BUILDING ELEVATIONS
DP4.00	3D PERSPECTIVES
DP4.01	BUILDING SECTIONS

TAG LEGEND

BUILDING SECTION

ELEVATION VIEW

GRID LINE

VIEW NAME
SCALE

ROOM NAME

DOOR

WINDOW

BUILDING ASSEMBLY

CLIENT



Burwood Distillery
15, 4127 6 Street NE
Calgary, AB
Contact: Jordan Ramey
403 836 1447
Jordan@burwooddistillery.ca

PRIME CONSULTANT

ARCHITECT

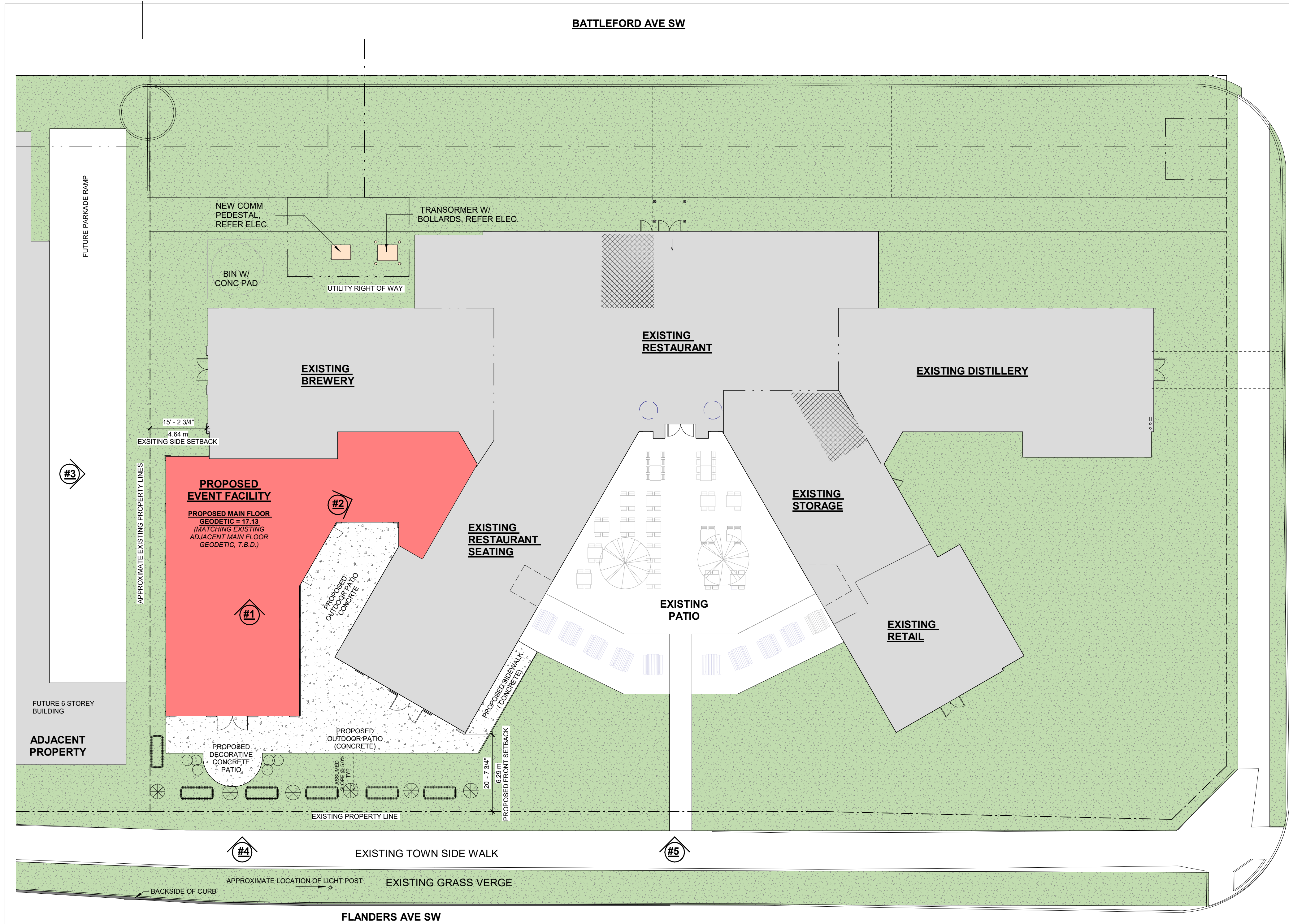


Van Roekel Architecture Ltd.
Calgary, AB
Contact: Frazer Van Roekel
403 404 5257
Frazer@vanroekel.ca

AMENDED DRAWINGS
DP No Date Received
DP2025-06372 Jan 02 2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DP0.00



1 SITE & LANDSCAPE PLAN
Scale: 1/16" = 1'-0"



#1 IMAGE 1



#2 IMAGE 1



#3 IMAGE 1



#4 IMAGE 1



#5 IMAGE 1

PROJECT AND SITE INFORMATION

Municipal Address:
2566 Flanders Avenue SW, Calgary, AB T3E 7H9
Legal Description:
Lot 1 Block 14 Plan 1612317
Site Area:
± 57,589.8 ft² (5,350.00 m², 1.32 acres, 0.535 hectares)

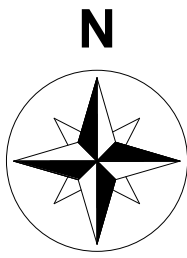
Building Coverage:
Proposed Addition Building: 3,669.8 ft² (340.94 m²)
Existing Building: 17,708.5 ft² (1,645.17 m²)

Total Building Coverage: 21,378.3 ft² (1,986.11 m²)

Land Use:
Direct Control (DC) 79D2021

Existing Uses: Brewery, Distillery & Restaurant: Licensed
Proposed Discretionary Uses: Instructional Facility, Conference & Event Facility

Purpose of Uses: to provide an event facility operated by Burwood Distillery for beverage tasting, instructional and tourism focussed seminars and wedding or other private party rentals. Food and liquor would be served at some of these private events but this addition would not function as an extension of the existing Veranda restaurant.



SITE LEGEND

- GRASS
- CONCRETE
- EXISTING ROAD
- PROPOSED BUILDING
- EXISTING BUILDING

CLIENT



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ISSUES

NO.	DATE	ISSUED FOR
1	Nov. 5, 2025	DEVELOP. PERMIT
2	Jan. 2, 2026	DP-REV1

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NOT FOR
CONSTRUCTION

PRIME CONSULTANT

VAN ROEDEL
ARCHITECTURE

Van Roekel Architecture Ltd.
Calgary, AB
403 404 5257
frazer@vanroekel.ca

PROJECT

**EVENT FACILITY
ADDITION**

2566 Flanders Avenue SW, Calgary
Lot 1 Block 14 Plan 1612317

DATE Jan. 02, 2026
SCALE As indicated
PROJECT NO. 3339

SHEET NAME

OVERALL SITE & PHOTOS

REV

DP1.00

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

Building Coverage:

Proposed Addition Building:	3,669.8 ft ²	(340.94 m ²)
Existing Building:	17,708.5 ft ²	(1,645.17 m ²)

Land Use:
Direct Control (DC) 79D2021

Existing Uses: Brewery, Distillery & Restaurant: Licensed
Proposed Discretionary Uses: Instructional Facility, Conference &
Event Facility

Purpose of Uses: to provide an event facility operated by Burwood Distillery for beverage tasting, instructional and tourism focussed seminars and wedding or other private party rentals. Food and liquor would be served at some of these private events but this addition would not function as an extension of the existing Veranda restaurant.

 EXISTING TREE TO BE REMOVED

 EXISTING TREE TO REMAIN

 PROPOSED NEW ELM TREE - 50MM CALIPER

 PROPOSED SUTHERLAND CARAGANA (HEDGE SHRUBS)

 PROPOSED NEW SNOWBERRY BUSH, 600MM HEIGHT

THE PROPOSED NEW LANDSCAPED AREA IS PROPOSED TO BE SERVED BY AN UNDERGROUND IRRIGATION SYSTEM CONSISTING OF A LOW WATER DRIP SYSTEM FOR THE NEW PLANTING AND A UNDERGROUND LOW WATER POP-UP SPRINKLERS FOR NEW SEEDED GRASS AREAS INDICATED ON THE SITE PLAN

 GRASS
 CONCRETE
 EXISTING ROAD
 PROPOSED BUILDING
 EXISTING BUILDING

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

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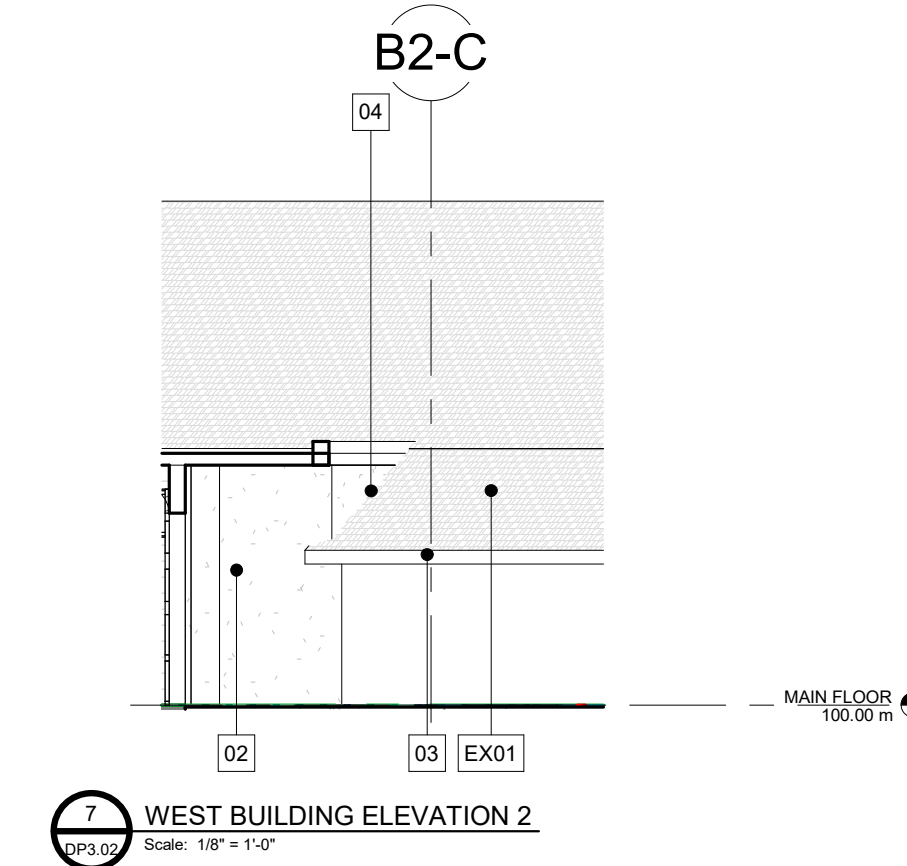
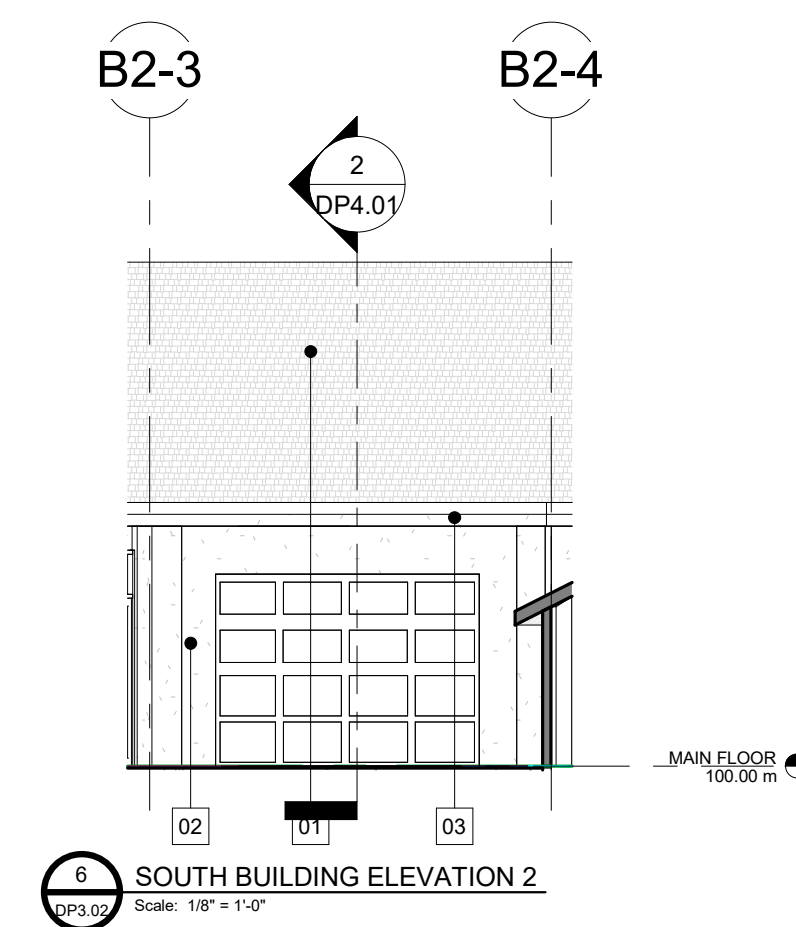
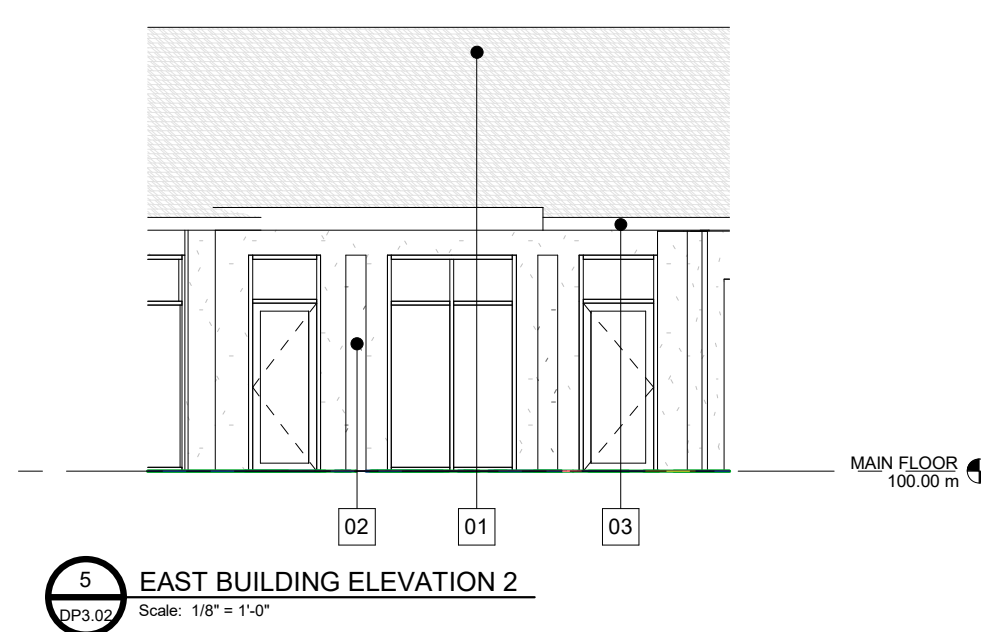
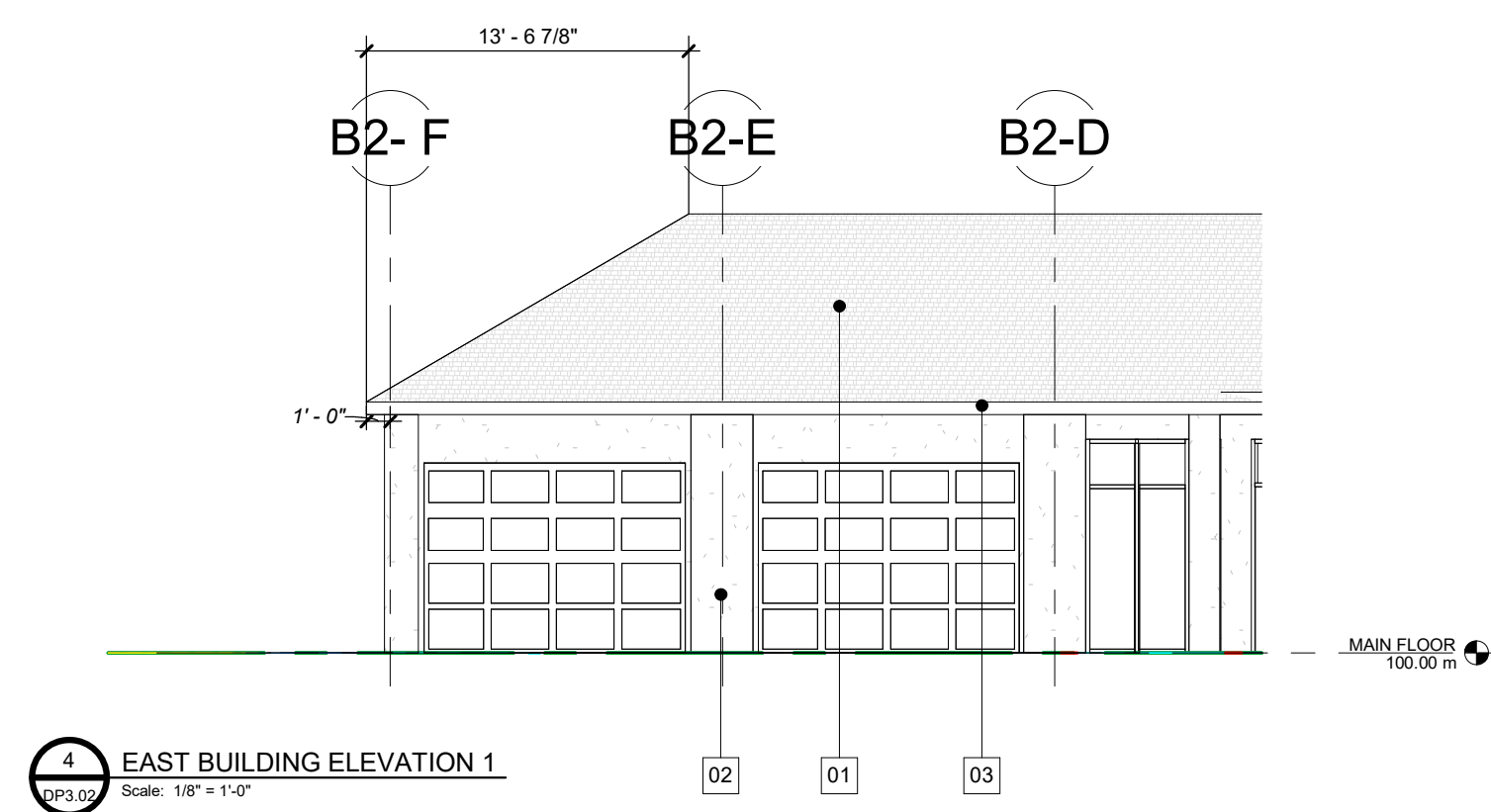
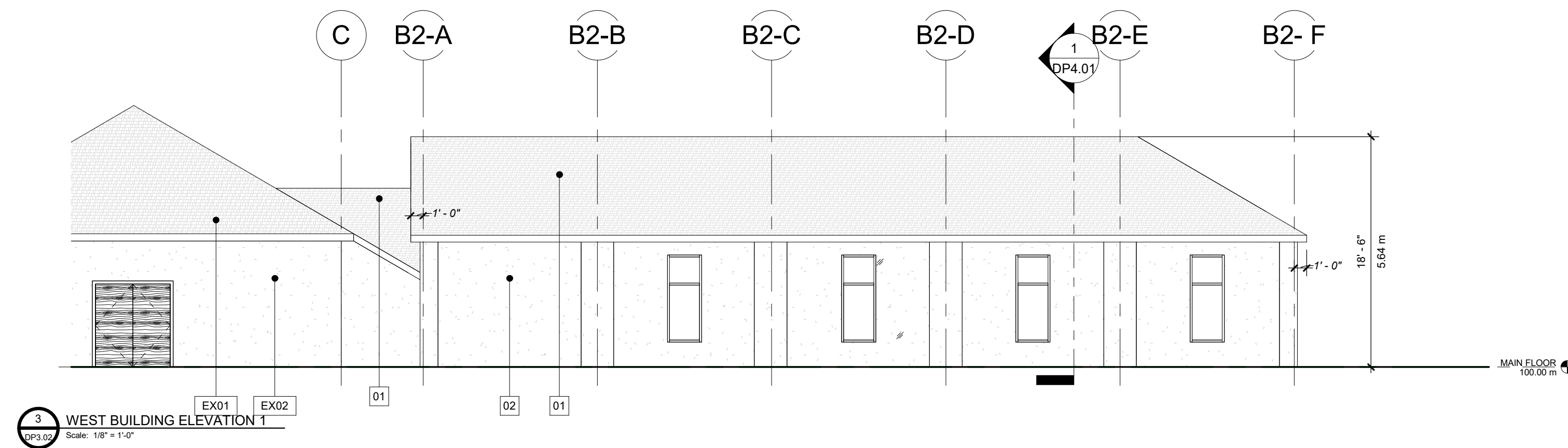
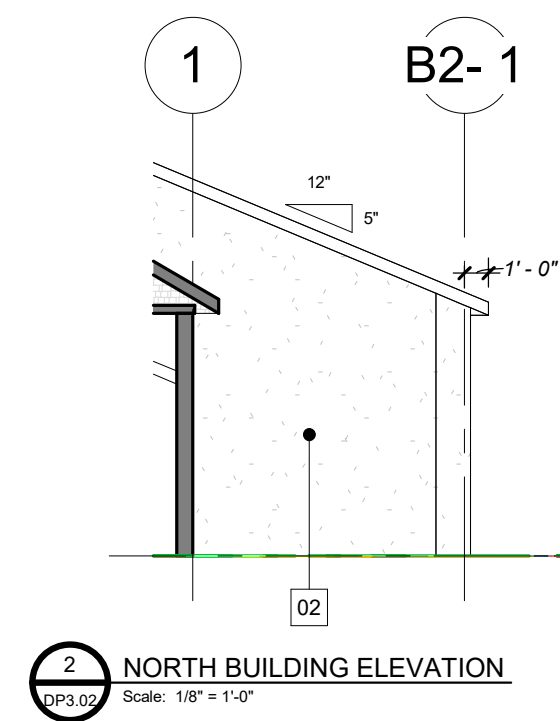
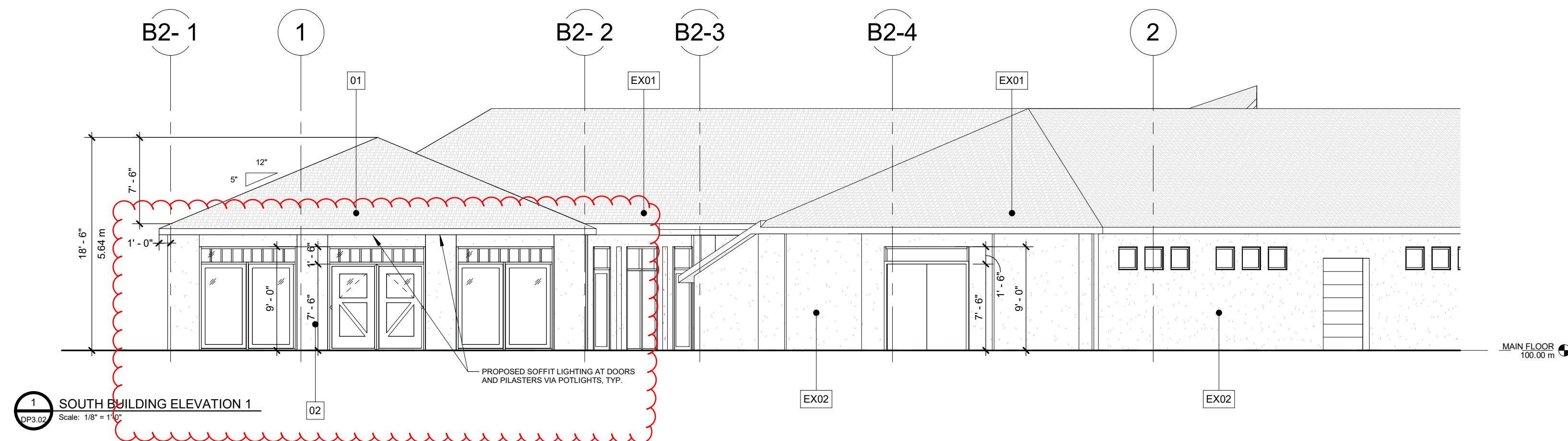
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2566 Flanders Avenue SW, Calgary
Lot 1 Block 14 Plan 1612317

DP3.02

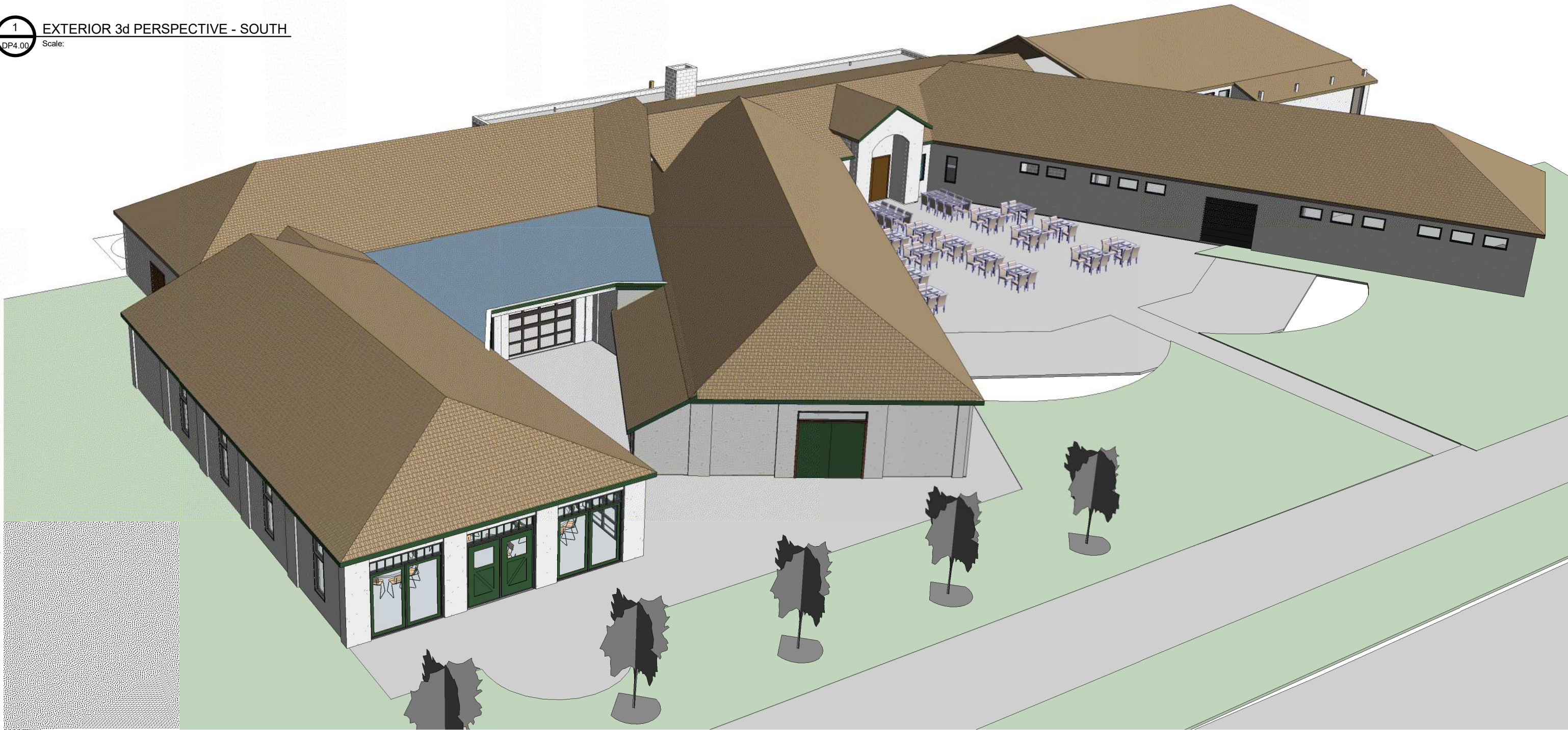
<u>EXTERIOR FINISH LEGEND</u>	
TAG	DESCRIPTION:
[01]	PRE-FINISHED METAL ROOFING W/ PROFILE TO EMULATE SHAKE STYLE ROOFING - <i>BROWN</i>
[EX01]	WOOD SHAKE ROOFING - <i>BROWN</i>
[02]	NEW STUCCO - <i>OFF-WHITE</i>
[EX02]	EXISTING STUCCO - <i>OFF-WHITE</i>
[03]	FASCIA BOARD - <i>GREEN</i> , NEW FASCIA TO MATCH EXISTING COLOUR



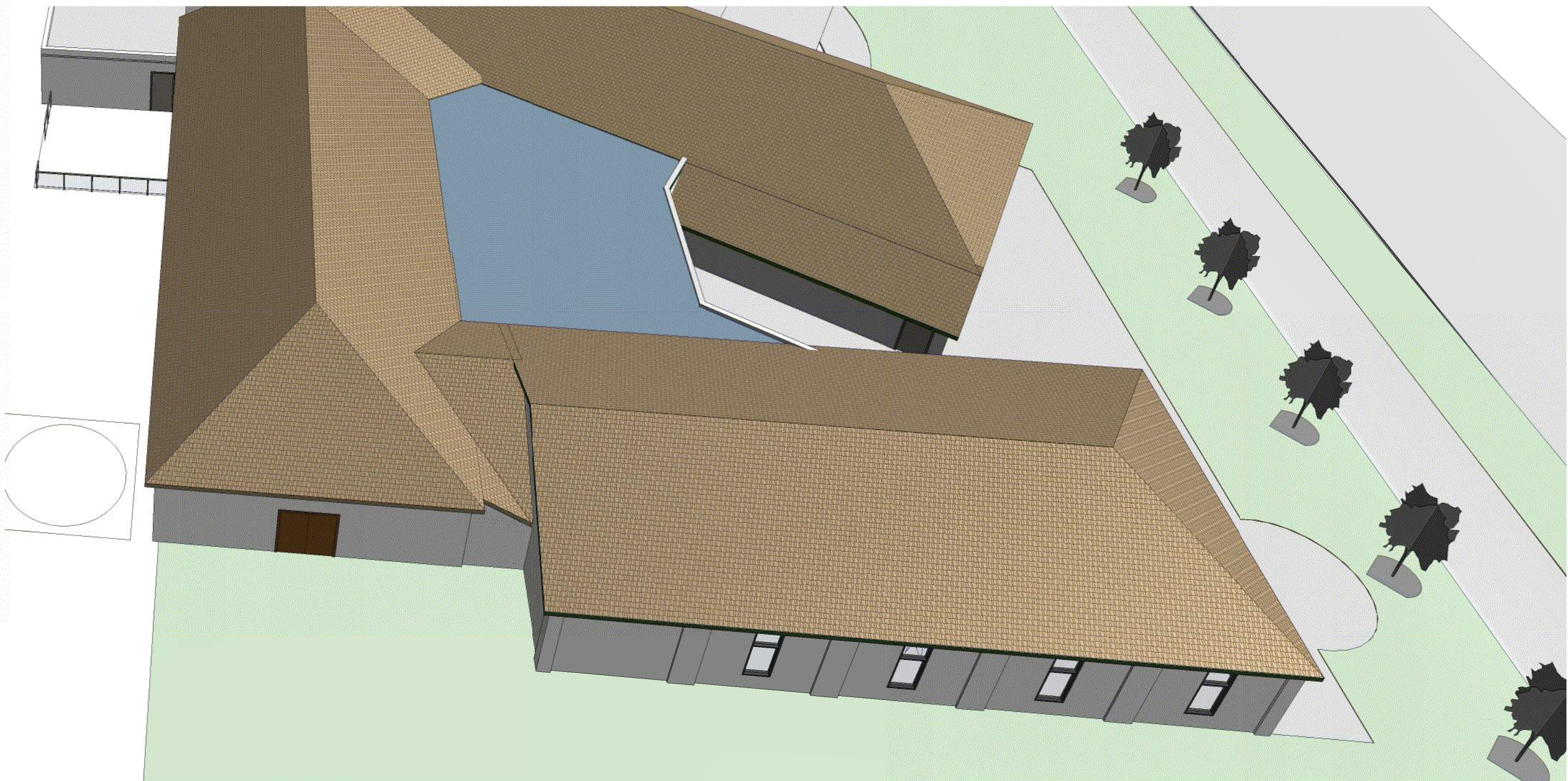
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PERMIT
DECISION
RENDERED
ON THIS PLAN



1 EXTERIOR 3d PERSPECTIVE - SOUTH
Scale: 1/200



2 EXTERIOR 3d PERSPECTIVE - SOUTHWEST
Scale: 1/200



3 EXTERIOR 3d PERSPECTIVE - WEST
Scale: 1/200

ARCH D

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PRIME CONSULTANT

**VAN
ROEKEL**
ARCHITECTURE

Van Roekel Architecture Ltd.
Calgary, AB
403 404 5257
frazer@vanroekel.ca

PROJECT

**EVENT FACILITY
ADDITION**

2566 Flanders Avenue SW, Calgary
Lot 1 Block 14 Plan 1612317

DATE Jan. 02, 2026
SCALE
PROJECT NO. 3339

SHEET NAME

3D PERSPECTIVES

REV

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

DP4.00