



PROPOSED REPAIR SHOP & OFFICE: ISSUED FOR DEVELOPMENT PERMIT

DRAWING LIST

ARCHITECTURAL

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b2d

architecture Inc.

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SIGN / SEAL

WIEBE'S

STEEL

STRUCTURES

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Revision Schedule			
Rev. No.	Revision	By	Date

**KU-AN
VENTURES
INC.**

5048 26 AVE SE
CALGARY, AB

COVER PAGE

JOB NUMBER			
SCALE		DATE	
		2025-10-23	
DRAWN		CHECKED	
ED		AG	
APPD		REV. NO	

DWG NUMBER

A0.00



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RENDERINGS

JOB NUMBER			
SCALE	DATE		2025-10-23
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APPD	REV. NO		

DWG NUMBER
A0.04

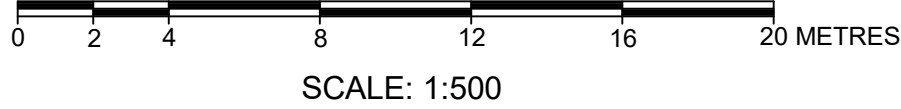
SITE PLAN

MUNICIPAL ADDRESS:
5048 & 5076 26th Avenue S.E.
Calgary, Alberta

LEGAL DESCRIPTION:
Unit 2 & 4
Condominium Plan 201 2087

PREPARED FOR: Wiebe's Steel Structures Ltd.

DATE OF SURVEY: August 8th, 2025



- LEGEND:
- Property Line
 - Right of Way Line
 - Fence Line
 - Water Valve
 - Fire Hydrant
 - Manhole
 - Catch Basin
 - Check Valve
 - Tree
 - Calculation points
 - Sanitary Line
 - Storm Line
 - Water Line
 - Gas Line
 - Overhead Wire
 - A.G.T. Line

1.00m Major Contour Line
0.20m Minor Contour Line

'L'--Length of Arc
'BC'--Back of Curb
'BOW'--Bottom of Wall
'BW'--Back of Walkway
'Cont.'--Cantilever

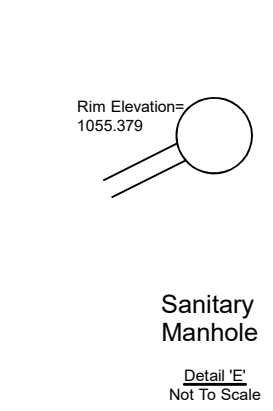
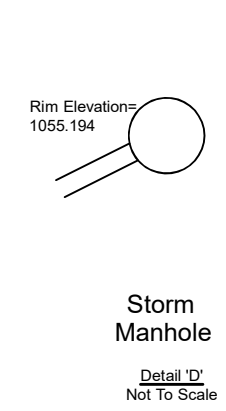
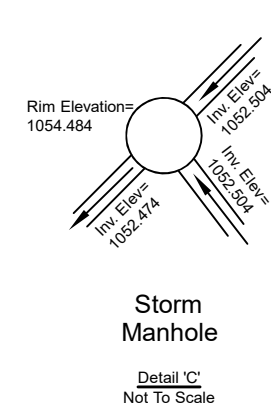
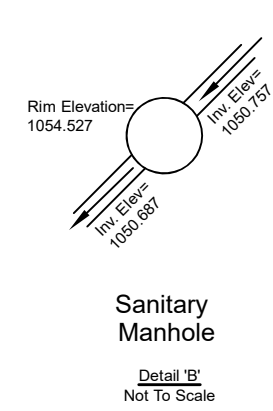
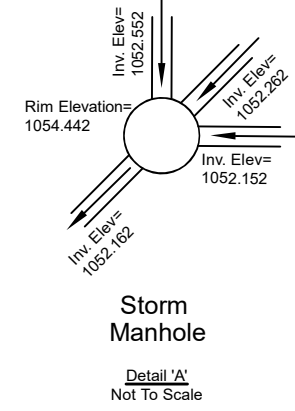
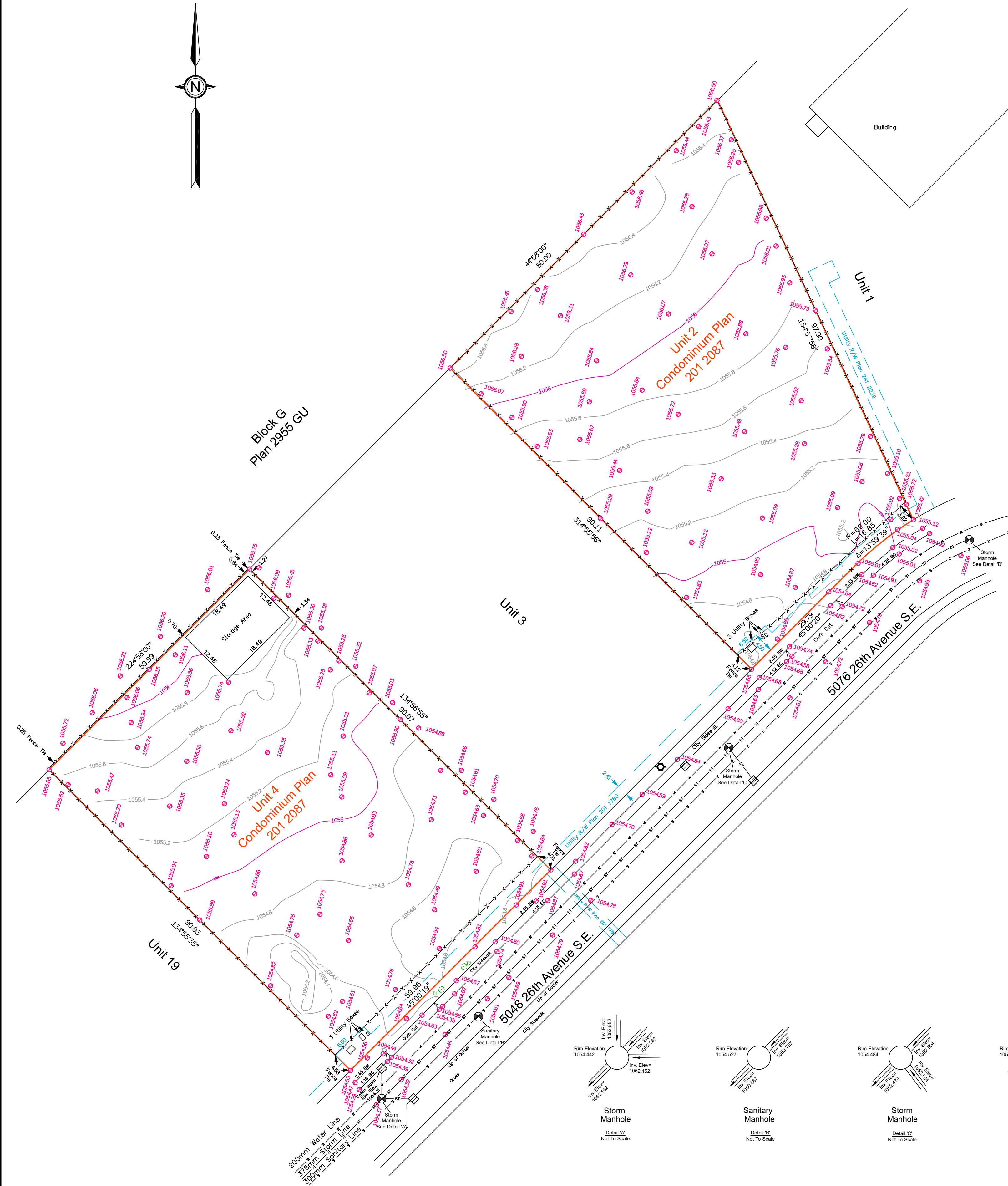
'Conc.'--Concrete
'Elev.'--Elevation
'Enc.'--Encroach(es)
'LOC'--Lip of Gutter
'R.'--Radius

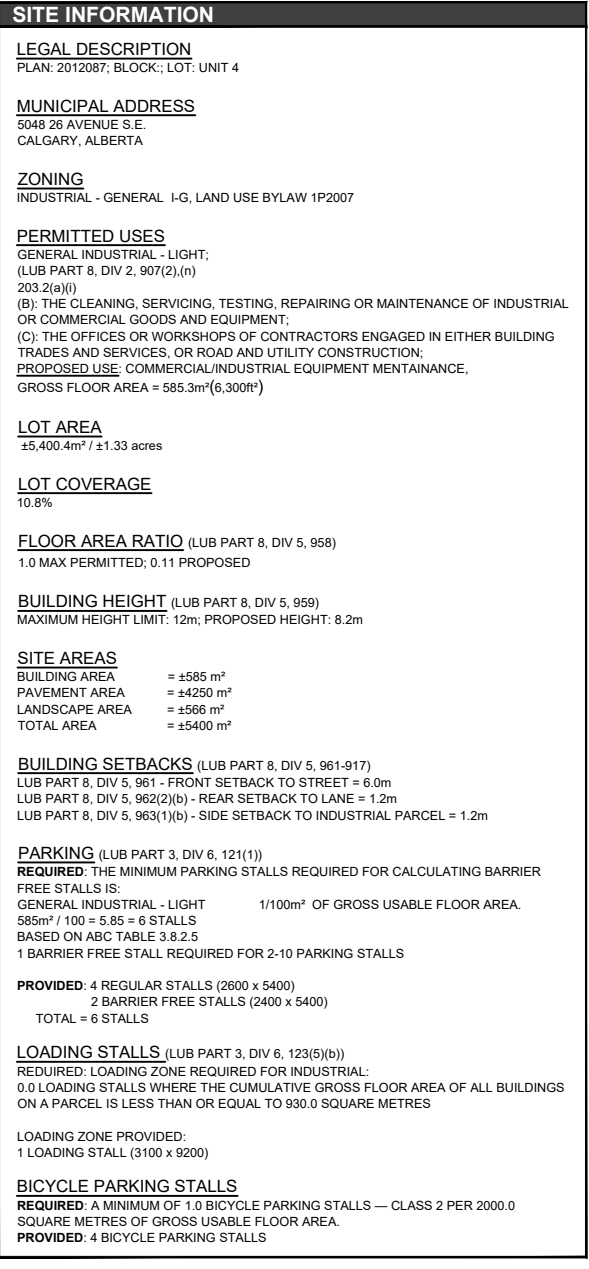
'R/W'--Right of Way
'Ret.'--Retaining
'TOW'--Top of Wall

- NOTE:
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999738
 - Distances are in ground and are shown in metres and decimals thereof.
 - Distances along curves are arc distances.
 - Elevations are derived from ASCM 28167.
 - Existing spot elevations are shown thus: 1000.00
 - a The Certificate of Title 241 048 217 was searched on the 10th day of July, 2025, and includes the following instruments:
Caveat No. 201 151 930
Utility Right of Way No. 201 193 404
Agreement No. 201 227 204
Easement No. 201 227 206
Caveat No. 211 053 094
Agreement No. 211 115 494
Mortgage No. 241 048 218
Caveat No. 241 048 219
 - b The Certificate of Title 251 028 449 was searched on the 10th day of July, 2025, and includes the following instruments:
Caveat No. 201 151 930
Utility Right of Way No. 201 193 404
Agreement No. 201 227 204
Easement No. 201 227 206
Caveat No. 211 053 094
Agreement No. 211 115 494

TREE SCHEDULE:

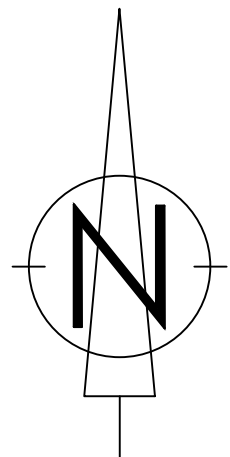
Tree No.	Variety	Caliper (±)	Canopy (±)	Height (±)	Location
T1	Deciduous Tree	0.10	1.00	4.00	In City Property
T2	Deciduous Tree	0.10	1.00	4.00	In City Property





GENERAL NOTES

1. ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT CONC. CURB RADIUS WHICH IS NOTED IN METERS.
2. ALL CONSTRUCTION WITHIN THE PROPERTY LINES IS NEW UNLESS OTHERWISE NOTED.
3. DRAWING IS NOT TO BE SCALED.
4. THIS SITE PLAN WAS CREATED FROM SURVEY DRAWING FILE NO. 2023071501.DWG BY MARY ELLEN WILSON INC. THE SURVEY CONDUCTED ON JULY 15, 2023. CONTRACTOR TO CONFIRM ALL EXISTING SITE INFORMATION PRIOR TO START OF CONSTRUCTION. SHOULD SUBSTANTIAL DISCREPANCIES BECOME APPARENT, CONTACT THE CONSULTANT.
5. ALL DIMENSIONS TO BE CHECKED & VERIFIED ON THE SITE. BY SURVEYOR PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT IMMEDIATELY.
6. CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION ON MUNICIPAL PROPERTY IS TO THE LATEST MUNICIPAL STANDARDS.
7. THE TRAVEL PATH OF THE WASTE AND RECYCLING VEHICLE TO BE PAVED WITH ASPHALT SURFACE DESIGNED TO STRUCTURALLY SUPPORT A MINIMUM OF 25,000 KG LOAD.
8. ELECTRICAL SUPPLY TO SITE SIGN TO BE LOCATED UNDERGROUND.
9. WHEEL STOPS TO BE CONSTRUCTED FROM RECYCLED RUBBER & A MAXIMUM 100mm HIGH. WHEEL STOPS TO BE POSITIONED 600mm FROM THE FRONT OF THE PARKING STALL AS PER CITY OF CALGARY STANDARDS. WHEEL STOPS TO BE PAINTED TO THE ASPHALT SURFACE AS PER THE MANUFACTURER'S RECOMMENDATIONS.



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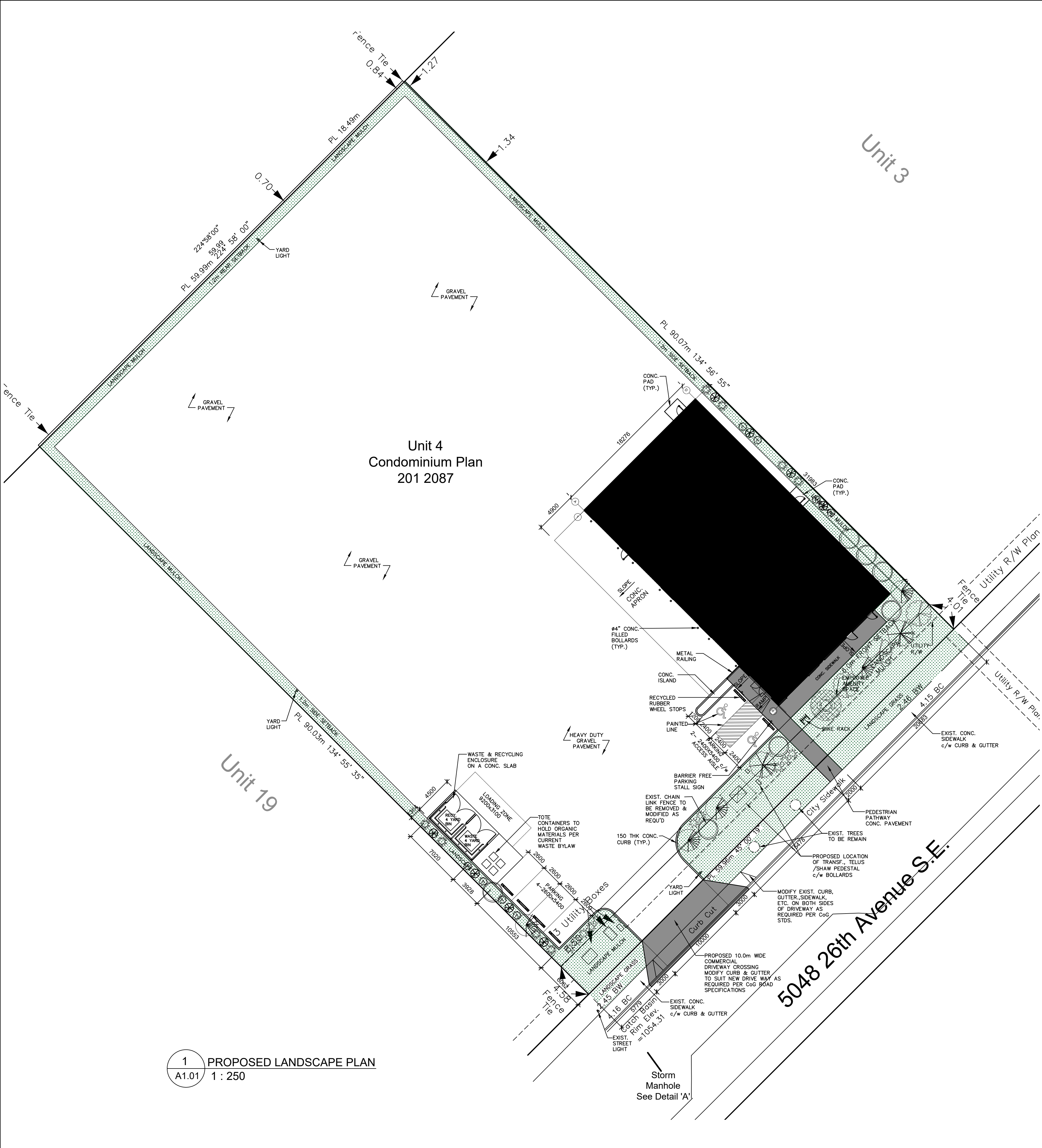
5048 26 AVE SE
CALGARY, AB

PROPOSED SITE PLAN

JOB NUMBER

SCALE 1:250	DATE 2025-10-23
DRAWN ED	CHECKED AG
APP'D	REV. NO

A1.01



1 PROPOSED LANDSCAPE PLAN
A1.01 1 : 250

- GENERAL NOTES:**
1. ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
 2. ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES.
 3. ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
 4. THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES AND WALLS FOR DURATION OF CONSTRUCTION.
 5. ALL OFF-SITE WORKS TO CONFORM TO CALGARY CONSTRUCTION STANDARDS.
 6. ALL SOFT LANDSCAPING AREAS TO BE IRRIGATED WITH LOW WATER IRRIGATION SYSTEM. THE GENERAL CONTRACTOR TO PROVIDE ALL THE NECESSARY IRRIGATION DETAIL PLANS OR SHOP DRAWINGS THAT COMPLY WITH THE REQUIREMENTS OF THE CITY OF CALGARY LAND USE BYLAW, AND TO BE REVIEWED BY THE CONSULTANTS PRIOR TO THE INSTALLATIONS.
 7. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
 8. ALL TREE PITS & SHRUB BEDS TO BE PREPARED TO 450mm DEPTH (MIN.) OR TO DESIRED PLANTING DEPTH USING COMPOST MIX:
 - 1/3 SCREENED TOPSOIL
 - 1/3 PEAT MOSS
 - 1/3 WELL ROTTED MANURE
 9. FINISHED GRADE TO BE COMPLETE w/ 75mm THICK DOUGLAS FIR BARK MULCH.
 10. PROVIDE BLACK DIAMOND EDGING BETWEEN SOFT AREA(S) AND ADJOINING TREE PITS AND SHRUB BEDS.
 11. STAKE ALL TREES USING GUY WIRES OR 50x50x2400mm LONG, OR LONGER, CEDAR STAKES AND FLEXIBLE STRAPS.
 12. CONTRACTOR TO CONTACT 'ALBERTA ONE' TO LOCATE ALL UTILITIES IN FIELD PRIOR TO CONSTRUCTION.
 13. ALL PLANT MATERIAL TO HAVE A ONE YEAR MAINTENANCE & WARRANTY PERIOD STARTING FROM THE APPROVAL OF THE CONSTRUCTION COMPLETION DATE
 14. ONLY TREES AND SHRUBS MUST BE IRRIGATED AND THE EXTENT OF WATER DELIVERY MUST BE CONFINED TO THE TREE AND SHRUB AREA.
 15. TREES AND SHRUBS THAT HAVE SIMILAR WATER CONSUMPTION REQUIREMENTS ARE TO BE GROUPED TOGETHER.
 16. MINIMUM SIZE OF DECIDUOUS TREES CALLIPER IS 50mm. AT LEAST 50.0% OF THE TREES MUST HAVE MINIMUM CALLIPER OF 75mm AT THE TIME OF PLANTING.
 17. CONIFEROUS TREES MUST HAVE A MINIMUM HEIGHT OF 2.0 METRES AND AT LEAST 50.0 PER CENT OF THE PROVIDED CONIFEROUS TREES MUST BE A MINIMUM OF 3.0 METRES IN HEIGHT AT THE TIME OF PLANTING.

PLANT LEGEND:

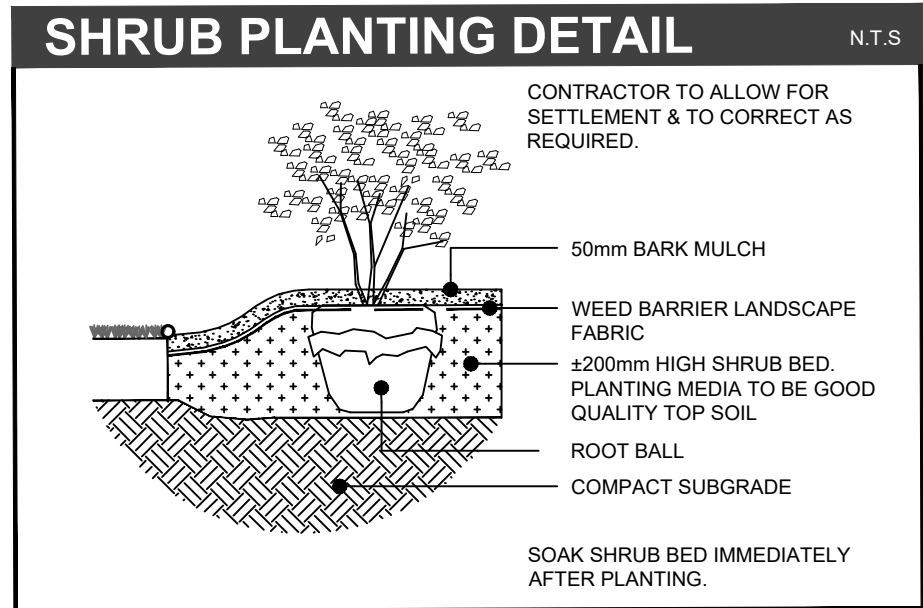
DECIDUOUS TREES				MATURE	
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD
	7	POPULUS TREMULOIDES	TREMBLING ASPEN	12m HEIGHT	2.0M
	5	MALUS JEFFSPIRE	PURPLE SPIRE COLUMNAR CRABAPPLE	8m HEIGHT	2.4m

ALL 12 OF DECIDUOUS TREES MUST BE MIN. OF 50mm CALLIPER. 4 OF TREMBLING ASPEN & 3 OF PURPLE SPIRE COLUMNAR MUST BE A MIN. 75mm CALLIPER AT THE TIME OF PLANTING.

CONIFEROUS TREES				MATURE	
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD
	2	PINUS CONTORTA	LODGE POLE PINE	20.0M	6.0M
	3	PICEA PUNGENS	COLORADO SPRUCE	18.0M	5.0M

DECIDUOUS SHRUBS				MATURE	
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD
	10	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	0.9M HEIGHT	0.9M
	8	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	0.9M HEIGHT	0.9M
	8	CORNUS SERICIA 'FARROW'	ARCTIC FIRE DOGWOOD	0.90M	0.9M
	8	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1.5M HEIGHT	0.9M

ALL 34 SHRUBS MUST BE MIN. HEIGHT OR SPREAD OF 0.6 METERS AT THE TIME OF PLANTING.



SITE INFORMATION

PLAN: 2012087/BLOCK: LOT: UNIT 2 CALGARY, ALBERTA	I-C INDUSTRIAL - COMMERCIAL
5048 - 26 AVENUE S.E. CALGARY, ALBERTA	LOT AREA: ±5,400.4m²

LANDSCAPE REQUIREMENTS

964 (11&4)
WHERE A SETBACK AREA SHARES A P/L WITH A STREET OR A PARCEL DESIGNATED AS AN INDUSTRIAL ZONE:

- MUST BE PROVIDED WITH SOFT SURFACED LANDSCAPED AREA
- A MIN. OF 1.0 TREES & 2.0 SHRUBS FOR EVERY 35.0 SQ.M.
- 25% OF THE TREES REQUIRED SHOULD BE CONIFEROUS

LANDSCAPE AREA REQUIRED:

FRONT SETBACK (SE) - SETBACK AREA SHARES A PROPERTY LINE WITH A STREET - 26 AVE NE. TOTAL LANDSCAPE AREA= ±297.6m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 35m²
297.6m² / 35m² = 8.50

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 35m²
297.6m² / 35m² = 8.50 x 2 = 17.00

SIDE SETBACK (NE) - SETBACK AREA SHARES A PROPERTY LINE WITH INDUSTRIAL PARCEL (2012087/U-1). TOTAL LANDSCAPE AREA= ±96.8m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 35m²
96.8m² / 35m² = 2.76

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 35m²
96.8m² / 35m² = 2.76 x 2 = 5.52

SIDE SETBACK (SW) - SETBACK AREA SHARES A PROPERTY LINE WITH INDUSTRIAL PARCEL (2012087/U-3). TOTAL LANDSCAPE AREA= ±99.3m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 35m²
99.3m² / 35m² = 2.83

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 35m²
99.3m² / 35m² = 2.83 x 2 = 5.66

REAR SETBACK (NW) - SETBACK AREA SHARES A PROPERTY LINE WITH A PARCEL (2955GU). TOTAL LANDSCAPE AREA= ±71.9m²

TOTAL NUMBER OF TREES REQUIRED = 1 TREE / 35m²
71.9m² / 35m² = 2.05

TOTAL NUMBER OF SHRUBS REQUIRED = 2 SHRUBS / 35m²
71.9m² / 35m² = 2.05 x 2 = 4.10

LANDSCAPE AREA PROVIDED:

TOTAL SOFT LANDSCAPING = ±554m²

REQUIRED TREES: 17 DECIDUOUS - 12 CONIFEROUS - 5

PROVIDED TREES: 17 DECIDUOUS - 12 CONIFEROUS - 5

REQUIRED SHRUBS/GRASSES: 34 MIXED VARIETY

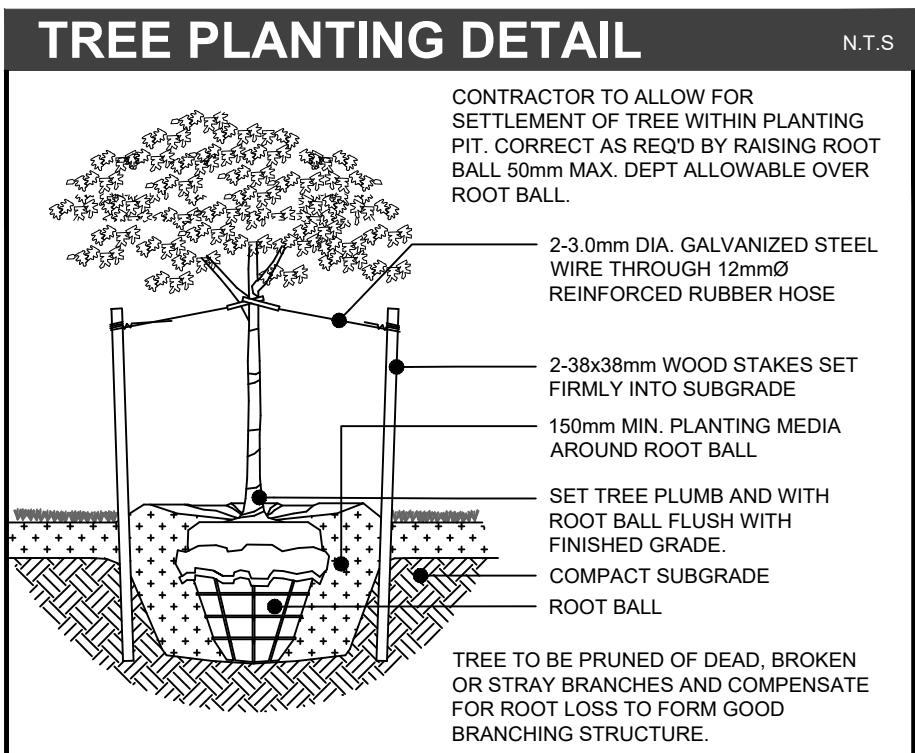
REQUIRED SHRUBS/GRASSES: 34 MIXED VARIETY

1. ALL DECIDUOUS TREE CALLIPER MUST BE 50mm.
2. AT LEAST 50% DECIDUOUS TREE CALLIPER MUST BE MINIMUM 75mm AT THE TIME OF PLANTING.
3. ALL CONIFEROUS TREES MUST BE A MIN. OF 2.0M HIGH.
4. AT LEAST 50% OF CONIFEROUS TREES MUST BE 3.0m HIGH.
5. SHRUBS MINIMUM HEIGHT OR SPREAD OF 0.6m AT THE TIME OF PLANTING.

- NOTES:**
1. ALL TREE AND SHRUB BEDS TO BE MULCHED WITH 75mm BARK MULCH.
 2. TREES NOT PLANTED IN BEDS SHALL BE SURROUNDED BY A TREE WELL TO A DEPTH OF 100mm AFTER PLANTING AND WATERING. ALL TREES TO BE MULCHED STARTING FROM 50mm FROM THE ROOT FLARE (TRUNK) AND EXTENDING THE LENGTH OF HOLE.
 3. ALL SOFT LANDSCAPE AREA TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

SURFACING LEGEND:

PRODUCT	AREA	PRODUCT
SOD	±566m²	



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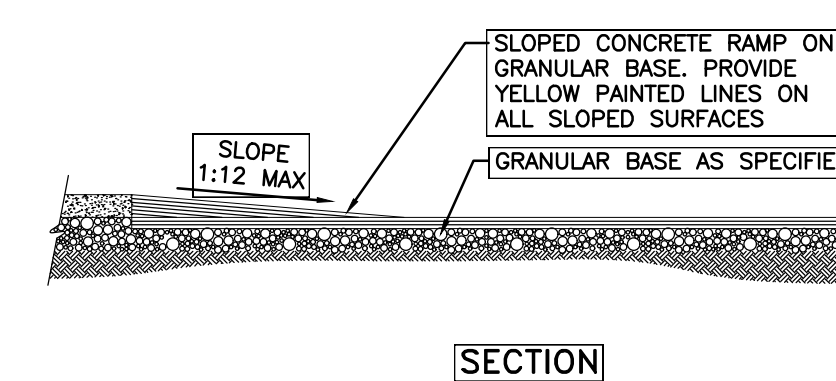
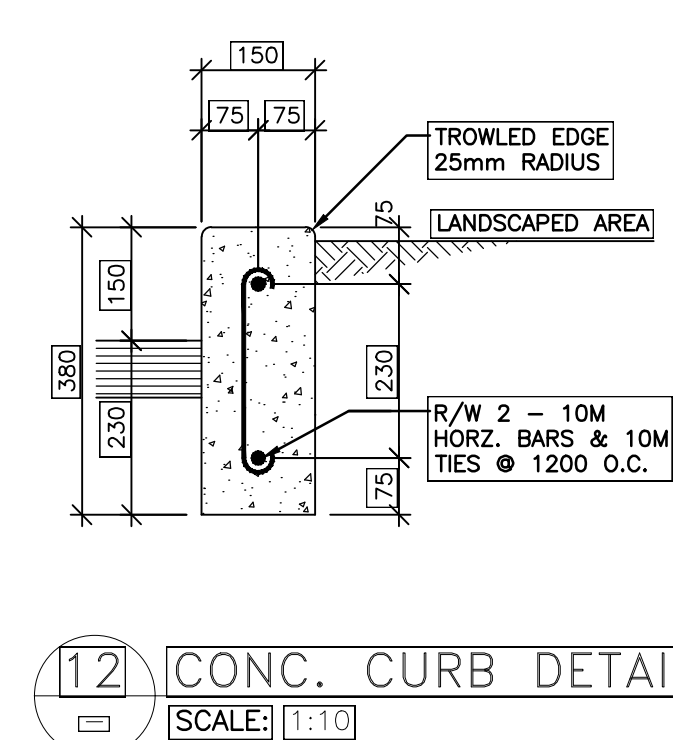
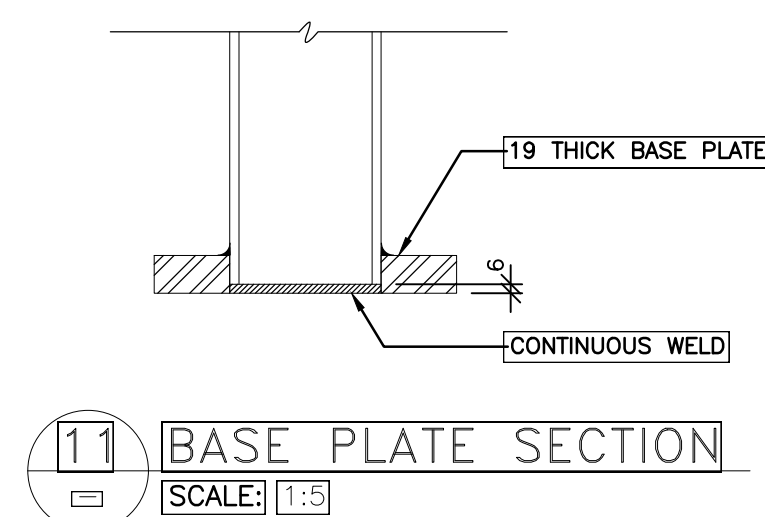
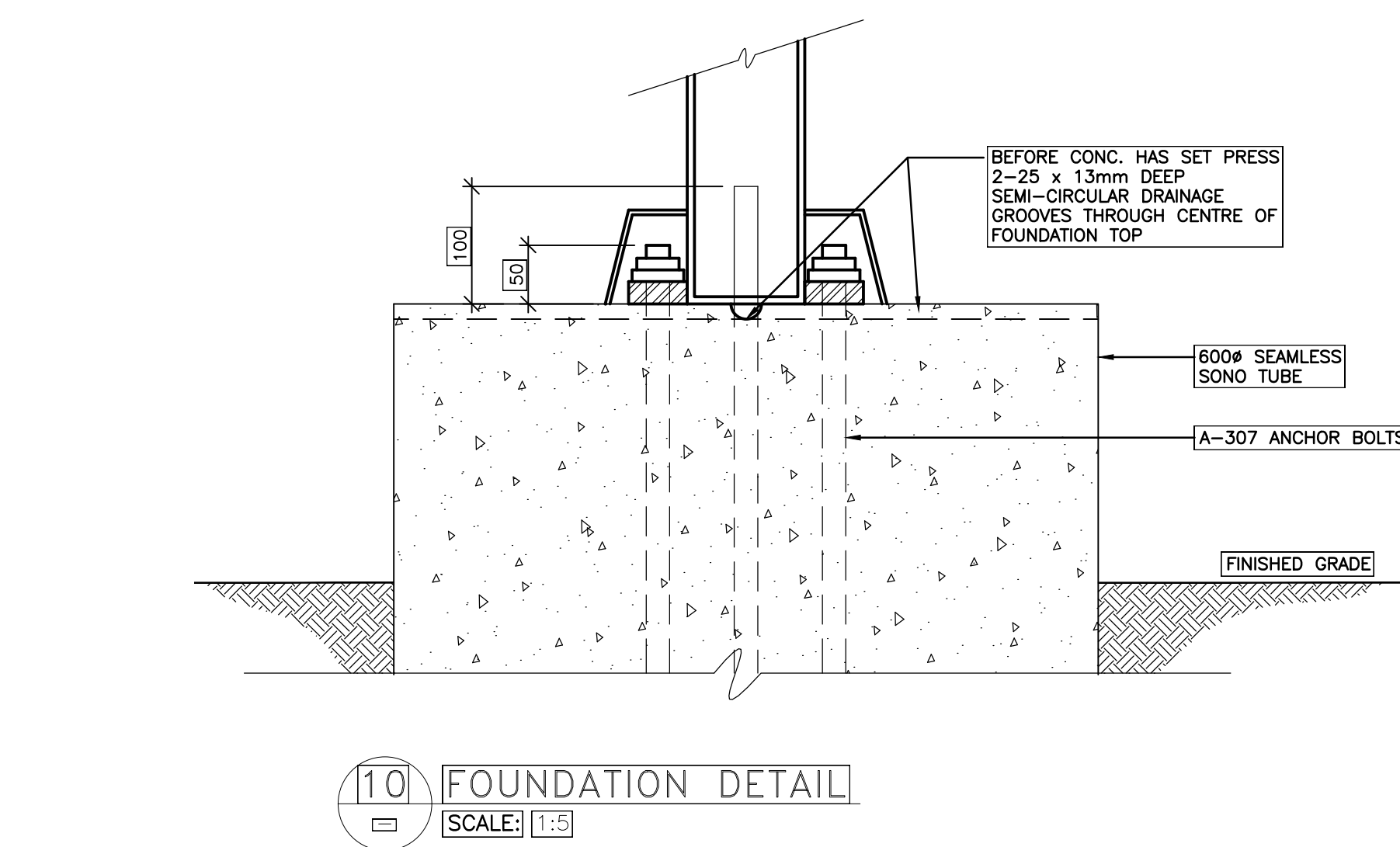
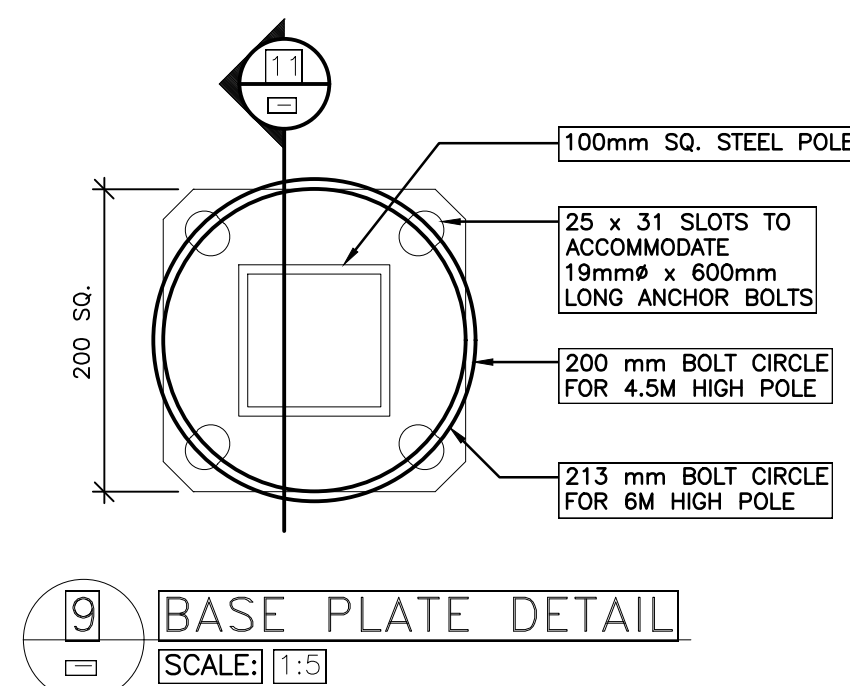
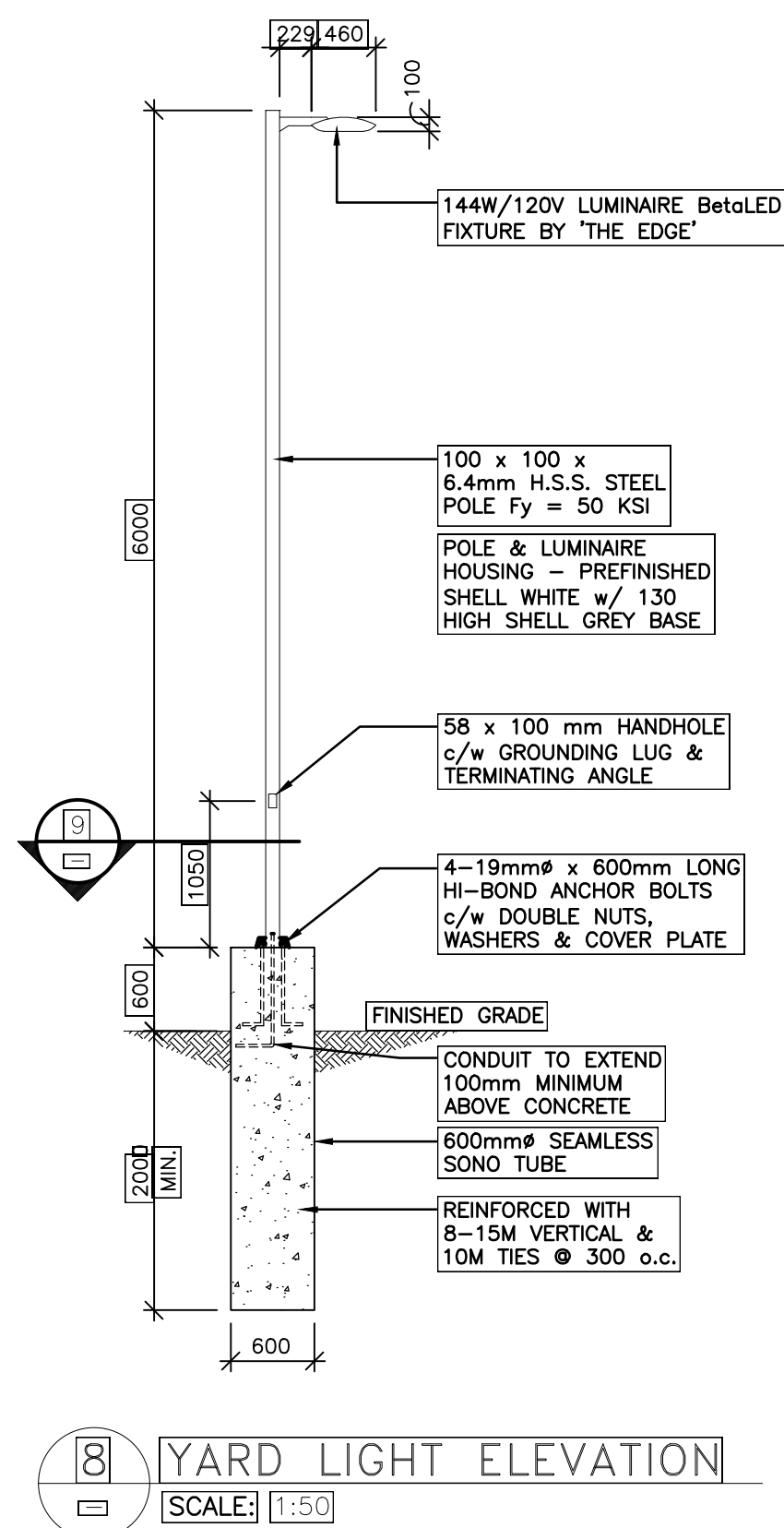
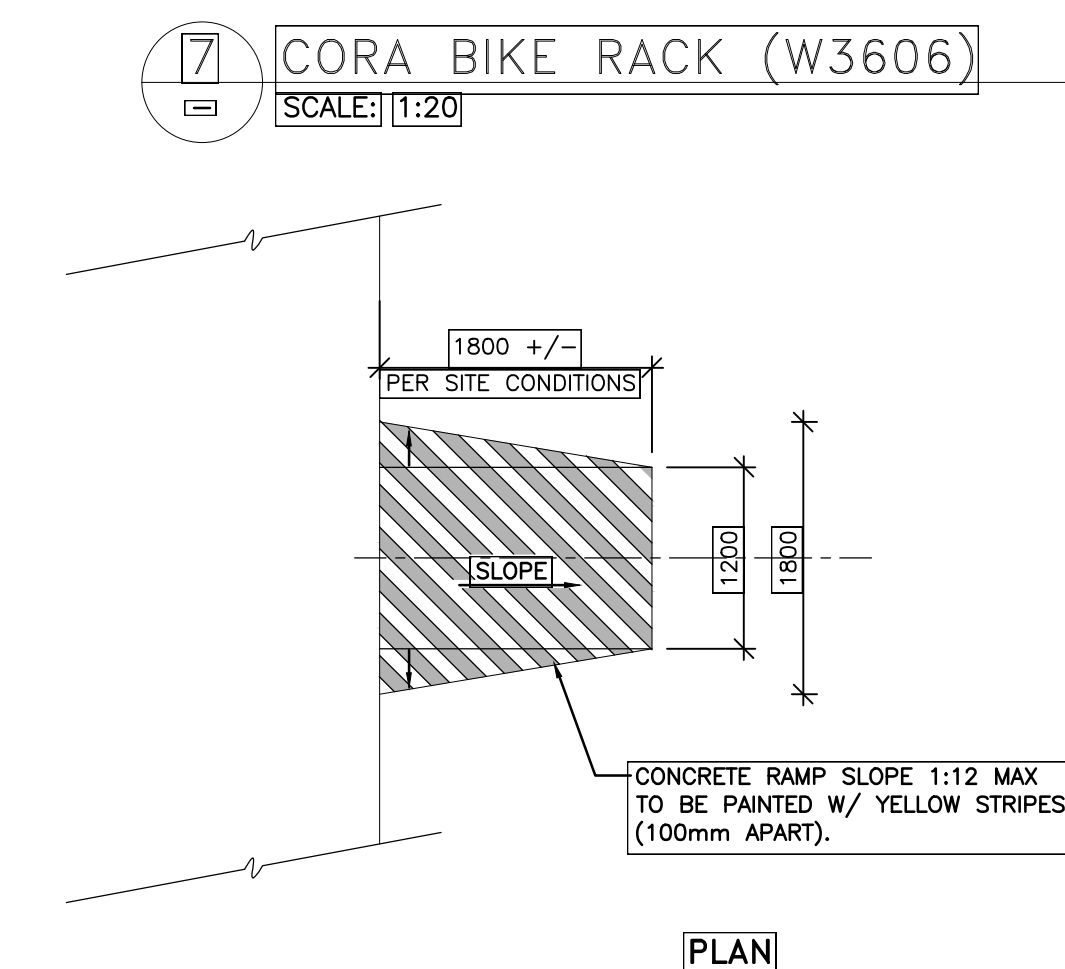
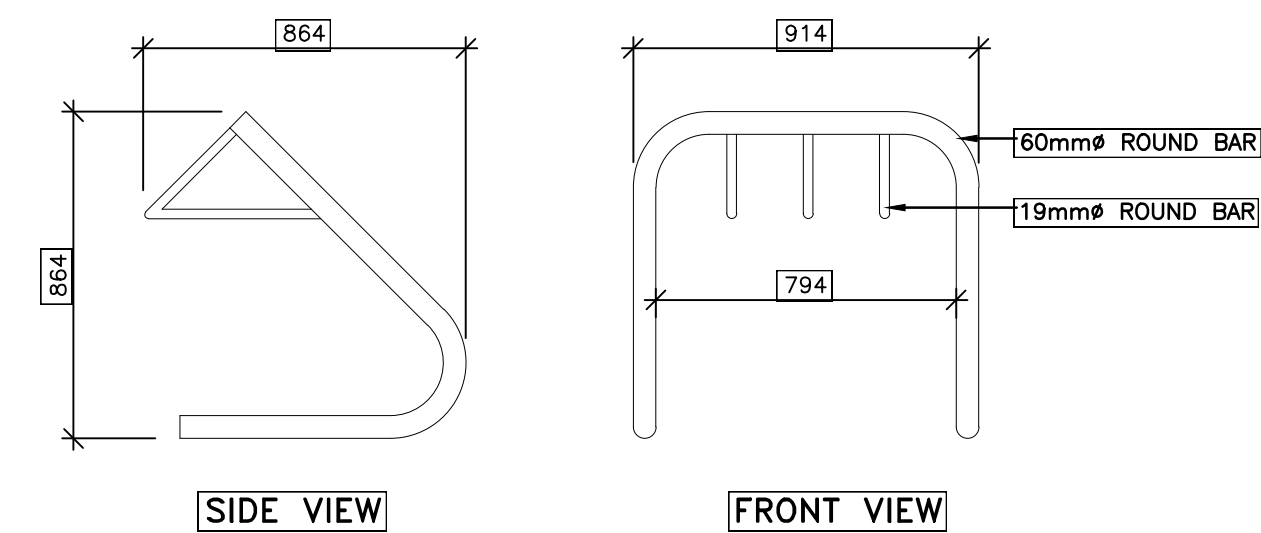
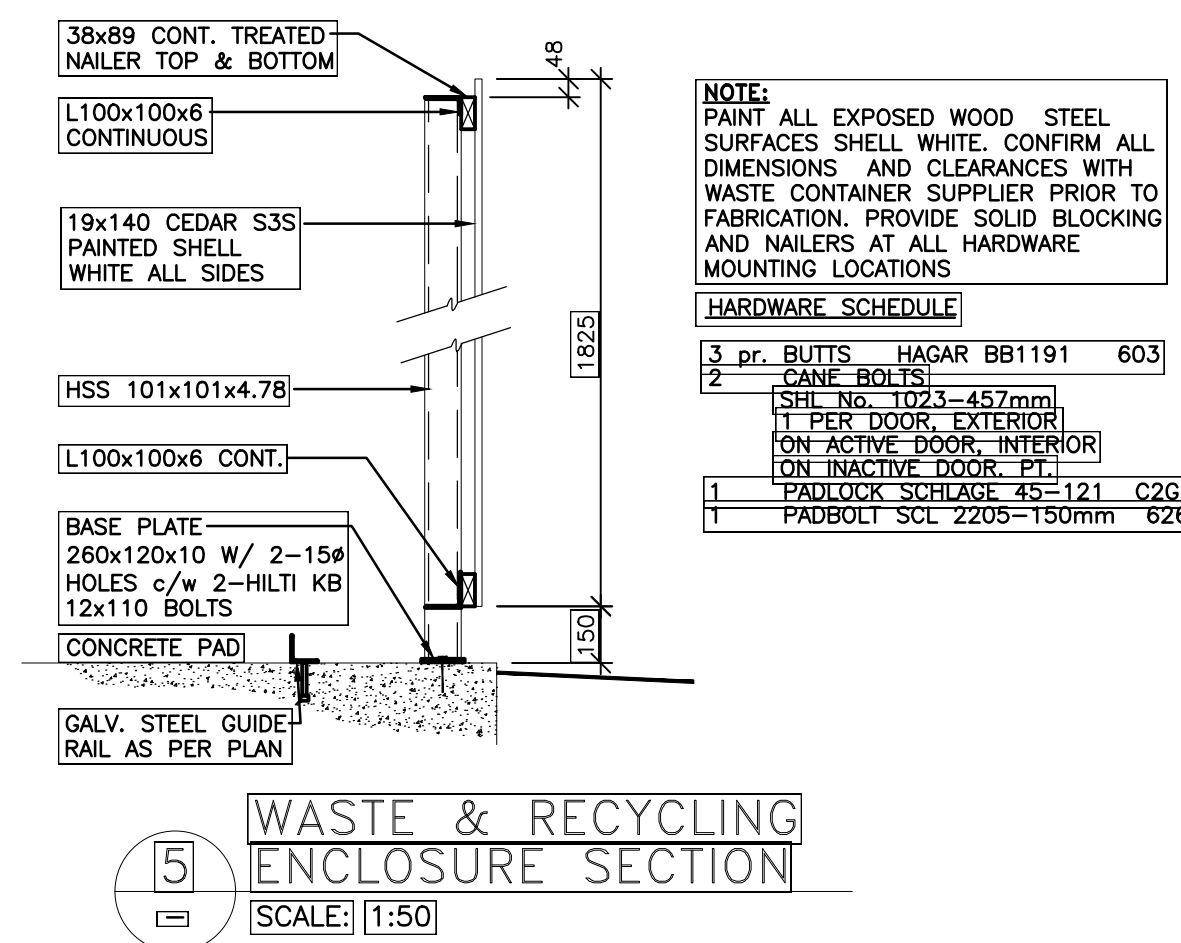
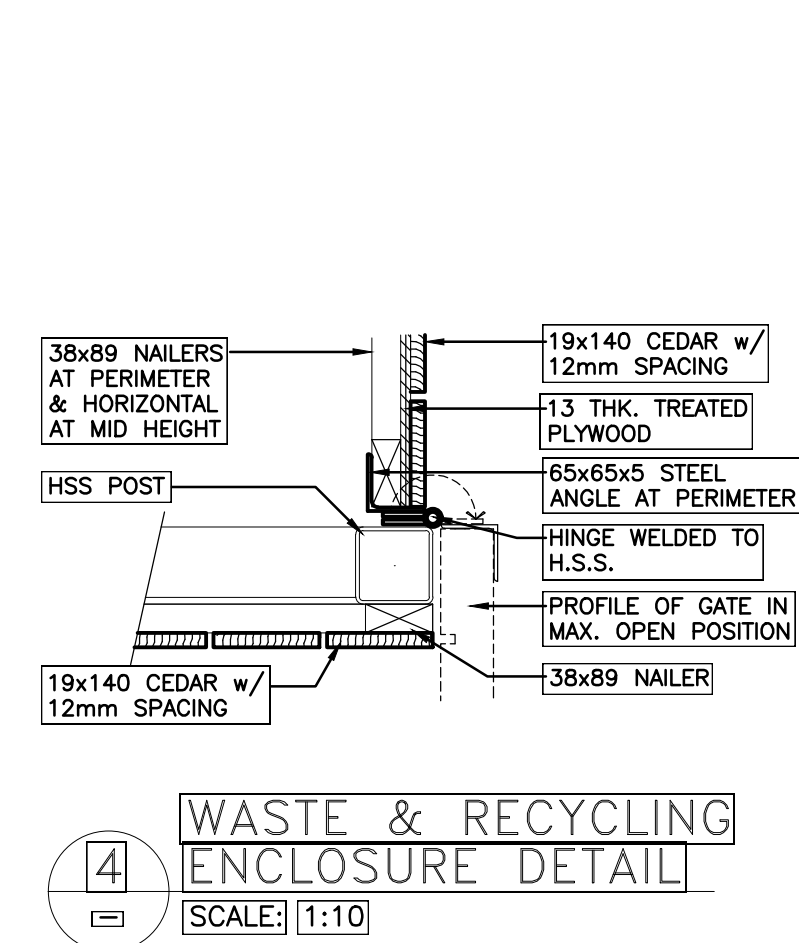
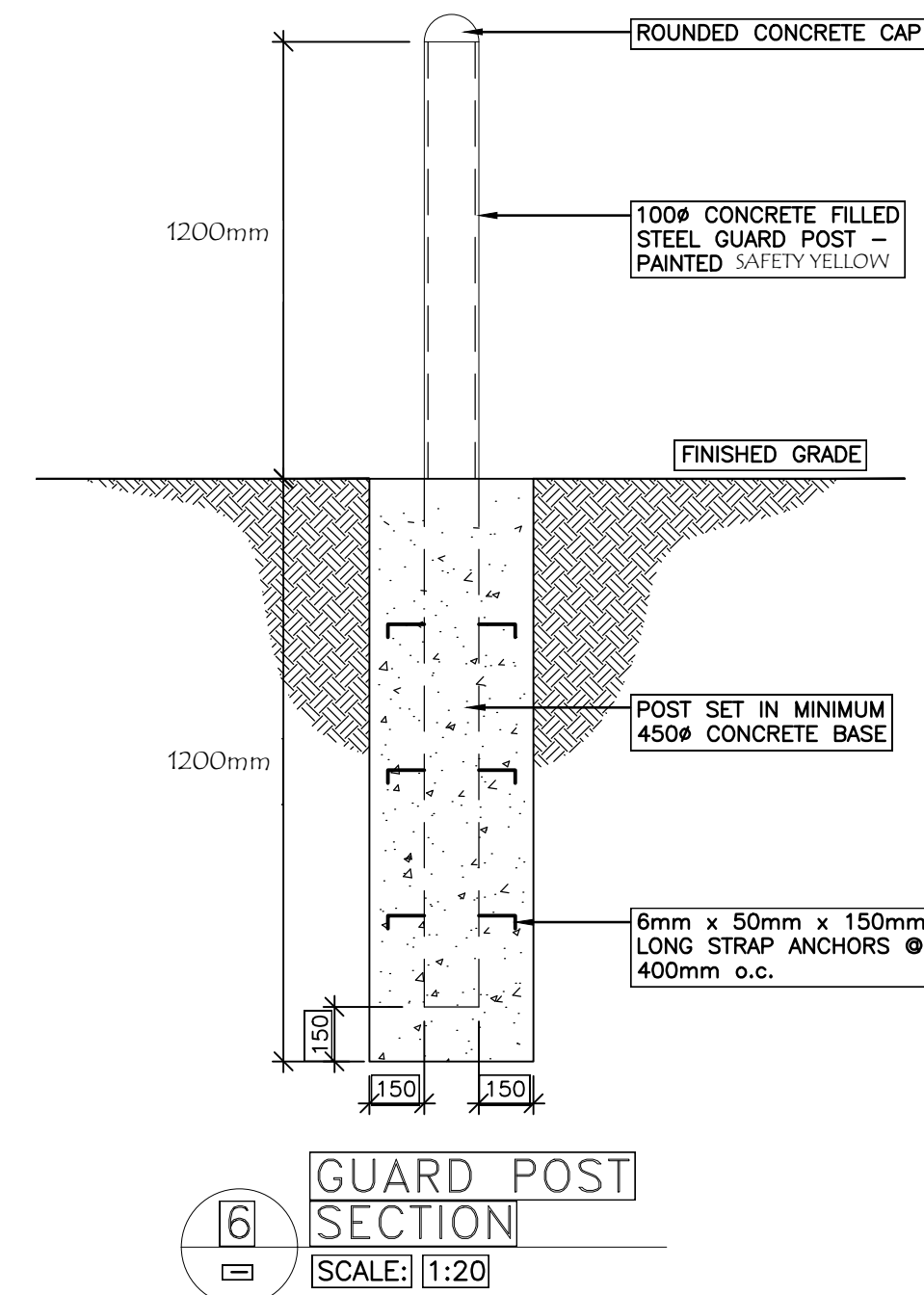
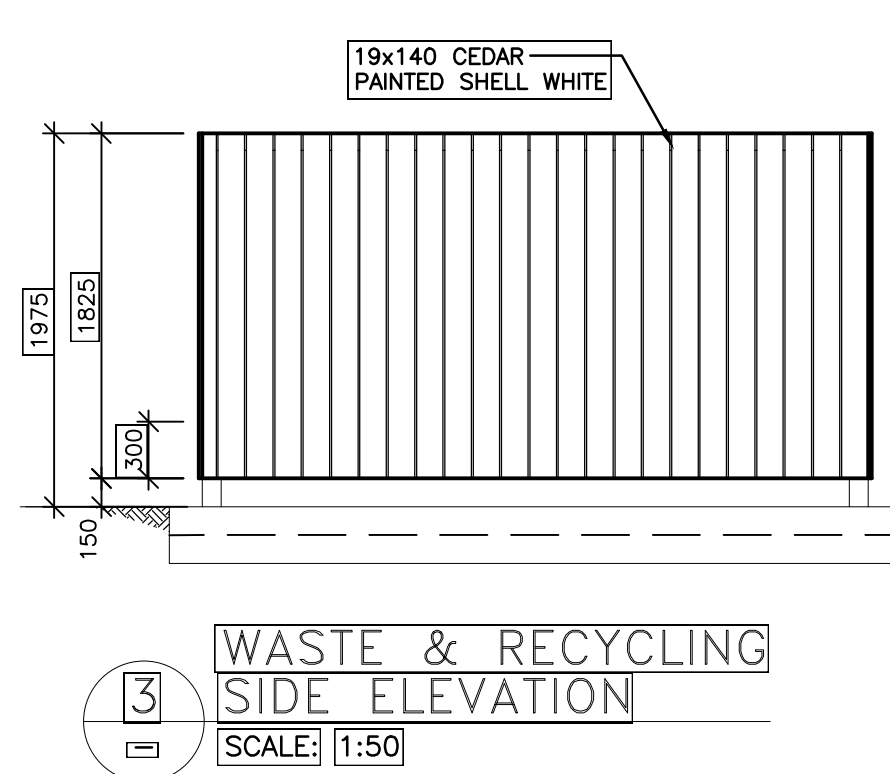
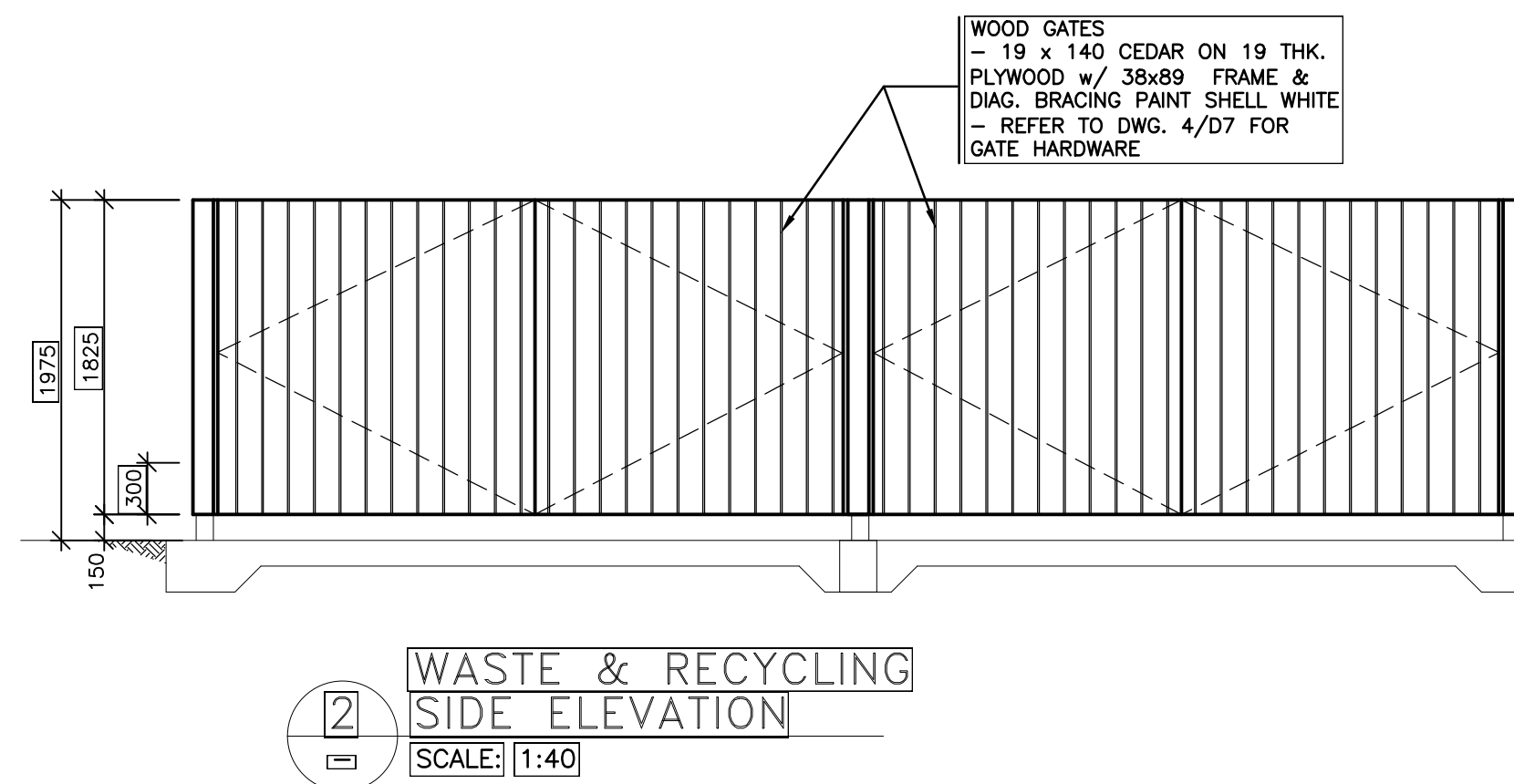
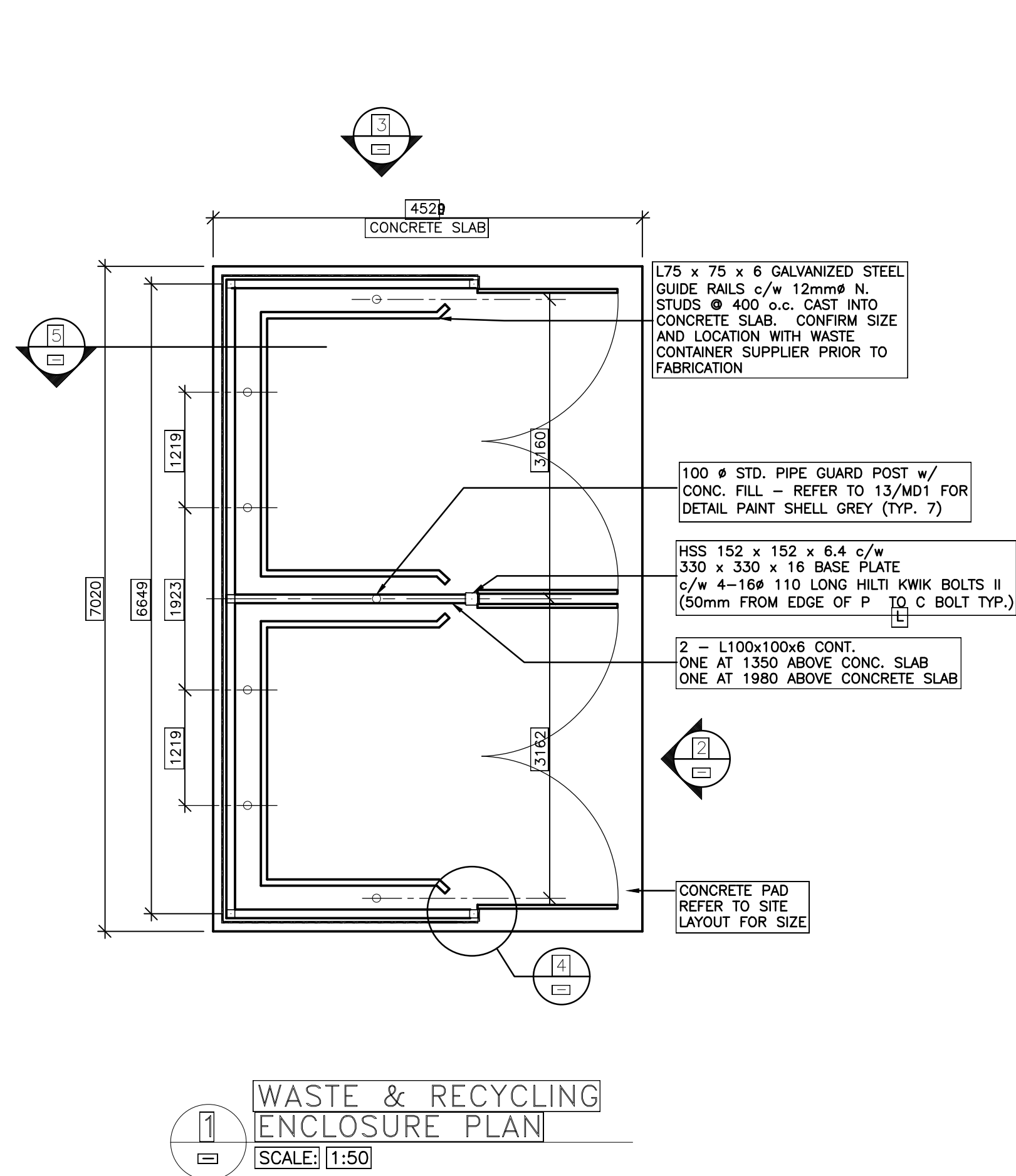
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PROPOSED LANDSCAPE PLAN

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GENERAL NOTE

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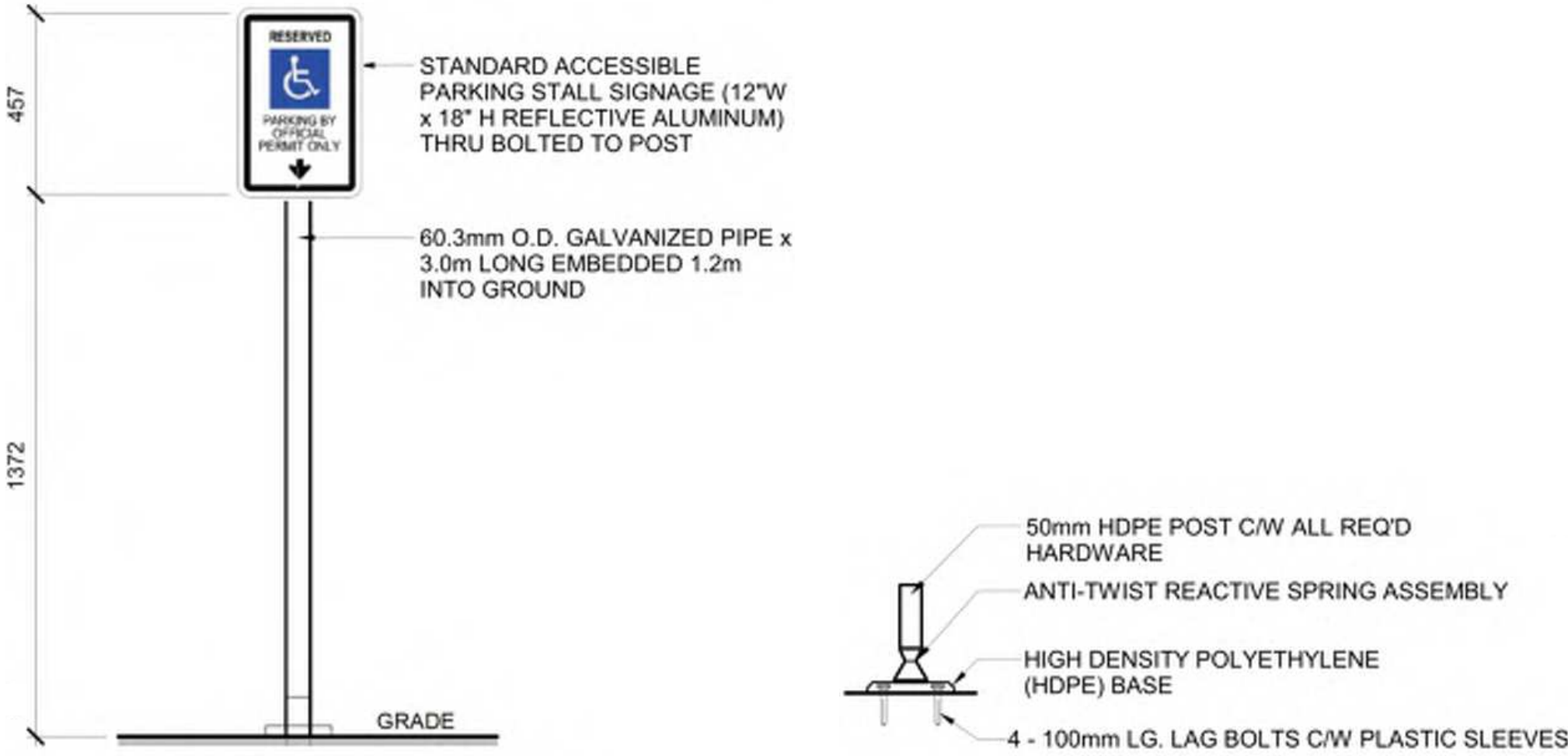
YARD DETAIL

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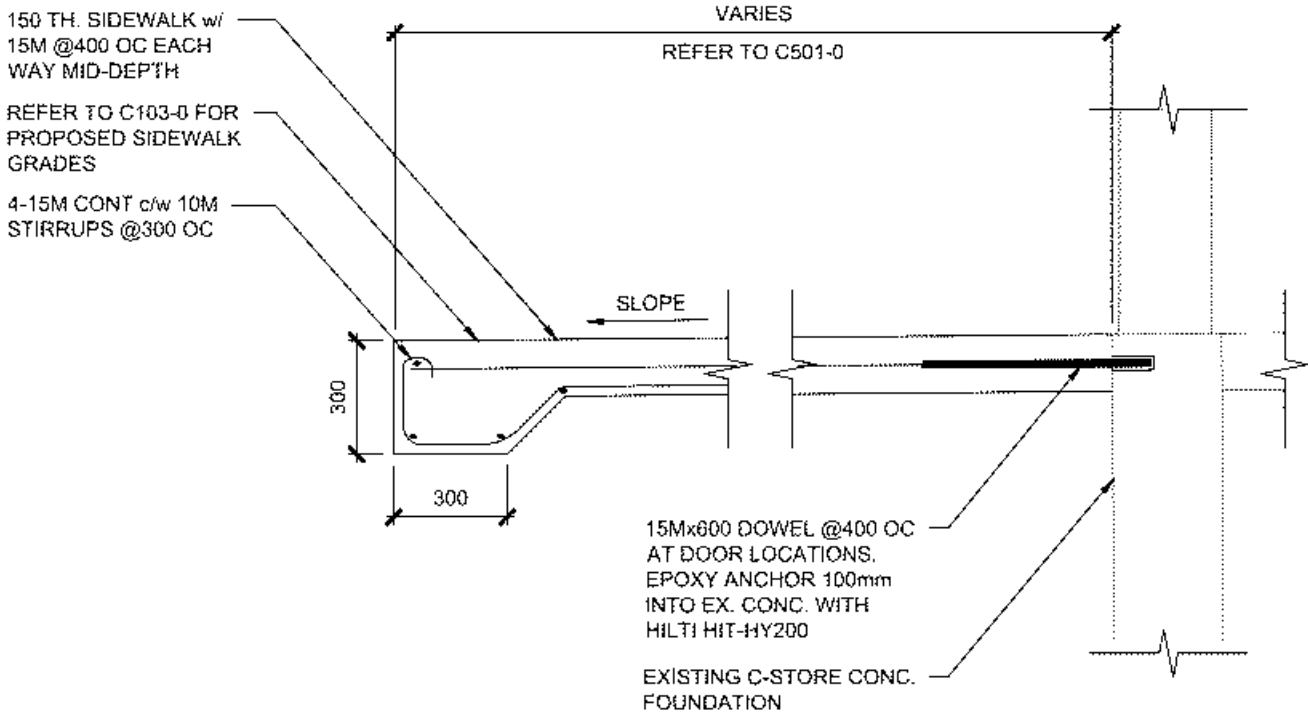
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A1-08

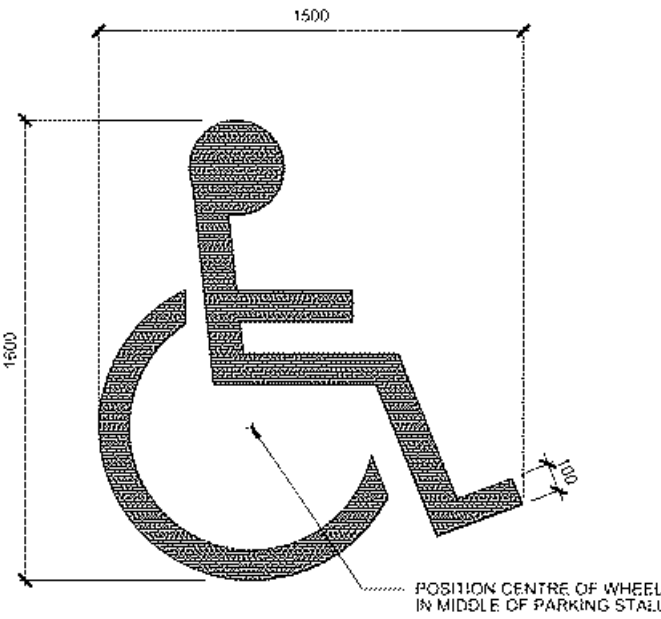


BARRIER FREE SIGN DETAIL

BARRIER FREE SIGN BASE



TYP CONC. SIDEWALK SECTION DETAIL



**HANDICAPPED SYMBOL
(TRAFFIC PAINT ON ASPHALT)**

b2d

architecture Inc.

214 - 3016 5 Ave NE | Calgary, AB | T2A 6K4

(405) 389-8332

addis@b2darchitecture.ca

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SIGN / SEAL

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Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum, and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Architect prior to commencing construction.

These Design documents are prepared Solely for the use by the Party with whom the b2d has entered into a Contract and there no Representations of any kind made by the b2d to any Party with whom the b2d has not entered into contract.

Revision Schedule			
Rev. No.	Revision	By	Date

**KU-AN
VENTURES
INC.**

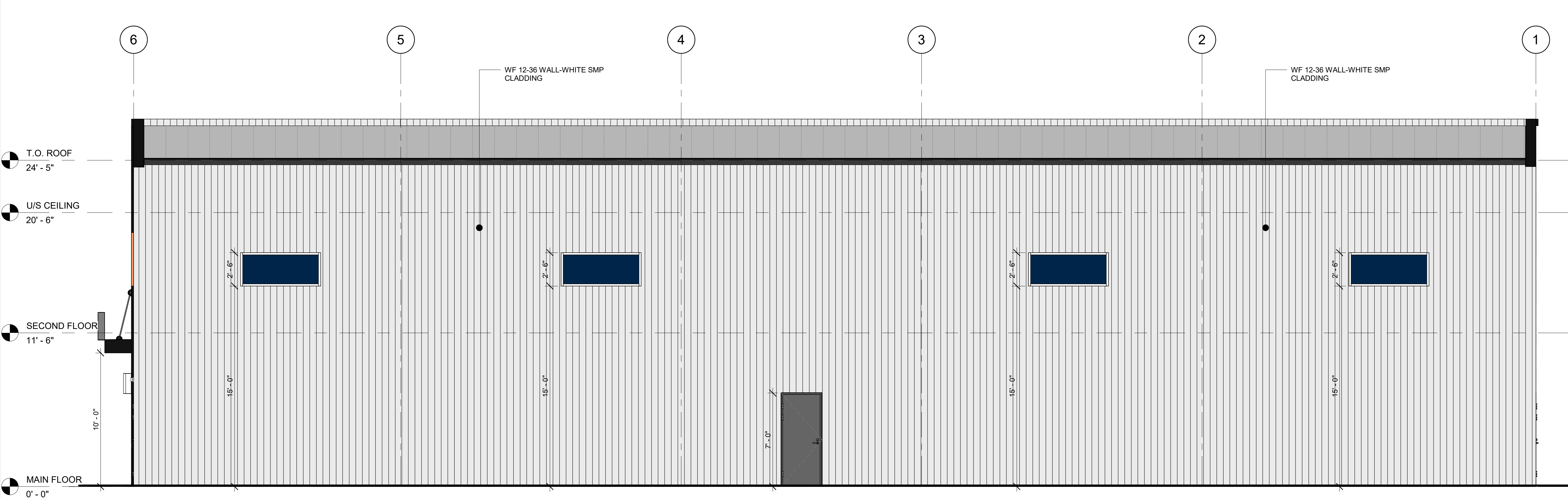
**5048 26 AVE SE
CALGARY, AB**

**YARD
DETAILS**

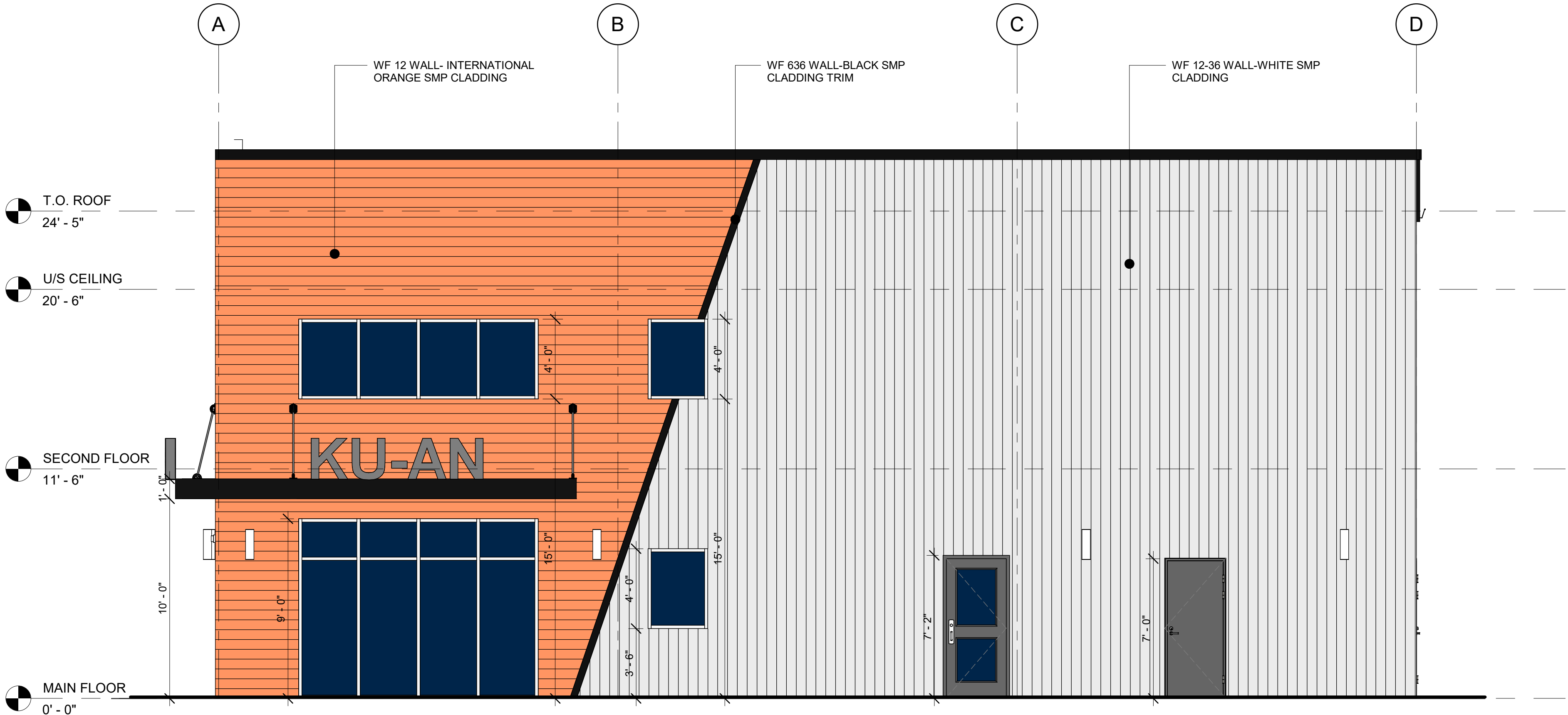
JOB NUMBER			
SCALE		DATE	
		2025-10-23	
DRAWN		CHECKED	
ED		AG	
APP'D		REV. NO	

DWG NUMBER

A1-09



1 NORTH-EAST ELEVATION
1/4" = 1'-0"



2 SOUTH-EAST ELEVATION
1/4" = 1'-0"



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Rev. No.	Revision	By	Date

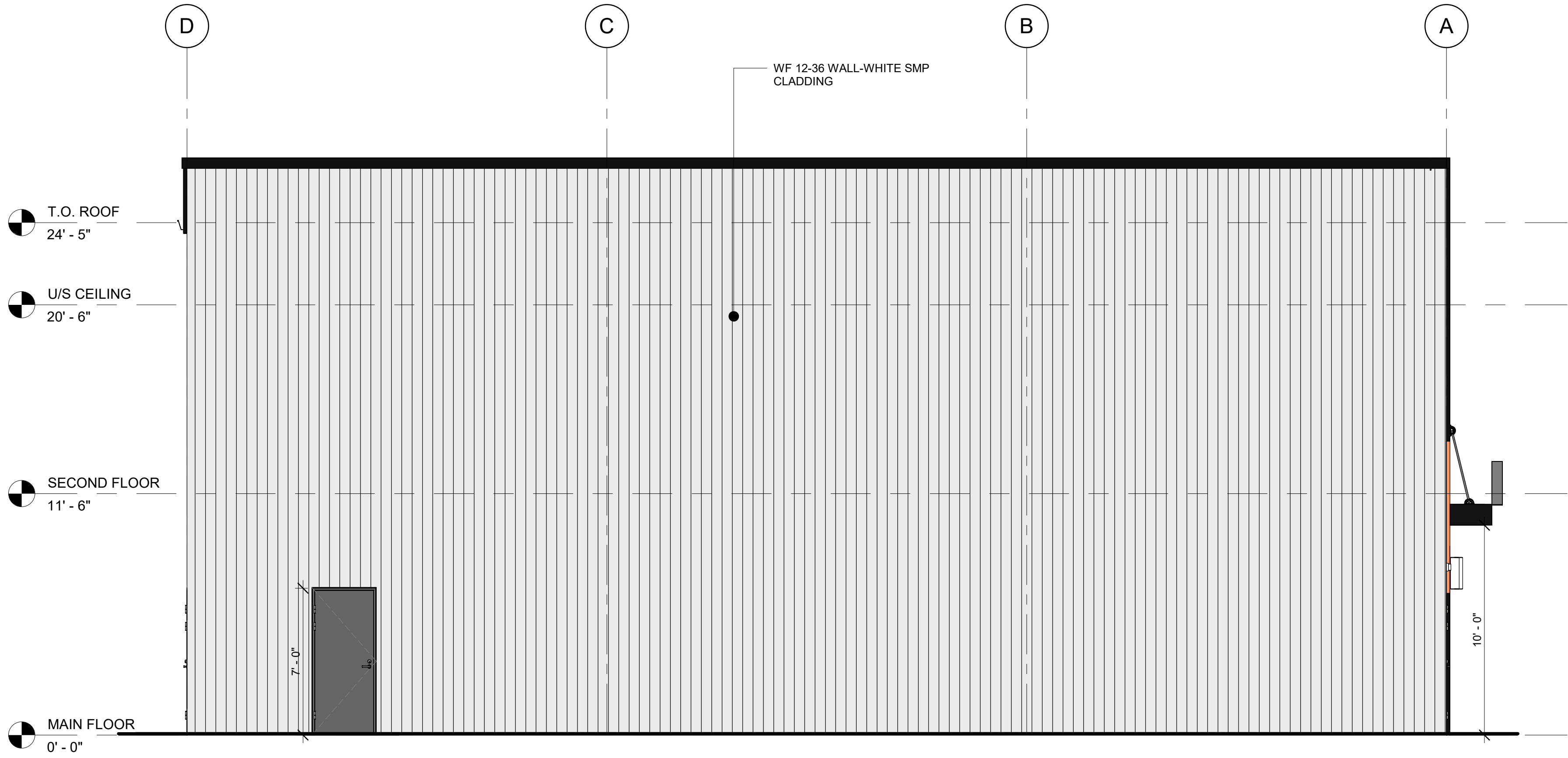
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VENTURES
INC.**

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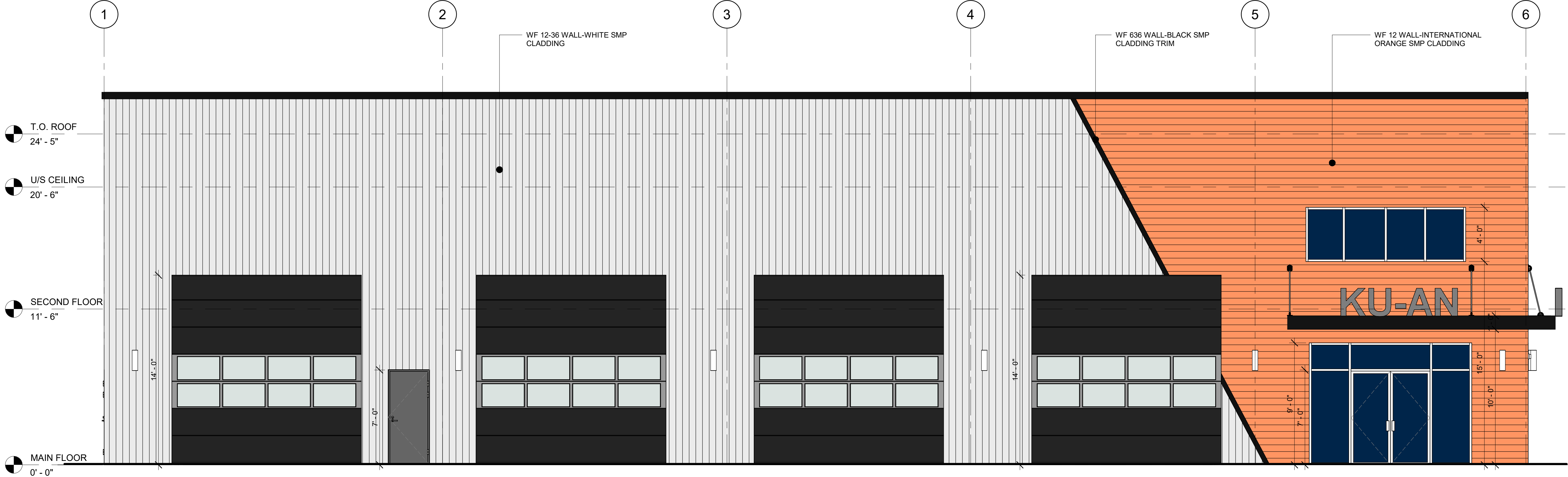
**NORTH-EAST &
SOUTH-EAST
ELEVATION**

JOB NUMBER			
SCALE	1/4" = 1'-0"	DATE	2025-10-23
DRAWN	ED	CHECKED	AG
APPD	REV. NO		

DWG NUMBER
A2.03



1 NORTH-WEST ELEVATION
1/4" = 1'-0"



2 SOUTH-WEST ELEVATION
1/4" = 1'-0"

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Revision Schedule			
Rev. No.	Revision	By	Date

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NORTH-WEST &
SOUTH-WEST
ELEVATION

JOB NUMBER			
SCALE 1/4" = 1'-0"	DATE 2025-10-23		
DRAWN ED	CHECKED AG		
APPD	REV. NO		

DWG NUMBER
A2.04